



REPORT TO COUNCIL

Council Meeting: December 9, 2025
500 Matterson Drive, Ucluelet, BC V0R 3A0

FROM: TYLER BROWN, DIRECTOR OF PLANNING AND STRATEGIC INITIATIVES **FILE No:** 3360-20 RZ24-14
SUBJECT: ZONING AMENDMENT BYLAW No. 1382, 2025 – 560 MARINE DRIVE **REPORT No:** 25- 134
ATTACHMENTS: APPENDIX A –APPLICATION
APPENDIX B – ZONING AMENDMENT BYLAW No. 1382, 2025
APPENDIX C – DRAFT DEVELOPMENT PERMIT

RECOMMENDATIONS:

1. **THAT** “District of Ucluelet Zoning Amendment Bylaw No. 1382, 2025” be read a first time.
2. **THAT** “District of Ucluelet Zoning Amendment Bylaw No. 1382, 2025” be read a second time.
3. **THAT** Council indicate that a Section 219 Restrictive Covenant will be required as a condition of the potential adoption of “District of Ucluelet Zoning Amendment Bylaw No. 1382, 2025” to ensure the park dedication as proposed in the Appendix A.
4. **THAT** Council direct staff to give notice for a public hearing to be held on “District of Ucluelet Zoning Amendment Bylaw No. 1382, 2025”.

CAO’S COMMENTS:

CAO concurs with the recommendations from the Director of Planning and Strategic Initiatives.

BACKGROUND:

At the March 12, 2024, regular meeting of Council Paul Koopman of *dHKarchitects* and Nigel Gray of *MacDonald Gray Rational Planning & Practical Design* introduced this proposed development to the District of Ucluelet Council. The complete application was formally submitted to the District Office on March 11, 2025. The application was referred internally and the associated bylaw, Development Permit, and report to Council, has been created and the application is now in a position to be considered by Council.

The Subject Property is 560 Marine Drive (Lot 1, Plan VIP76214, District Lot 281, Clayoquot Land District [PID 025-812-670]). This 6394m² property was created as part of a larger comprehensive development in 2003 and was zoned for a Mixed Residential/Commercial use consisting of 6 residential units and a neighbourhood pub with a total maximum gross floor area of 1,942m². The

property is designated as *Neighborhood Commercial* in the community's *Official Community Plan (OCP)*, *Long Range Land Use Plan Schedule A*. The *Neighbourhood Commercial* land use is described as follows:

"This designation applies to individual lots or small commercial nodes providing small-scale commercial services compatible with surrounding land uses and primarily serving lands within convenient walking distance."

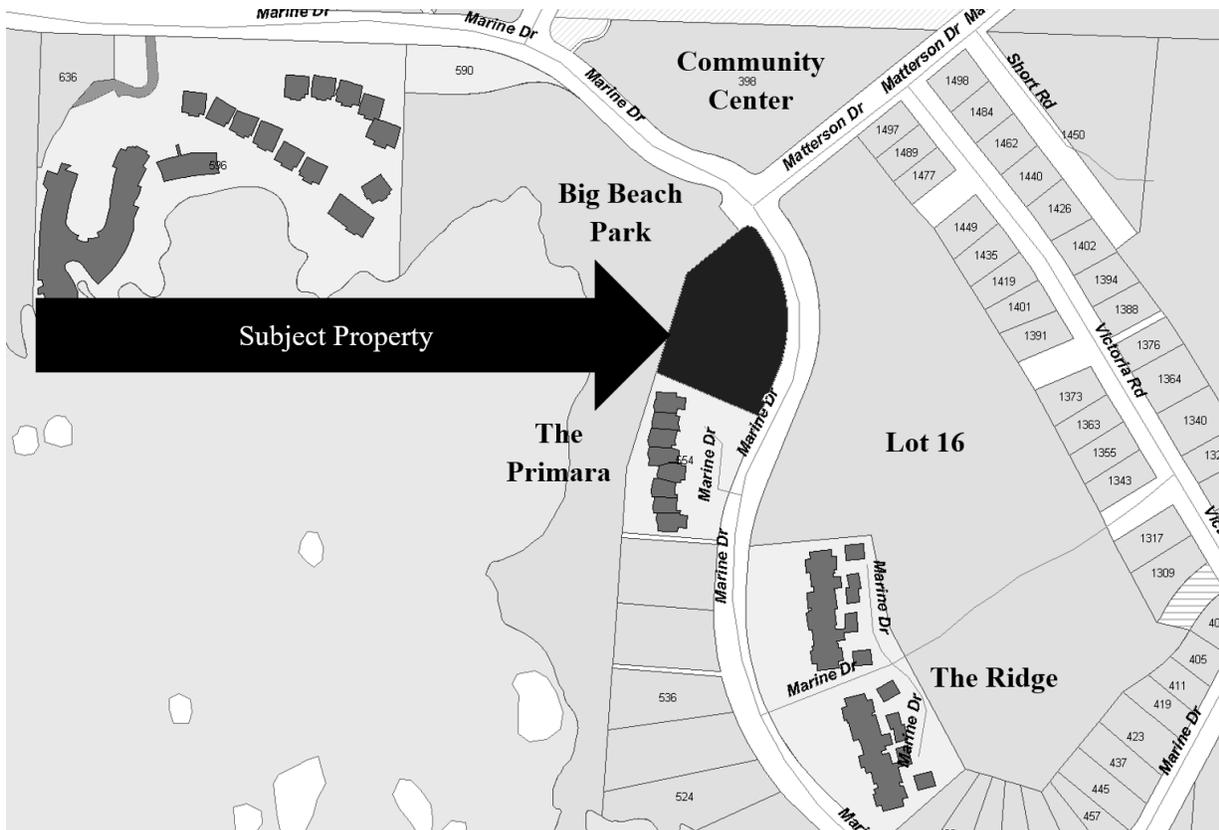


Figure 1 – Subject Property

The subject property is currently vacant of structures with a rough gravel access road down the center. There is a stand of juvenile trees covering the southern quarter of the property and a small stream running just north of the northern property line. The Big Beach Park with a stand of old growth Sitka spruce trees is directly to the west with the Premera residential development directly to the south.

DISCUSSION

The applicant submitted an application for a Zoning Amendment and Development Permit to allow the following:

- A four lot subdivision with a common access easement.
- A 1307m² park dedication representing 20% of the lot area.

- Development proposal for the four proposed lots:
 - Lot 1 – A twelve unit Rental Multiple Family building.
 - Lot 2 – A five unit Resort Condo building.
 - Lot 3 – A twelve unit Hotel.
 - Lot 4 – A 232m² Pub/Restaurant/bistro

The applicant has provided a thorough application attached as **Appendix A** of this report. This application has a “*Zoning Amendment Application Report*”, so as to not repeat or misrepresent the applicant’s intent, the applicants report should be referred to for the specifics of this application.

Zoning Amendment

Staff worked with the applicant to create a zoning amendment that would facilitate the applicant’s development intent while being consistent with the districts zoning bylaw. That zoning amendment is attached as **Appendix B**.

Development Permit -Form And Character

The objective of the Form and Character designations and guidelines are to guide the development of a pedestrian-oriented, compact and vibrant town which maintains its coastal village character and does the following: protect important public views, create buildings at a scale which is comfortable and inviting to pedestrians, reflect and adapt to the climate and coastal weather, and acknowledge the heritage of Ucluelet. It should be noted that Development permits don't change land use or density.

The guidelines relevant to this proposal are:

- General Guidelines applying to all Form and character Development Permit Areas. ([pg.112](#))
- Development Permit Area IV Multi-Family, Commercial, and Mixed Use. ([pg.122](#))

The Development Permit is attached as **Appendix C** and will be presented to Council for decision after adoption of the zoning amendment if the proposed bylaw proceeds to that point.

Environmental Development Permit

The objective of the Environmental Development Permit designation and guidelines are to guide development and use land wisely to ensure that the most sensitive environmental features of a site are protected and ecological functions are not needlessly disturbed by development activities.

The guidelines relevant to this proposal are:

- Development Permit Area Streams and Riparian DPA VI ([pg.129](#))
- Development Permit Area Marine Shorelines DPA VII ([pg.131](#))

The applicant has supplied an Environmental Assessment completed by Toth and Associates Environmental Services dated November 30, 2024, and is attached as part of **Appendix A**.

The Development Permit is attached as **Appendix C** and will be presented to Council for decision after adoption of the zoning amendment if the proposed bylaw proceeds to that point.

Archaeological

In British Columbia, provincial legislation, primarily the Heritage Conservation Act, designates the Province, specifically the Archaeology Branch, as responsible for the administration and permitting of all archaeological sites, not the municipality. The Province protects archaeological sites on both public and private land, and municipalities rely on the Province's records and authority for dealing with these sites. Therefore, while municipalities may be involved in development processes, the ultimate authority and responsibility for an archaeological site rests with the provincial government.

There is a sliver of an archaeological site identified on the subject property. The archaeological site falls outside of the current structural setbacks for the property and outside of any potential building locations. The applicant is proposing to dedicate a portion of the land adjacent to Big Beach Park as parkland (**Figure 2**) which would give the archaeological site a buffering from the development site. The applicant has agreed that this this park dedication would be secured by a 219 restrictive covenant as a condition of final adoption of the proposed zoning amendment bylaw.

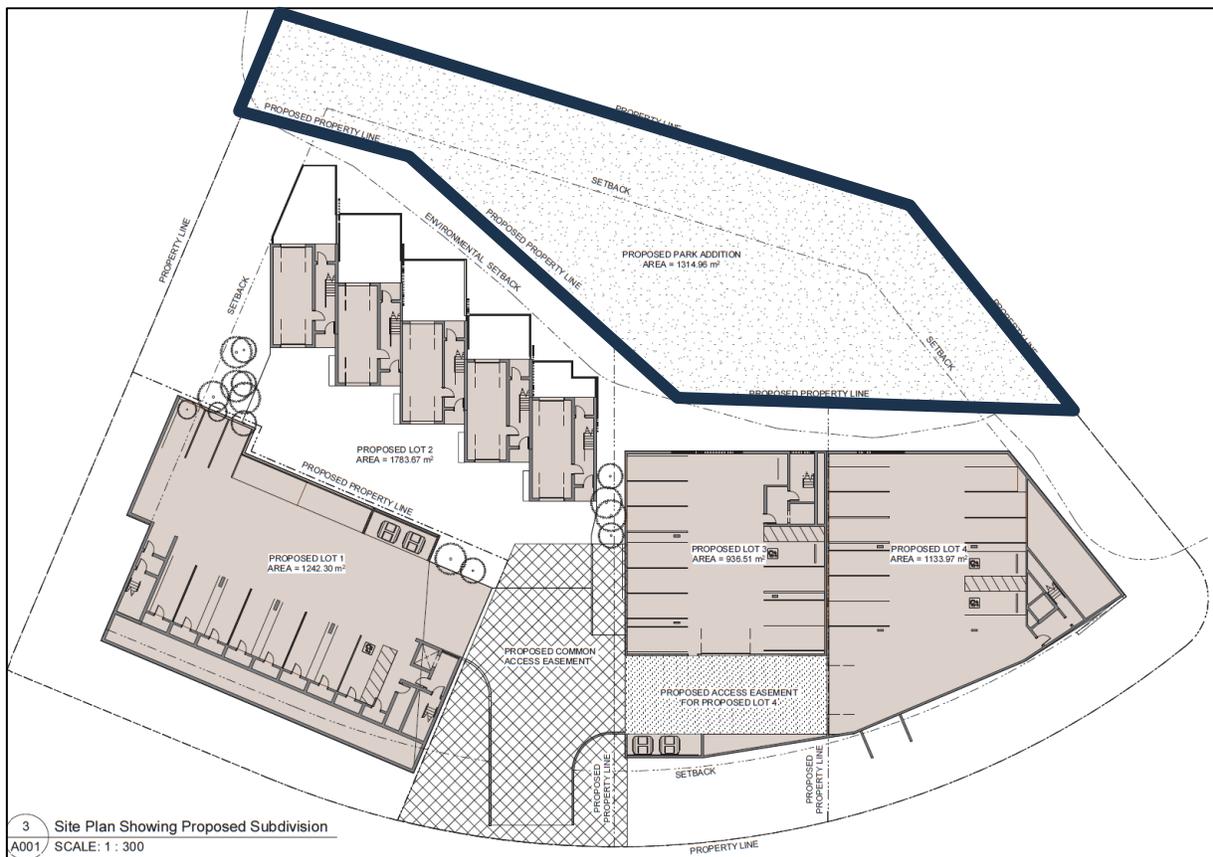


Figure 2 – Park Dedication

Servicing

Servicing is not relevant for the Development Permit aspects of this application but is relevant to the increase in density contemplated in the zoning amendment. The following are comments prepared by the engineering team.

- Test Pits have been drilled to provide soil analysis of key building footprint locations. It is assumed at detailed design a geotechnical engineer will be hired to provide further assessment.
- Preliminary Servicing
 - Storm - The development will install drainage, incorporate DoU drainage, relocate a significant drain, and convey all site storm water directly to the ocean.
 - Sewer - Current review confirmed design specifications to be followed at detailed design. Capacity analysis to proceed at detailed design.
 - Water - Current review confirmed design specifications to be followed at detailed design. Capacity analysis to proceed at detailed design.
 - Pathways - A Statutory Right of Way is necessary for the existing pathway fronting the development
 - Hydro/Tel/Cable - To be confirmed during detailed design

Fire Access

The applicant is working with Districts Fire Chief to ensure proper fire apparatus movement and access to the site. Further review will be required if the development proceeds.

ANALYSIS OF OPTIONS:

A	Give first, and second reading of Bylaw No. 1382 and forward the bylaw to a public hearing	<u>Pros</u>	<ul style="list-style-type: none"> • Would provide an opportunity for the community to comment on the Zoning Amendment.
		<u>Cons</u>	<ul style="list-style-type: none"> • Unknown at this time.
		<u>Implications</u>	<ul style="list-style-type: none"> • Would allow for external referrals and for the Bylaw to proceed to Public Hearing.
B	Abandon Bylaw No. 1382	<u>Pros</u>	<ul style="list-style-type: none"> • Unknown at this time
		<u>Cons</u>	<ul style="list-style-type: none"> • Unknown at this time
		<u>Implications</u>	<ul style="list-style-type: none"> • The application and bylaw would be abandoned.
		<u>Suggested Motion</u>	<ul style="list-style-type: none"> • No motion required
C	Amend Bylaw No. 1382 and/or	<u>Pros</u>	<ul style="list-style-type: none"> • Unknown at this time
		<u>Cons</u>	<ul style="list-style-type: none"> • Unknown at this time

other directions of Council	Implications	<ul style="list-style-type: none"> Unknown at this time
	Suggested Motion	<ul style="list-style-type: none"> THAT Council directs staff to bring back District of Ucluelet Zoning Amendment Bylaw No. 1382, 2025, with the following amendments: [specify desired changes]. <p style="text-align: center;"><i>Or</i></p> <ul style="list-style-type: none"> That Council direct Staff to [specify desired changes and/or directions].

POLICY OR LEGISLATIVE IMPACTS:

There are no legislative impacts at this point of the development process.

NEXT STEPS:

Zoning bylaw

If the bylaw is given first and second reading, staff would do a 60 day referral to the Ucluelet First Nation, other neighbouring local governments, and relevant agencies. The Bylaw would then be scheduled for a public hearing.

Development Permit

If District of Ucluelet Zoning Amendment Bylaw No. 1382, 2025 is adopted, Council would be then in a position to approve the associated Development Permit attached as Appendix C of this report.

Respectfully Submitted: Tyler Brown, Director Of Planning And Strategic Initiatives

Reviewed by:

Approved By: Richard Harding, Chief Administrative Officer

Lot 1 – District Lot 281, Ucluelet, BC

Zoning Amendment Application Report:

PREPARED FOR:

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November 18, 2024

Bruce Grieg, Director of Community Planning
District of Ucluelet
200 Main Street,
Ucluelet, BC V0R 3A0
bgreig@ucluelet.ca

Attention: Bruce Grieg

Re: Zoning Amendment Application for Lot 1, District Lot 281 (Marine Drive)

MacDonald Gray Consultants Inc. has been retained by Ukee Landmark Joint Venture. of Parksville, British Columbia to provide land use planning services in support of this Zoning Amendment Application for 'the land' described as: LOT 1 DISTRICT LOT 281 CLAYOQUOT DISTRICT PLAN VIP76214, District of Ucluelet, British Columbia. The Properties are currently zoned as **Comprehensive Development 2A (CD-2A.1.2) – Big Beach / Neighbourhood Pub**.

The intent of this application is to change the Zoning of the properties in order to facilitate future development that is aligned with the vision of the District's Official Community Plan (OCP). The '**Neighbourhood Commercial**' land use designation has been applied to the property. The proposed property specific 'draft' Comprehensive Development (CD) Zoning District is aligned with the density targets and land use policy direction of the OCP. The land owners support the community vision for this evolving neighbourhood in Ucluelet.

The building architectural and landscape architectural drawings provided to support this application are intended to visually represent how the lands will be developed under the proposed CD Zoning. These drawings are at a Development Permit Application submission level of detail.

A **concurrent Development Permit Application** has been submitted. This initial DP Application submission is for the townhome and micro-rental residential components of the development. The DP Submission is intended to confirm the property owner/developer's commitment to the timely construction of this project immediately following Council approval of this Zoning Amendment.

It is our combined vision to create an improved spectrum of housing choices within the Big Beach neighbourhood through the inclusion of this integrated cluster of adaptive town homes and micro-residential rental units. MacDonald Gray Consultants Inc. continues to support the logical and pragmatic evolution of this neighbourhood with land use proposals that are clearly aligned with goals, objectives, and policies of the community. We are looking forward to continued collaboration with District Staff and Council to facilitate the proposed land use changes.

Sincerely,

Nigel Gray, MCIP, RPP, MBCSLA
Principal Planner / Project Manager
MacDonald Gray Consultants Inc.

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1.0 INTRODUCTION

Ukee Landmark Joint Venture of Parksville, British Columbia Parksville, British Columbia is proposing a land use change for the subject properties. The owner wishes to make an application to the District of Ucluelet (District) for the purpose of accommodating a mixed use development. This report and Zoning Amendment Application has been prepared based on a comprehensive review of the planning framework currently in place for the project.



Figure 1 – Google Maps Air Photo Excerpt (properties outlined in red)

2.0 SITE DESCRIPTION

2.1 TOPOGRAPHY

Contours have been sourced from interpolated Lidar imagery provided as a reference on the District of Ucluelet Community Map (online version).

Topography varies from a steep foreshore bluff condition running north - south to a moderately sloping upland terrace through the centre of the property.

Elevations range from a high point of 19.5metres at the southern tip of the property to a low point of 6.3metres along the foreshore. Slopes along Marine Drive are somewhat consistent creating a bowl shape with a low point centred on the east property line.

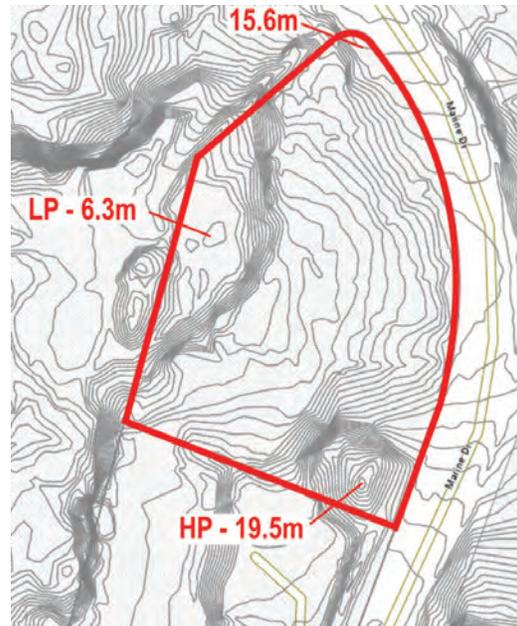


Figure 2– District Map Excerpt (Property Outlined in Red)

2.2 SERVICING, EGRESS AND SAFETY

Refer to the [Preliminary Servicing Review Report](#), dated 14 November, 2024, as prepared by Newcastle Engineering Ltd.

2.3 GEOTECHNICAL DATA

A [Geotechnical Impact Assessment Report](#), dated May 22, 2003 was prepared by Lewkowich & Associates Ltd. The report confirms that from a geotechnical point of view, that the proposed development is feasible provided that the recommendations outlined therein are followed and incorporated into the overall design and construction.

Lewkowich & Associates remain in place as the current project geotechnical engineer. The Minimum Flood Construction Level (FCL) (Underside of Floor Joists) is designed at 14.0m, based on current regulations. Geotechnical investigations are ongoing. Six test pits were dug during on site investigations in February 2023. Poor soils have been identified through the west extent of the site, with clay/silt deposits beyond 5.0m below existing grade. The current architectural designs assume the removal of these soils to bedrock / firm bearing and the application of structural fill where required.

Further geotechnical investigation is scheduled to occur prior to a Building Permit Application upon the successful completion of this Zoning Amendment Application. A drilling assessment is required to attain soils data to better define the seismic site class and provide design criteria to assist the structural engineer on the project, as well as provide foundation support recommendations and options for the proposed buildings/retaining walls. The quotation for this

investigation is +/- \$48,247.65 plus tax, which is cost prohibitive ahead of a rezoning approval from the District.

2.4 SITE HISTORY

Development of the property is limited to a District of Ucluelet walking trail along Marine Drive and District storm drainage infrastructure. The site has been previously cleared. Anecdotally, it has been noted in reporting that the property was previously owned by the Village of Ucluelet.

2.5 EXPOSURE AND VIEWS

The site generally has a western exposure with sequential panoramic views toward the Pacific Ocean. View potential is dependent on retained Big Beach Park vegetation and the height of any proposed structures.

3.0 LOCATION IN RELATION TO COMMUNITY FACILITIES

3.1 FIRE PROTECTION

The Ucluelet Fire Department is located at 1520 Peninsula Road. The Fire Hall is 650 metres or a 2 minute drive from the lands.

3.2 POLICE

A Royal Canadian Mounted Police detachment is located at 1712 Cedar Road. The Detachment is 1.1 kilometres or a 4 minute drive from the lands.

3.3 HEALTH

The Ucluelet Health Centre is located at 1566 Peninsula Road. The Health Centre is 750 metres or a 2 minute drive / 9 minute walk from the lands.

Tofino General Hospital is located at 261 Neill St, Tofino, BC. The Hospital is 41 kilometres or a 42 minute drive from the lands.

3.4 TRANSPORTATION ROUTES

The lands are located directly adjacent to Matterson Drive, which is an existing looping collector road that connects to Peninsula Road. Peninsula Road is the primary arterial road through Ucluelet.

Multi-use pathways were recently installed along Marine Drive and Matterson Drive connecting the land to the Village Square core area and waterfront parks. Extensions of the Wild Pacific Trail are also proposed along Marine Drive adjacent to the lands connecting to the proposed Matterson Drive multi-use pathway.

3.5 PUBLIC TRANSPORTATION

BC Transit currently does not operate bus routes in close proximity to the land and has not adopted plans for future service expansion in the surrounding neighborhoods.

The Ucluelet Bus Depot is located in Murray's Grocery at 1980 Peninsula Road. The Depot is 750metre or a 9minute walk from the lands. Tofino Bus provides intercity commercial bus service from this location.

3.6 COMMERCIAL SERVICES

The plan area is 500metres from Village Square core area services on Peninsula Road by way of a 5minute walk.

3.7 RECREATIONAL

The subject property is kiddie corner to Big Beach Park and the existing multi-use pathways along Marine Drive (parallels the Wild Pacific Trail) and Matterson Road (portion of the Coast to Coast Connection route). **Excerpt from Ucluelet Parks & Recreation Master Plan, Figure 6 – Coast to Coast Connection, attached as Appendix 'A'.**

The Ucluelet Community Centre is located directly across Marine Drive. The Centre offers a wide array of programs from Latin dance classes to roller hockey and outdoor basketball courts. Ucluelet Secondary is a 5minute walk from the site and provides a number of after-hours recreation activities including a running track, field space, basketball courts and a BMX park.

3.8 ARCHAEOLOGICAL

According to Provincial records, there is a sliver of an archaeological site identified on the subject property. The architectural site falls outside of the current structural setbacks for the property and outside of the any potential building envelope.

In recognition of the cultural significance of archaeological sites, we are proposing to dedicate a portion of the land adjacent to Big Beach Park. The parkland dedication includes the full extent of the Archaeological site and swampy area below the embankment, which will preserve the integrity of this site in perpetuity as District owned parkland.

4.0 EXISTING LAND USE

The lands fall within the District of Ucluelet Municipal boundary. The current land use framework is described in the following sections.

4.1 DISTRICT OF UCLUELET BYLAW NO. 1160, 2013

The Zoning District is:

Comprehensive Development 2A (CD-2A.1.2) – Big Beach / Neighbourhood Pub

4.1.1 CD-2A.1.2 - DENSITY:

Based on our interpretation of Section 203, Comprehensive Development Zones, which “are provided for historical reference, interpretation and informational purposes only” the maximum density is as follows:

(4) Neighbourhood Pub with Mixed Commercial/Residential:

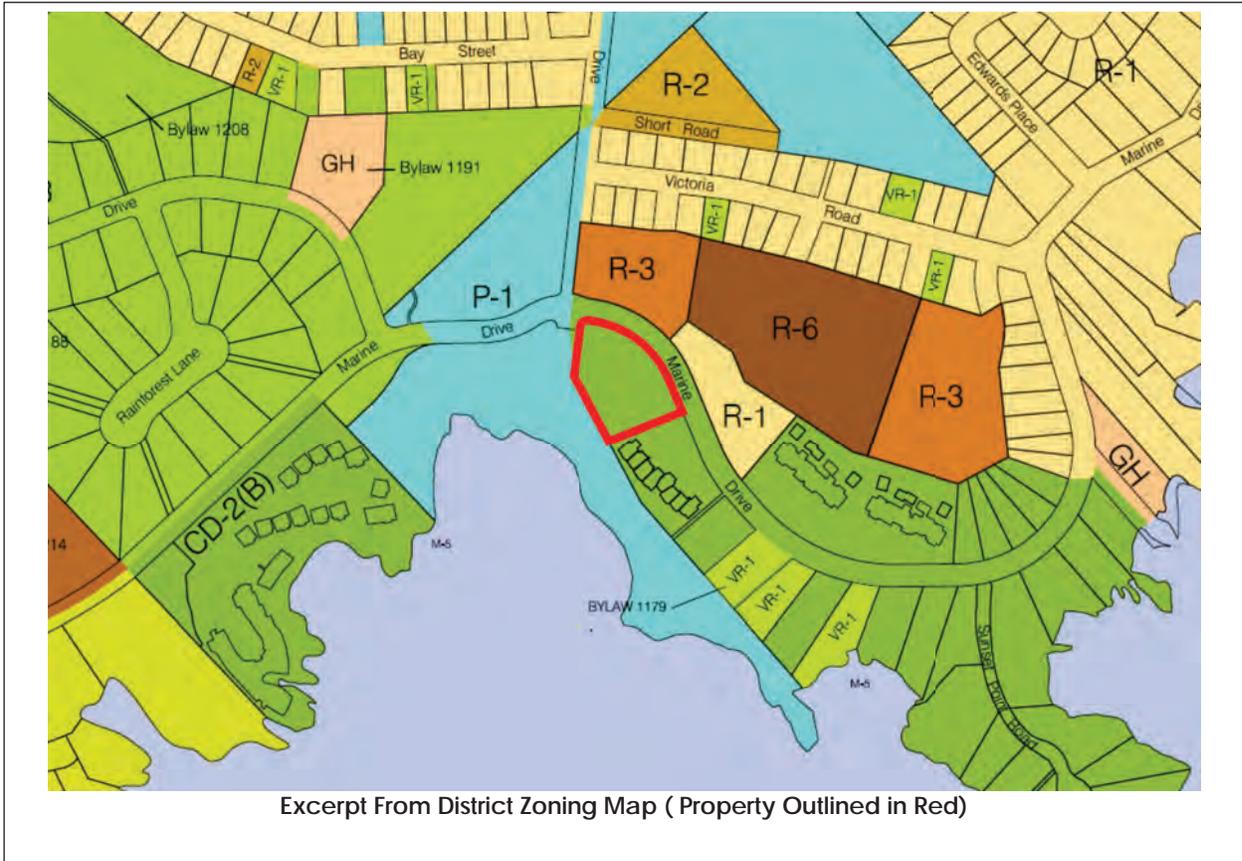
- (a) Neighbourhood Pub: **1,942 m2 (20,900 ft2)**
- (b) Residential component of Mixed Commercial/Residential:
 - **6 dwelling units with 487.5 m2 (5,250 ft2) gross floor area** combined, and each unit must not be less than 46.5 m2 (500 ft2) gross floor area

Table 2: Zoning & Land Use Densities

Zoning Districts	Permitted Land Uses	Units / Lot	Minimum Lot Size	Maximum Density (units/ha)
CD-2A.1.2 Neighbourhood Pub	*Neighbourhood Pub	1		1,942sq.m. (20,900sq.ft.)
	Dwelling Units	6	6,475sq.m. (1.6 acre)	**487.5sq.m. (5,250sq.ft.) **Combined GFA

5.0 ADJACENT LAND USE

5.1 DISTRICT OF UCLUELET ZONING BYLAW NO. 1160, 2013



The adjacent Zoning Districts include:

Comprehensive Development (CD-2A)

The lands are included in the overall CD-2 zone plan which includes a mix of uses that include: hotel, neighbourhood pub, multi-family residential, resort condominiums and single family dwellings.

Single Family Residential (R-1)

"This Zone is intended for traditional low density single family residential development, with accessory uses providing a minimal impact on the surrounding residential neighbourhood."

Vacation Rental (VR-1)

"This zone provides for low density, single residential dwelling developments and also for two principal dwellings on certain corner lots within the R1 and R1a zone."

Public Institutional (P-1)

"This zone provides agriculture and rural uses on larger lots without urban services."

Table 2 below, provides a brief overview of adjacent land uses and densities.

High Density Residential (R-3)

"This Zone is intended for a mixture of medium to high density residential uses."

Table 2 below, provides a brief overview of adjacent land uses and densities.

Table 2: Adjacent Zoning & Land Use Densities

Zoning Districts	Permitted Land Uses	Dwelling Units	Minimum Parcel Size	Maximum Density/FAR
Single Family Residential (R-1)	Single Family Dwelling Bed & Breakfast Home Occupation Secondary Suite Accessory Dwelling Unit	1 SF / Lot	650sq.m. 18m Frontage 0.35 FAR 35% Coverage	n/a
High Density Residential (R-3)	Multi Family Residential Home Occupation	1 SF / Lot	1,000sq.m. 18m Frontage 1.5 FAR 50% Coverage	65 UPH Base Bonus 1,2,3 75 – 95 UPH
Vacation Rental (VR-1)	Single Family Dwelling Vacation Rental Home Occupation Secondary Suite	1 SF / Lot	650sq.m. 18m Frontage 0.50 FAR 45% Coverage	n/a
Public Institutional (P-1)	School Public Administration & Utility Public Assembly Community Care Facility Outdoor Recreation Park		60% Coverage 1.0 FAR	n/a

6.0 REGULATORY STATUS

6.1 DISTRICT OF UCLUELET OFFICIAL COMMUNITY PLAN (OCP)

The current land use designation for the subject property is: **Neighbourhood Commercial**

"This designation applies to individual lots or small commercial nodes providing small-scale commercial services compatible with surrounding land uses and primarily serving lands within convenient walking distance.

6.2 OCP RELEVANT GENERAL COMMERCIAL POLICIES / DISCUSSION

Policy 3.69 Support a hierarchy of commercial uses that supports the Village Square as the location for most commercial and retail uses, while meeting the full range of residents' and visitors' service and shopping needs.

- The proposed development seeks to provide a boutique mix of appropriate commercial uses that are tailored to the unique location and neighbourhood context of the land. In this case, we are proposing a neighbourhood scale commercial land use component that also recognizes that this is possibly the last best site on Vancouver Island where a stunning waterfront pub could be located.
- A neighbourhood commercial use at this location would cater to both the needs of adjacent neighbourhood residents and the traveling public enjoying the Pacific Coast Trail and Big Beach Park. In support of this unique opportunity, we are proposing select commercial uses that respect the Village Square as the commercial core of Ucluelet:
 - a) Neighbourhood Pub (currently permitted);
 - b) Restaurant;
 - c) Bistro / Café;
 - d) Boutique Retail (max 2,000sq.ft.);

Policy 3.71 Promote and support locally owned small businesses, including those oriented to arts and artisans, home occupation uses, and - where appropriate - bed and breakfasts, vacation rentals and guest houses.

- Micro residential units will provide lower cost rental housing solutions for the employees of locally owned businesses within an existing neighbourhood within walking distance of community amenities and the Village Square;
- The proposed mix of land uses is tailored to the policy language above with a full spectrum of vacation rentals, residential dwellings and compatible commercial land uses as follows:

a) Micro Residential Rental Units	12 Units
b) Resort Condominium / Micro Hotel	12 Units
c) Townhomes (Owners' Units / Vacation Rental)	5 Units
d) Commercial Space (Pub, Restaurant, Bistro)	232sq.m. / 2,497sq.ft

Policy 3.73 Connect commercial areas to other parts of the District through multi-use pathways, sidewalks, trails and other transportation routes. Show commercial areas on the proposed walking trail tour that connects the Village Square to the Inner Boat Basin, Imperial Lane and other parts of the District.

- The subject property is kiddle corner to Big Beach Park and the existing multi-use pathways along Marine Drive (parallels the Wild Pacific Trail) and Matterson Road (portion of the Coast to Coast Connection route). Excerpt from Ucluelet Parks & Recreation Master Plan, Figure 6 – Coast to Coast Connection, attached as Appendix ‘A’.
- The location is ideally located at the crossroads of multi modal transportation routes connecting to the Village Square commercial core, adjacent neighbourhoods and destinations along the Wild Pacific Trail.
- This ideal situation also lends to a walkable - bikeable location to enjoy a beverage, meal, or bistro fare and return home safely without the use of a motor vehicle.

6.3 DEVELOPMENT PERMIT AREAS (DPA)

The following District of Ucluelet DPA is applicable to the lands:

6.3.1 DPA VI – RIPARIAN;

This DPA is applicable to areas as identified on Schedule “E” **Environmentally Development Permit Areas - Map**. (28. Riparian)

“to guide development and use land wisely to ensure that the most sensitive environmental features of a site are protected and ecological functions are not needlessly disturbed by development activities.” (OCP rationale)

- Refer to the concurrent Development Permit Application attachment - Environmental Assessment of Lot 1, District Lot 281 Clayoquot District Plan VIP76214, (PID# 025-812-670), District of Ucluelet, as prepared by Toth and Associates Environmental Services, dated November 30, 2024
- As stated in the report above:

“The drainage course on the subject property originates from a stormwater outlet and does not represent a natural watercourse.

Considering that the drainage course on and adjacent to the subject property originates from a stormwater discharge and is not accessible to fish due to significant barriers at the ocean it is our opinion that maintenance of a vegetated 8 m wide setback will be sufficient to protect riparian vegetation and provide wildlife habitat.”

- The recommended 8 metre setback has been applied to the Development Design submission for Development Permit.

6.3.2 DPA IV – MULTI FAMILY, MIXED USE, COMMERCIAL;

This DPA is applicable to areas of the lands as identified on the **District of Ucluelet OCP, Schedule 'F' – Map**.

“To guide the development of a pedestrian-oriented, compact and vibrant town which maintains its coastal village character and does the following: protect important public views, create buildings at a scale which is comfortable and inviting to pedestrians, reflect and adapt to the climate and coastal weather, and acknowledge the heritage of Ucluelet.” (OCP rationale)

- This development proposal has paid careful consideration to the existing form and character DPA guidelines in the development of the conceptual site layout, proposed land uses and proof of concept plans. Detailed architectural plans and drawings are provided with the concurrent development permit application.

7.0 TITLE – CHARGES, LIENS AND INTERESTS

7.1 STATUTORY RIGHT OF WAY (SRW):

EV149357 – District of Ucluelet. For the purpose of a footpath and conveying and draining run-off water.

7.2 COVENANTS:

None.

8.0 PROPOSED LAND USE ZONING

It is proposed that the properties be zoned under a single Comprehensive Development Zoning District that is aligned with the policies and density targets of the OCP (outlined in the above section 6.2). We are open to alternate Zoning District configurations that allow for the same land use framework at the discretion of District Staff and Council.

Comprehensive Development – Big Beach Mixed Use Zone

A draft Zoning District Template is attached as Appendix 'B'.

The draft CD – Big Beach Mixed Use Zoning District is intended to accommodate this specific development proposal, scale and density of proposed land uses and future land subdivision. The concurrent Development Permit Application represents the intended form of development.

We are looking forward to continued collaboration with District Staff to facilitate the proposed land use changes and ensure that we have addressed in advance any zoning implications on future development application processes (Development Permit, Subdivision and Building Permit). No one knows the local Bylaw framework better than the local planning department.

8.1 PROOF OF CONCEPT

The subdivision layout provided with this application is a 'proof of concept' generated from our collective due diligence to ensure that we can physically accommodate the land uses and layout proposed under this Zoning Amendment Application. The final subdivision layout will be reconsidered at the time of a future Subdivision & Development Permit Application. Proof of concept drawings are often helpful for the public and elected officials to visualize the effect of the proposed land use framework within the context of the site.

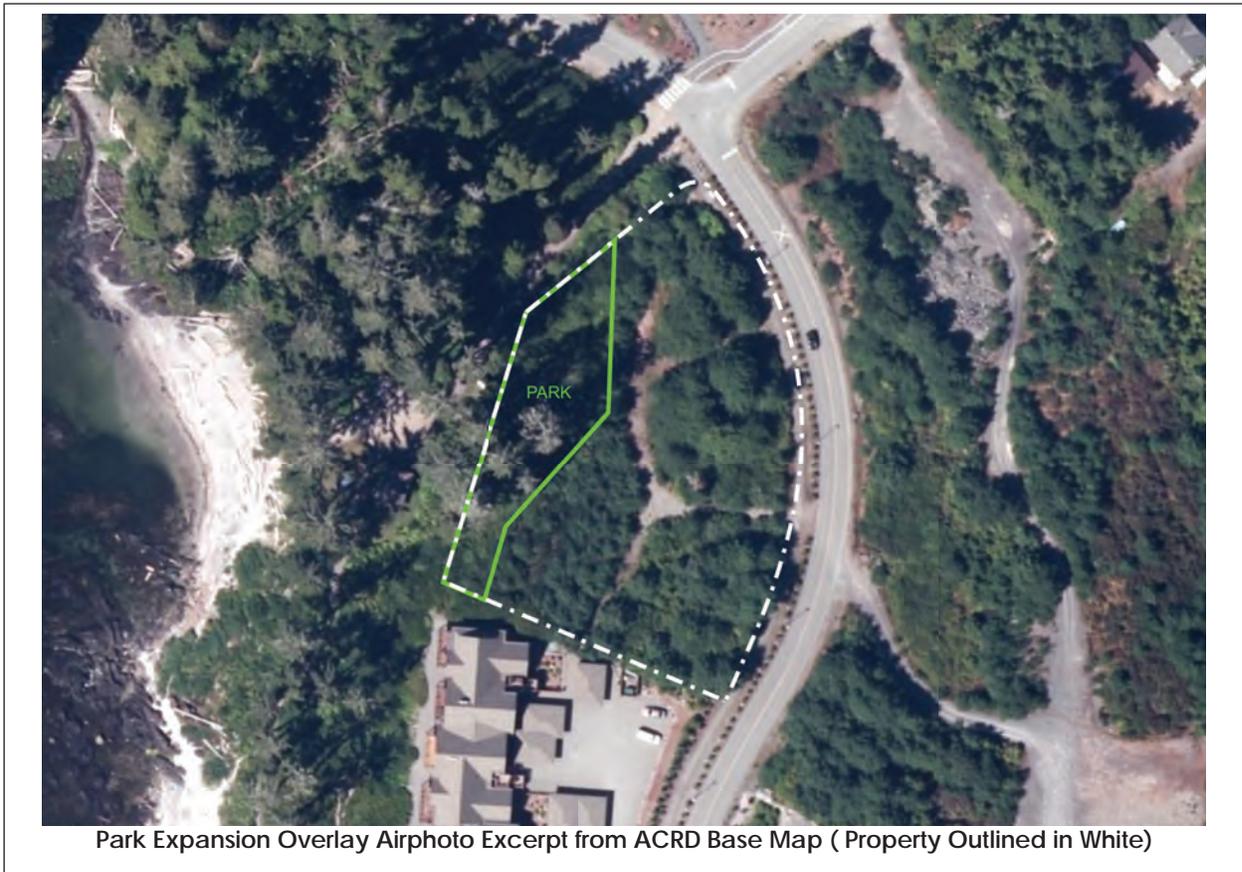
9.0 COMMUNITY BENEFIT

9.1 PARKLAND DEDICATION: EXPANDED BIG BEACH PARK

'Benefit all and harm none' is an old planning theory from the 1960s, which is applicable in this case. The environmental report has identified areas below the on-site embankment which shall remain free of development. Furthermore, there is a sliver of an archaeological site located within this area along the property's western boundary that would be better protected under public administration.

The benefit to the community includes:

1. Additional landscape preservation, buffering and setback from Big Beach Park;
2. Operational control of the municipal storm drainage outlet to the foreshore;
3. Removes potential conflicts with future strata ownership, who may not appreciate the functional and environmental value of this portion of the land to the community;
4. Preserves the Archaeological site from future disturbance in perpetuity.



Proposed Park Addition: **Area: 0.131ha. / 0.32ac.**
20% of the total lot area of the existing property

the owners have incorporated parkland dedication into the overall Site Plan – ‘Proof of Concept’. The proposed parkland dedication is significant and represents approximately 20% of the area of the property. This parkland dedication is intended to satisfy both the 5% future parkland dedication requirements at the time of Subdivision and provide 15% more land as an amenity contribution through the Zoning Amendment process.

The value of this land dedication based on the current BC Assessment value (2024 assessment as of July 1, 2023) and percentage of land dedication of 20% is: **215,600 dollars**

9.2 **MICRO RESIDENTIAL RENTAL UNITS: SECURED**

Micro residential units will provide lower cost rental housing solutions for the employees of locally owned businesses embedded in an existing neighbourhood within walking distance of community amenities and the Village Square. The incorporation of these units is also self-serving as it would provide employee housing opportunities for future commercial operations at the site.

The property owners are committed to restricting these units to rental dwellings through a legal mechanism on the Property Title to the satisfaction of the District.

10.0 APPENDIX 'A' - COAST TO COAST CONNECTION



UCLUELET PARKS and RECREATION MASTER PLAN
COAST TO COAST CONNECTION (Draft Plan Dec, 2011)



11.0 DRAFT ZONING BYLAW – CD–2A.1.2 (UPDATED)

Comprehensive Development – Big Beach Mixed Use Zone

CD-2A.1.2 Permitted Uses:

The following uses are permitted:

- (1) Principal
 - (a) Neighbourhood Pub;
 - (b) Restaurant;
 - (c) Bistro / Café;
 - (d) Boutique Retail;
 - (f) Commercial Tourist Accommodation;
 - (f) Multi Family Residential;
 - (g) Vacation Rental;

CD-2A.1.2 Lot Regulations:

Minimum Lot Size:

- (1) All Uses: 900sq.m.

CD-2A.1.2 Density:

The maximum combined number of Tourist Accommodation or Residential Dwelling Units is 29.

- (1) Despite the above, the combined maximum number of Commercial Tourist Accommodation and Vacation Rental units within this zone shall not exceed 17 units.

The maximum combined floor area for Neighbourhood Pub, Restaurant, Bistro / Café and Boutique Retail use shall not exceed 232sq.m.

Maximum Floor Area Ratio: 0.60 *(Based on Parcel size after Parkland Dedication)*

Maximum Lot Coverage: 40% *(Based on Parcel size after Parkland Dedication)*

CD-2A.1.2 Maximum Height

Principal Buildings & Structures: 12.5m

CD-2A.1.2 Minimum Setbacks

Internal Lot Lines within the CD2A.1.2 Zoning District:	0.0m
(1) Front Yard Setback (Marine Drive):	7.5m
(2) Interior Side Yard Setback:	7.5m
(3) Exterior Side Yard Setback:	7.5m
(4) Rear Yard Setback (Big Beach Park Expansion):	0.0m

12.0 DISCLAIMER

This report is intended for general guidance and information purposes only. This report is under no circumstances intended to be used or considered as financial or investment advice.

The material in the report is obtained from various sources per dating of the report. We have taken reasonable care to ensure that, and to the best of our knowledge, material information contained herein is in accordance with the facts and contains no omission likely to affect its understanding.

MacDonald Gray Consultants Inc. does not make any representation or warranty, express or implied, as to the accuracy or completeness of this report and will not have any liability towards any other person resulting from the use of this report.

There may have been changes in matters which affect the property subsequent to the date of this report. Neither the issue nor delivery of this report shall under any circumstance create any implication that the information contained herein is correct as of any time subsequent to the date hereof or that conditions surrounding the property have not since changed. MacDonald Gray does not intend, and does not assume any obligation to update or correct the information included in this report.

The contents of this report are not to be construed as legal, business, investment or tax advice. The recipient should consult with its legal, business, investment and tax advisors as to legal, business, investment and tax advice. The recipient and potential investors should understand that statements regarding future development potential may not be realized. All of the development scenarios mentioned in this report have an attached risk of loss.

The information contained herein may be subject to changes without prior notice. MacDonald Gray Consultants does not accept any form of liability, neither legally nor financially, for loss (direct or indirect) caused by the understanding and/or use of this report or its content. This report is only intended for the recipients, and should not be copied or otherwise distributed, in whole or in part, to any other person.

This report is subject to Canadian law, and any dispute arising in respect of this report is subject to the exclusive jurisdiction of Canadian courts.



LIST OF DRAWINGS	LIST OF DRAWINGS	LIST OF DRAWINGS	LIST OF DRAWINGS
ARCHITECTURAL	CIVIL	LANDSCAPE	SURVEY
A000 Cover Sheet	Drawing Preliminary Sewer Plan	L1 Landscape Architecture Site Plan	230541 TOPO Rev 0
A101 Site Plan	Drawing Preliminary Grading Plan and Storm Water	L2 Utilities Details	230542 P.A. Rev 2
A201 Site Plan	Drawing Access Profiles		
A301 LI Overall Plan			
A302 LI Overall Plan			
A303 LI Overall Plan			
A304 LI Overall Plan			
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2024-11-12 10:20:00 PM

Lot 1 - District Lot
281

Cover Sheet
A000

Architects
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10005 100 Dabney Way, VRT 0812 T 1-202-545-6581
10005 100 Dabney Way, VRT 0812 T 1-202-545-6581

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281-101
 Project for Building 1, 2, 3, 4
 New 12304 Development for Building & DP
 POISSON/AMM Consultants
 1:200 Plot Release
 2024

Lot 1 - District Lot 281

Site Plan



A101

Architects
 POISSON/AMM CONSULTANTS
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 WYV 3K3 T 12054563387
 102-510 Dalm Way VYV 042 T 12054565810
 102-510 Dalm Way VYV 042 T 12054565810
 102-510 Dalm Way VYV 042 T 12054565810



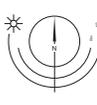
2014.11.02
 Project: New 12304 Development for Housing & DP
 Client: POCOS/AMM
 City: 12304
 Date: 2014.11.02
 Project Name: 2014

Lot 1 - District Lot 281

Parkade Overall Plan



A200
 d+h
 d+h architects
 577 Ford Street
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 100-510 Dainin Way VST 0M2 T 1-202-565-6510
 100-510 Dainin Way VST 0M2 T 1-202-565-6510





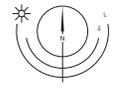
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 Scale: 1:500
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 Author: [Name]
 Date: 2005

**Lot 1 - District Lot
 281**

L1 Overall Plan
 2004-11-02

A201

Architects
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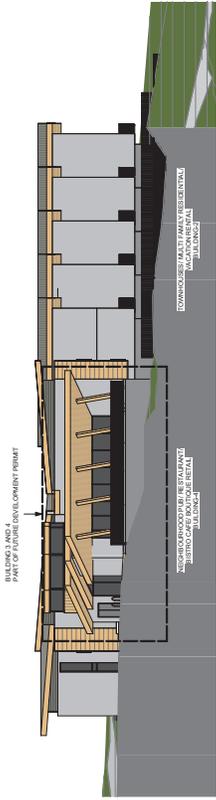
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Lot 1 - District Lot
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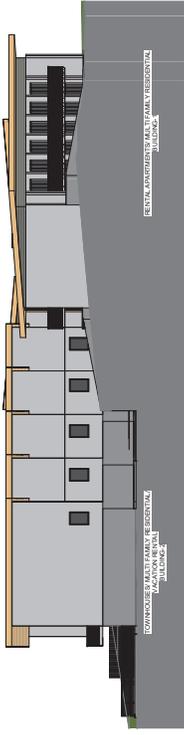
L2 Overall Plan
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 1002-510 Dalm Way, Vt 05412
 T 1-254-565-6810
 F 1-254-565-6811





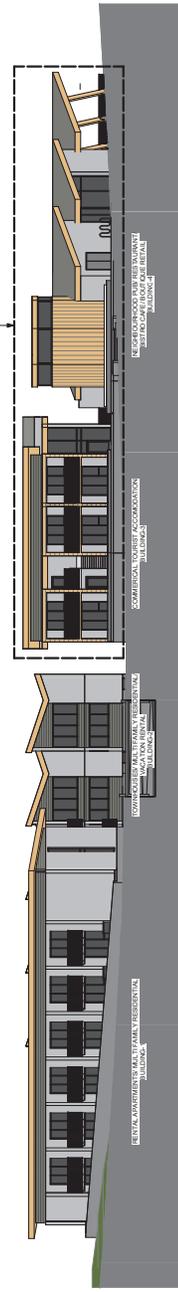
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2 South Elevation
A301 / SCALE: 1:200



3 East Elevation
A301 / SCALE: 1:200



4 West Elevation
A301 / SCALE: 1:200

DATE: 24.11.2024
PROJECT: MARKET FOR REPAIRING & IMPROVING
DRAWN: NICKY 12/2024
CHECKED: PCOISS/AMM
DATE: 17.08.2024
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PROJECT NUMBER: 2024

Lot 1 - District Lot
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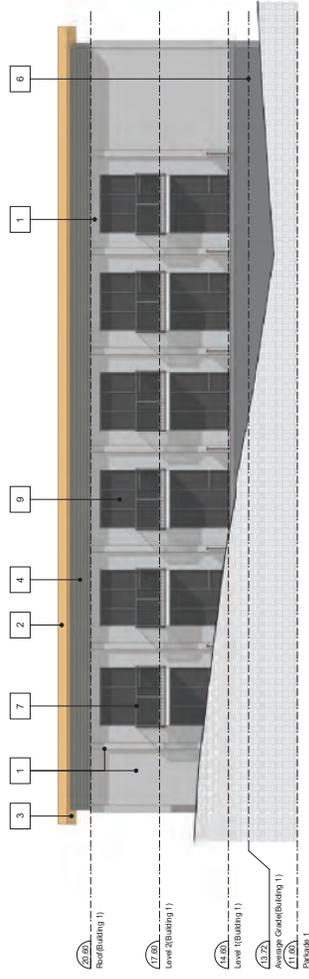
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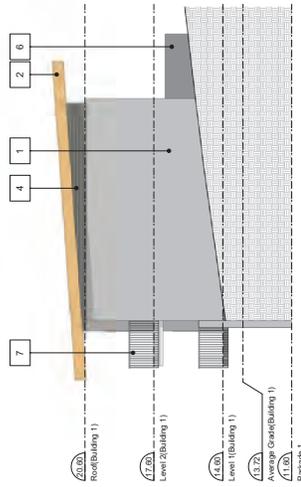
d+h architects
977 Ford Street
1026.510 Dublin Way VRT DM2 T: 1-855-856-5810
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Materials Legend

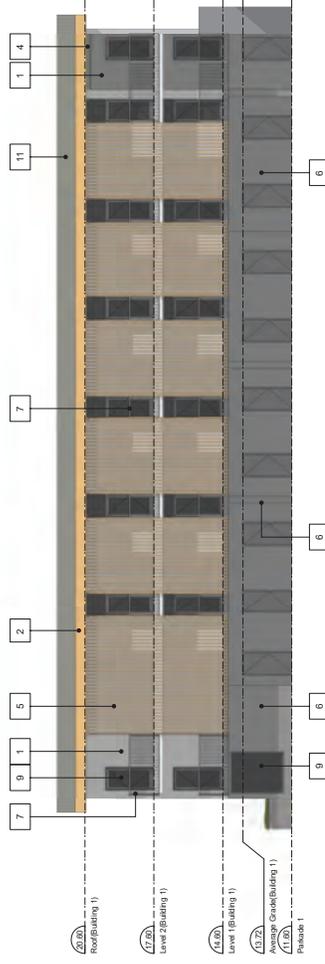
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- 9 Fibre Cement Cladding - Wood Texture, Brown
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1 North Elevation - Building 1
AS117 SCALE: 1:100

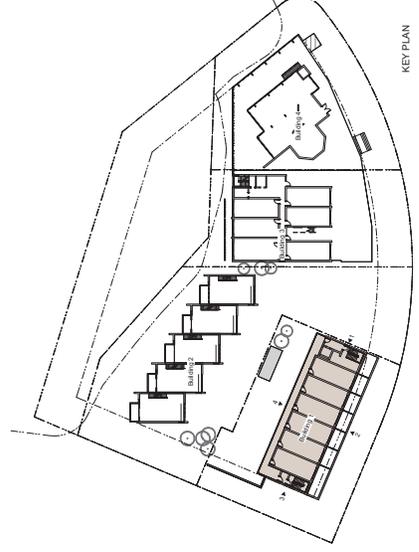


3 South Elevation - Building 1
AS117 SCALE: 1:100



2 East Elevation - Building 1
AS117 SCALE: 1:100

4 West Elevation - Building 1
AS117 SCALE: 1:100



NO.	DATE	DESCRIPTION
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3	2013.10.10	ISSUED FOR MARKETING & DP
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9	2013.10.10	ISSUED FOR MARKETING & DP
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Lot 1 - District Lot
281

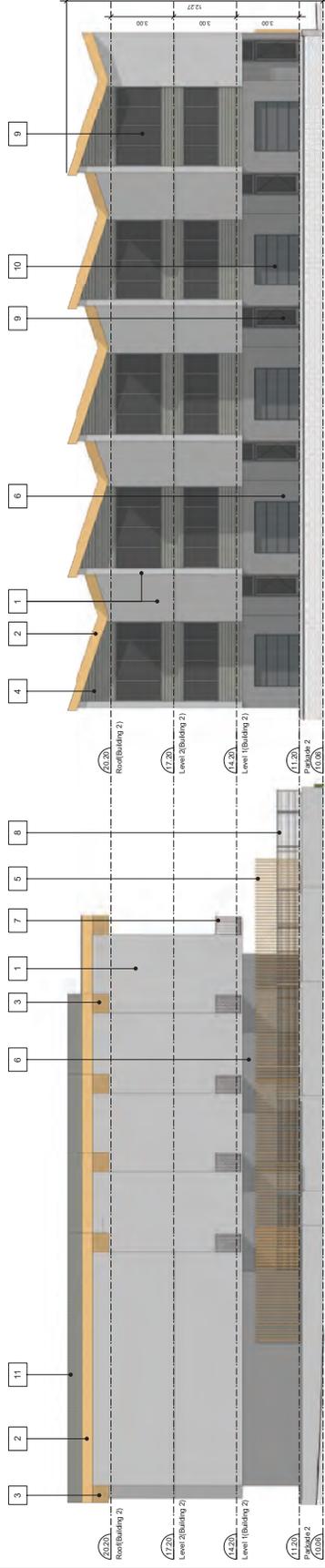
Building 1 - Rental
Apartments / Multi
Family Residential

A311

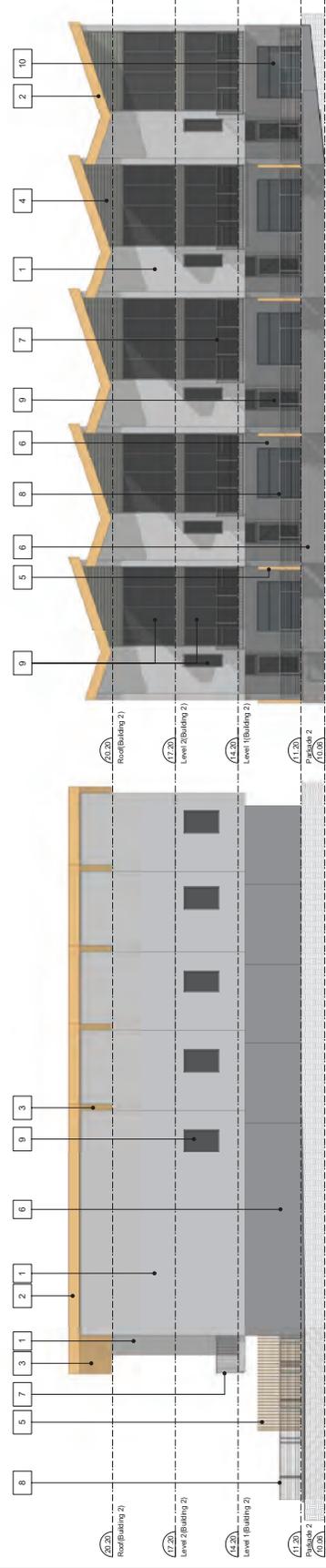
dh+a architects
977 Ford Street
1002.510 Dalm Way VPT 0412 T 1-202-565-6810
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1002.510 Dalm Way VPT 0412 T 1-202-565-6810

Materials Legend

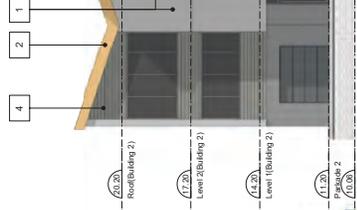
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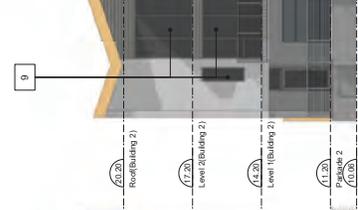
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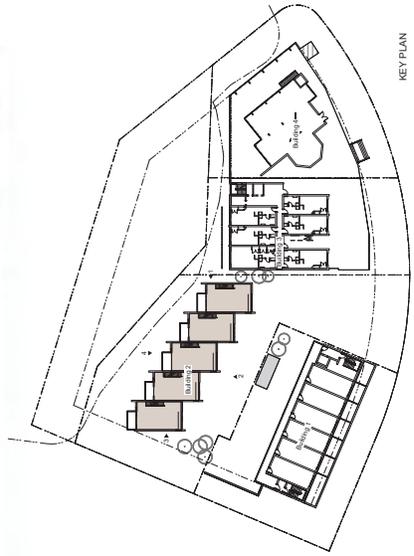
3. South Elevation - Building 2
A312 / SCALE: 1 : 100



2. East Elevation - Building 2
A312 / SCALE: 1 : 100



4. West Elevation - Building 2
A312 / SCALE: 1 : 100



KEY PLAN

281.10	Lot 1 - District Lot 281
281.11	Lot 2 - District Lot 281
281.12	Lot 3 - District Lot 281
281.13	Lot 4 - District Lot 281
281.14	Lot 5 - District Lot 281
281.15	Lot 6 - District Lot 281
281.16	Lot 7 - District Lot 281
281.17	Lot 8 - District Lot 281
281.18	Lot 9 - District Lot 281
281.19	Lot 10 - District Lot 281
281.20	Lot 11 - District Lot 281

Lot 1 - District Lot
281

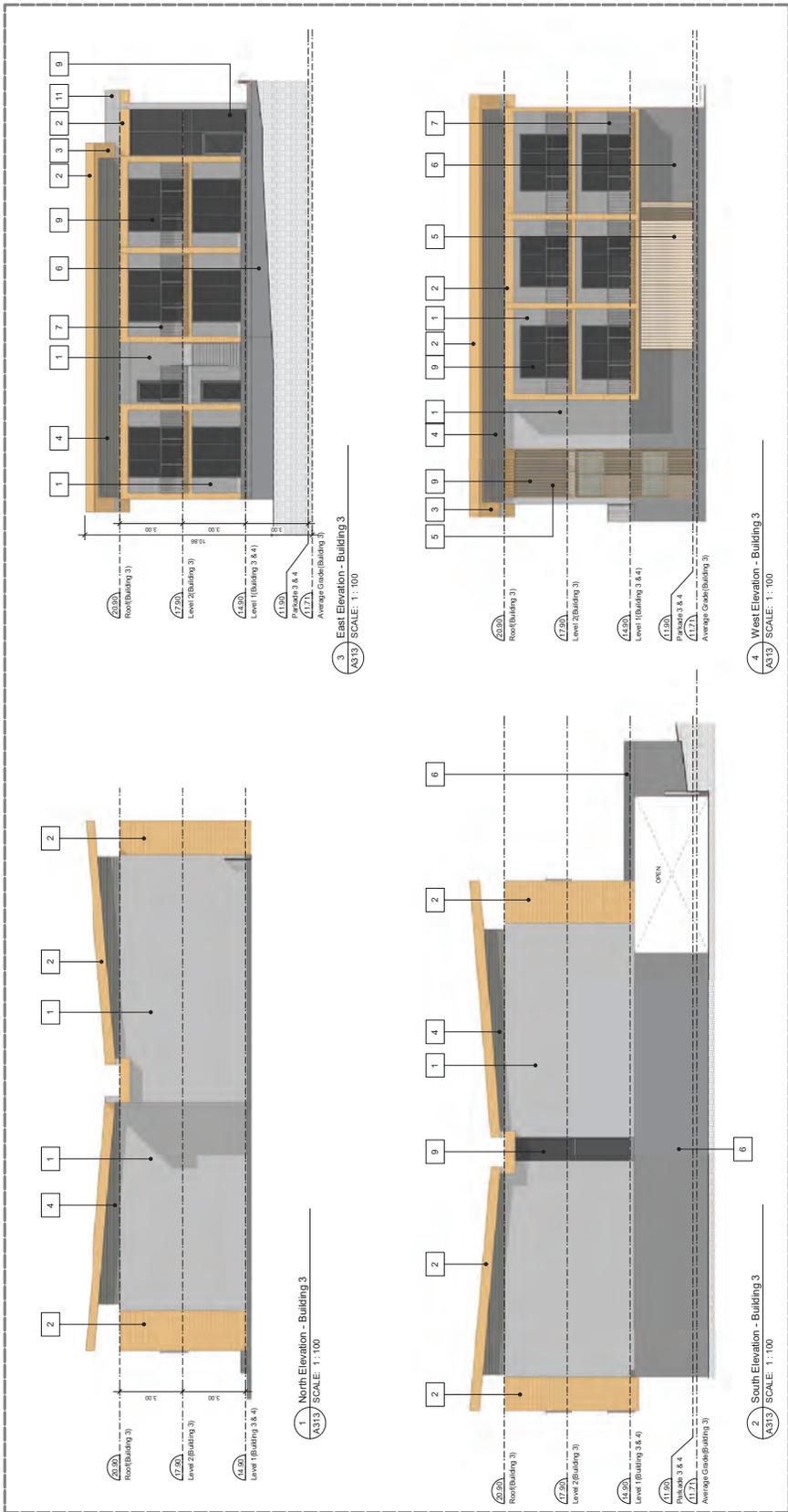
Building 2
Townhouses / Multi-Family Residential

A312

dh-a architects
977 Ford Street
100-510 Dalm Way V1T 0H2
V1V 3K3 T: 604-565-3387
T: 604-565-5810

Materials Legend

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- 5 Cedar Slat Screen
- 6 Exposed Concrete
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- 9 Vinyl Window Door System, Dark Grey
- 10 Overhead Garage Door, Dark Grey
- 11 Prefinished Metal Roofing, Dark Grey

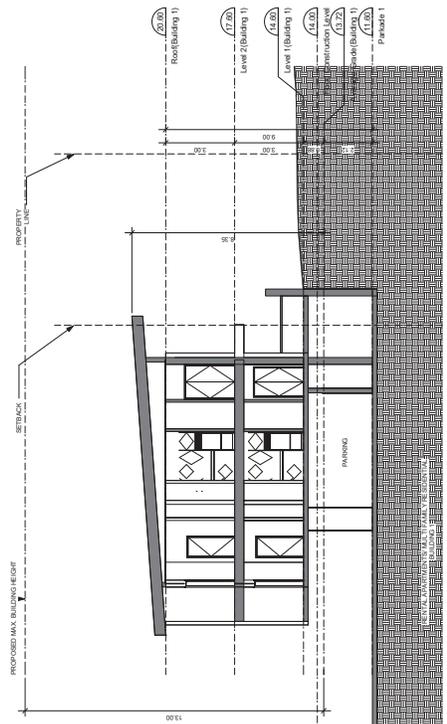


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24.1.1.11	Material for Building 3, 11

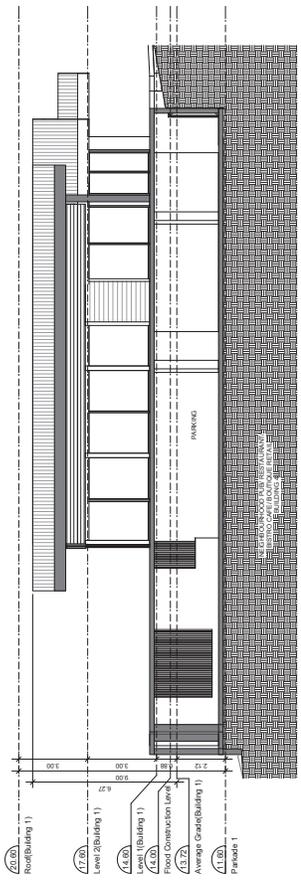
Lot 1 - District Lot
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Building 3
Commercial Tourist
Accommodation
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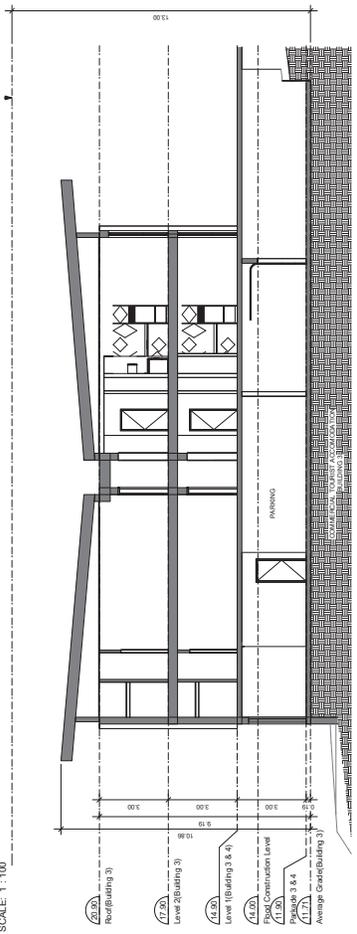
Architects
977 Ford Street
102.510 Daim Way VPT 0412 T: 02055656810
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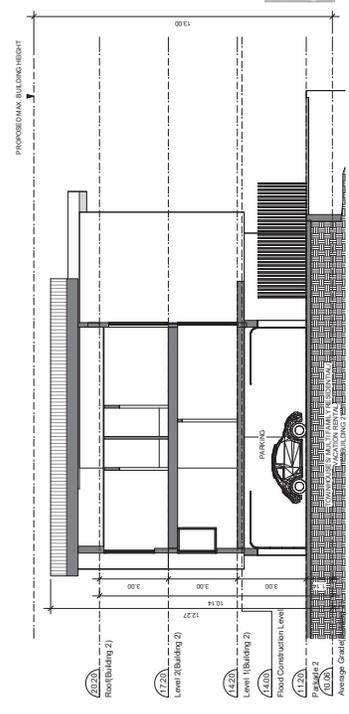
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2 Building 4 Section
 A401 SCALE: 1:100



3 Building 3 Section
 A401 SCALE: 1:100



4 Building 2 Section
 A401 SCALE: 1:100

281.103 MARKET FOR BUILDING 210P
 New 12304 Development/Market For Building & DP
 District: PC0303/AMM County: CTR
 1:100 Plot Release 2023
 1000 BATHURST ROAD, BATHURST NSW 2570

Lot 1 - District Lot
 281

Building Section

A401

g+h architects
 977 Ford Street
 1026.510 Dalm Way VPT DR2 T: 025456565810
 1026.510 Dalm Way VPT DR2 T: 025456565810
 1026.510 Dalm Way VPT DR2 T: 025456565810
 1026.510 Dalm Way VPT DR2 T: 025456565810

November 14, 2024

Windward Construction,
c/o MacDonald Gray Consultants Inc.
814 Shorewood Drive
Parksville, BC, V9P 1S1
Attention: Nigel Gray

By e-mail to nigel@macdonaldgray.ca

**Re: Lot 1 Marine Drive, Ucluelet BC
Proposed Development
Preliminary Servicing Review to Support Rezoning Application**

1. Introduction

As requested, we have conducted a servicing review for the above referenced property. The purpose of the review is to determine the impact of the development as indicated on the Architectural Site Plan provided by dHKarchitects dated September 2024, on the District of Ucluelet infrastructure.

The preliminary site plan indicates a future 4 lot subdivision including one long-term apartment building (Lot 1), 5 townhomes (Lot 2), one short-term apartment building (Lot 3) and one community pub (Lot 4). The short term apartment building and pub are proposed to share a common parkade.

The servicing comments have been separated by service type as detailed below.

2. Watermains

There is currently a 200mm dia. PVC watermain along the North property frontage in Marine Drive.

There are fire hydrants at the following locations in the vicinity of the subject property:

- On the Northeast corner of the property on Marine Drive;
- On the Southwest corner of the intersection of Matterson Drive and Marine Drive

The hydrant spacing surrounding the subject property on Marine Drive meets the requirements in the MMCD Design Guidelines 2022 for spacing between Hydrants (150m). We do however expect that all proposed buildings will be fitted with fire suppression systems which will require a hydrant to be located within 45m of the fire department connection. To meet this requirement, we expect one hydrant will be required to be installed near the site access.

Based upon the proposed unit count (using the density per unit assumptions indicated below) and the MMCD Design Guidelines we have calculated a theoretical design population of 63 persons for the total proposed development. The equivalent population summary can be seen in the tables below.

Table 1: Estimated Units and Population

Land Use	Units ⁽¹⁾	Density Range (ppu)	Equivalent Population
Lot 1 (Long-Term Apartments)	12	1.7	20.4
Lot 2 (Town House)	5	1.7	8.5
Lot 3 (Short-Term Apartments)	12	1.7	20.4
Total	29		49

(1) Architecture drawing by dHKarchitects (September 2024)

Table 2: Non-Residential Population Equivalent

Land Use	Land Use	Population equivalent (p/ha)	Equivalent Population
Lot 4 (Community pub)	Commercial	90	13.5
Total			14

(1) MMCD Design Guidelines (2022)

The domestic water demand for the subject property has been estimated below using the MMCD Design Guidelines and is summarized below.

Average Daily Demand (ADD):	300 liters per capita per day (L/c/d)
Maximum Day Demand (MDD):	600 liters per capita per day
Peak Hour Demand (PHD):	900 liters per capita per day

The preliminary fire flow calculations for the proposed buildings have been estimated based on the Fire Underwriters Survey Guidelines and available building information. Our preliminary fire flow calculation indicates a maximum theoretical fire flow of 83.3 L/s for the proposed buildings (calculation sheets have been attached for reference).

The estimated domestic demand and preliminary fire flow demand are summarized in Table 3.

Table 3: Water Demand and Fire Flow

Land Use	ADD ⁽¹⁾ (m ³ /day)	MDD ⁽¹⁾ (m ³ /day)	PHD ⁽¹⁾ (L/s)	Fire Flow (L/s)
Lot 1 (Long Term Apartments)	6.1	12.2	0.21	83.3
Lot 2 (Town House)	2.5	5.0	0.09	66.7
Lot 3 (Short Term Apartments)	6.1	12.2	0.21	83.3

Lot 4 Community Pub)	4.1	8.2	0.15	50.0
Total	18.8	37.6	0.66	-

(1) MMCD Design Guidelines (2022)

Based on record drawing information available there is an existing 150mm diameter water service to the property from the 200mm PVC watermain in Marine Drive. We expect this service is sized appropriately to provide both domestic and fire suppression flows able to service proposed lot 3, however sizing will need to be confirmed through detailed design. Proposed Lot 1,2 and 4 will require adequately sized water services to be installed from the existing watermain on Marine Drive. All services will be required to be complete with metering and backflow prevention as per MMCD standards and specifications.

3. Sanitary Sewer

The available record drawings indicate that there is a 100mm dia. PVC sanitary sewer force main in Marine Drive flowing south along the east property frontage. In order to accommodate servicing to each of the proposed lots, this main will need to be extended north along Marine Drive.

The preliminary design standard flow rate for sanitary sewers is estimated using the MMCD design guidelines 2022. The Average Dry Weather Flow (ADWF) was calculated by multiplying the estimated population by the average daily sewage flow of 240 liters per day per capita (MMCD, 2022). See summary table below.

Table 4: Average Dry Weather Flow (ADWF)

Land Use	Estimated Population	Design Demand ⁽¹⁾ (L/d/c)	ADWF (m ³ /d)
Lot 1 (Long-Term Apartments)	20.4	240	4.9
Lot 2 (Town House)	8.5	240	2.0
Lot 3 (Short-Term Apartments)	20.4	240	4.9
Lot 4 (Community Pub)	13.5	240	3.2

(1) MMCD Design Guideline (2022)

The peak dry weather sewage flow (PDWF) rates were estimated by multiplying the Average Dry Weather Flow (ADWF) by the Peaking Factor (PF). The Peaking Factor is calculated using the following:

$$PF = 1 + \frac{14}{4 + \left(\frac{P}{1000}\right)^{0.5}}$$

PF - Peaking Factor

P - Population

Table 5: Estimated Peak Dry Weather Flow

Land Use	ADWF (m ³ /day)	Peaking Factor ⁽¹⁾	PDWF (m ³ /day)
Lot 1 (Long-Term Apartments)	4.9	4.4	21.6
Lot 2 (Town House)	2.0	4.4	8.8
Lot 3 (Short-Term Apartments)	4.9	4.4	21.6
Lot 4 (Community Pub)	3.2	4.4	14.1

(1) MMCD Design Guidelines (2022)

The Infiltration allowance (I) was estimated by multiplying the assumed catchment area by the corresponding infiltration rate of 11.2 m³ /ha/day for new development areas.

Table 6: Estimated Infiltration allowance

Land Use	Catchment Area (ha)	I Rate (m ³ /ha/day)	Infiltration allowance (m ³ /day)
Lot 1 (Long-Term Apartments)	0.12	11.2	1.34
Lot 2 (Town House)	0.18	11.2	2.02
Lot 3 (Short-Term Apartments)	0.09	11.2	1.01
Lot 4 (Community Pub)	0.11	11.2	1.23

According to MMCD design guideline 2022, the sanitary sewer system shall be designed using the equation:

$$\text{Design Flow } Q = \text{PDWF} + I$$

PDWF - Peak Dry Weather Flow

I - Infiltration allowance

The design flow is summarized table below, calculated by adding peak dry weather flow and infiltration allowance together.

Table 7: Estimated Design Flow

Land Use	PDWF (m ³ /day)	Peak I&I (m ³ /day)	Design Flow (m ³ /day)	Design Flow (L/s)
Lot 1 (Long-Term Apartments)	21.6	1.34	22.9	0.26
Lot 2 (Town House)	8.8	2.02	10.8	0.13
Lot 3 (Short-Term Apartments)	21.6	1.01	22.6	0.26
Lot 4 (Community Pub)	14.1	1.23	15.3	0.18
Total				0.83

As a result, our preliminary calculations indicate a peak sanitary sewer flow of 0.83 L/s exiting the site from the 4 proposed developments.

4. Drainage

The 0.64 ha site is currently undeveloped with a riparian area to the west. Based on a topographic survey of the subject property, surface flows of the site are directed towards the riparian area on the west side of the property.

Record drawings indicate that there is a 525mm dia. PVC storm main crossing Marine Drive into the subject property. This storm main collects roadside drainage from Marine Drive and directs it towards the riparian area within the subject property and then towards the ocean.

The 525mm dia. PVC storm main traversing the property will need to be realigned to support the proposed development. This design will be completed through the detailed design process.

Due to the subject property's proximity to the ocean, and based on other developments within the District of Ucluelet, we do not expect that volume reduction or detention will be required. The site will however be required to address water quality from the parking lot runoff. Options include raingardens, bioswales, or an oil/water separator.

5. Roadways and Access

The property is currently accessible a gravel driveway of Marine Drive. The architectural plans indicate that the property will be accessed via a paved driveway from Marine Drive. Pedestrians will also be able to access the community pub via sidewalk on East side of Marine Drive. We do not expect any sightline issues at the proposed access location.

There is a paved pedestrian walkway that is located within the subject property adjacent to Marine Drive. There does not appear to be a registered right of way for this path current. The path is separated from the roadway with a hedge. In order to achieve acceptable sight lines, this hedge will need to be removed or trimmed accordingly.

The scope of the required off-site road upgrades will be confirmed during the development permit and building permit application review.

6. B.C. Hydro/Telus/Shaw Communications/FortisBC Gas/Streetlighting

There are existing underground B.C. Hydro, and Telus conduit along the west side of Marine Drive fronting the subject property. Design for electrical servicing will be required during the design stage of the project.

There are currently three District owned streetlights located on the west side of Marine Drive.

Should any further information be required in order to complete a review of the foregoing, please contact the undersigned.

Yours truly,
Newcastle Engineering Ltd.



Kailen Elander, P.Eng.



#4-3179 BARONS ROAD, NANAIMO, B.C. V9T 5W5
 PHONE: (250) 756-9553 FAX: (250) 756-9503

Project: Lot 1, Marine Drive, Ucuelet
File: 1270-001
Date: 2024-11-14
Engineer: Kailen Elander
EGBC Permit No. 1000856
Building No. 1

Fire Flow Calculation Sheet

Preliminary Fire Flow Calculation for Lot 1

Item	Notes					Value	Fire Flow Required (LPM)
Type (s) of Construction:	Wood Frame					1.50	-
Ground Floor Area: (m ²)	-					409.5	-
Number of stories	-					3	-
Total Effective Area (m ²)						1076.1	-
Required Fire Flow (LPM)	F = 220 * C * √A (rounded to nearest 1000LPM)						11000
Type of Occupancy:	Residential ©					-15%	9350
Sprinkler Reduction	Automatic sprinkler					30%	4675
	Standard water supply					10%	
	Fully supervised system					10%	
	Community level sprinkler bylaw					0%	
Exposures	Location	Distance (m)	Exposed length (m)	Exposed height (storey)	Construction type of adjacent wall		0
	North East	16	30	3	Sprinklerd	0%	
	South	-	-	-	-	-	
	East	-	-	-	-	-	
	West	18	36	3	Sprinklerd	0%	
TOTAL FIRE FLOW REQUIRED (LPM)							4675
TOTAL FIRE FLOW REQUIRED (LPM) (rounded to nearest 1000LPM)							5000
TOTAL FIRE FLOW REQUIRED (LPS)							83.3
Sprinkler system information							
Distance from fire department connection to nearest fire hydrant (m)					N/A		
Will sprinkler system be wet or dry					N/A		
Will sprinkler system contain anti freeze or chemical additive					N/A		
Backflow protection description					To be confirmed during detailed design		
If the building does not have automatic sprinkler, Distance from main entrance to nearest available fire hydrant					<90m to be confirmed during detail design		

Notes

Calculation based on the 2020 edition of the "Guide for the Determination of Required Fire Flows for Public Fire Protection in Canada" prepared by the Fire Underwriters Survey





#4-3179 BARONS ROAD, NANAIMO, B.C. V9T 5W5
 PHONE: (250) 756-9553 FAX: (250) 756-9503

Project: Lot 1, Marine Drive, Ucuelet
File: 1270-001
Date: 2024-11-14
Engineer: Kailen Elander
EGBC Permit No. 1000856
Building No. 2

Fire Flow Calculation Sheet

Preliminary Fire Flow Calculation for Lot 2

Item	Notes					Value	Fire Flow Required (LPM)
Type (s) of Construction:	Wood Frame					1.50	-
Ground Floor Area: (m ²)	-					302.5	-
Number of stories	-					3	-
Total Effective Area (m ²)						975.0	-
Required Fire Flow (LPM)	F = 220 * C * √A (rounded to nearest 1000LPM)						10000
Type of Occupancy:	Residential ©					-15%	8500
Sprinkler Reduction	Automatic sprinkler					30%	4250
	Standard water supply					10%	
	Fully supervised system					10%	
	Community level sprinkler bylaw					0%	
Exposures	Location	Distance (m)	Exposed length (m)	Exposed height (storey)	Construction type of adjacent wall		0
	North	3	30	3	Sprinklerd	0%	
	South					0%	
	East	18	33	3	Sprinklerd	0%	
	West					0%	
TOTAL FIRE FLOW REQUIRED (LPM)							4250
TOTAL FIRE FLOW REQUIRED (LPM) (rounded to nearest 1000LPM)							4000
TOTAL FIRE FLOW REQUIRED (LPS)							66.7
Sprinkler system information							
Distance from fire department connection to nearest fire hydrant (m)					N/A		
Will sprinkler system be wet or dry					N/A		
Will sprinkler system contain anti freeze or chemical additive					N/A		
Backflow protection description					To be confirmed during detailed design		
If the building does not have automatic sprinkler, Distance from main entrance to nearest available fire hydrant					<90m to be confirmed during detail design		

Notes

Calculation based on the 2020 edition of the "Guide for the Determination of Required Fire Flows for Public Fire Protection in Canada" prepared by the Fire Underwriters Survey





#4-3179 BARONS ROAD, NANAIMO, B.C. V9T 5W5
 PHONE: (250) 756-9553 FAX: (250) 756-9503

Project: Lot 1, Marine Drive, Ucuelet
File: 1270-001
Date: 2024-11-14
Engineer: Kailen Elander
EGBC Permit No. 1000856
Building No. 3

Fire Flow Calculation Sheet

Preliminary Fire Flow Calculation for Lot 3

Item	Notes					Value	Fire Flow Required (LPM)
Type (s) of Construction:	Wood Frame					1.50	-
Ground Floor Area: (m ²)	-					597.2	-
Number of stories	-					3	-
Total Effective Area (m ²)	include parkade					1363.7	-
Required Fire Flow (LPM)	F = 220 * C * √A (rounded to nearest 1000LPM)						12000
Type of Occupancy:	Residential ©					-15%	10200
Sprinkler Reduction	Automatic sprinkler					30%	5100
	Standard water supply					10%	
	Fully supervised system					10%	
	Community level sprinkler bylaw					0%	
Exposures	Location	Distance (m)	Exposed length (m)	Exposed height (storey)	Construction type of adjacent wall		0
	North	0	21	1	Sprinklerd	0%	
	South	3	10	3	Sprinklerd	0%	
	South East	16	12	3	Sprinklerd	0%	
	West	-	-	-	-	-	
TOTAL FIRE FLOW REQUIRED (LPM)							5100
TOTAL FIRE FLOW REQUIRED (LPM) (rounded to nearest 1000LPM)							5000
TOTAL FIRE FLOW REQUIRED (LPS)							83.3
Sprinkler system information							
Distance from fire department connection to nearest fire hydrant (m)					N/A		
Will sprinkler system be wet or dry					N/A		
Will sprinkler system contain anti freeze or chemical additive					N/A		
Backflow protection description					To be confirmed during detailed design		
If the building does not have automatic sprinkler, Distance from main entrance to nearest available fire hydrant					<90m to be confirmed during detail design		

Notes

Calculation based on the 2020 edition of the "Guide for the Determination of Required Fire Flows for Public Fire Protection in Canada" prepared by the Fire Underwriters Survey





#4-3179 BARONS ROAD, NANAIMO, B.C. V9T 5W5

PHONE: (250) 756-9553 FAX: (250) 756-9503

Project: Lot 1, Marine Drive, Ucuelet
File: 1270-001
Date: 2024-11-14
Engineer: Kailen Elander
EGBC Permit No. 1000856
Building No. 4

Fire Flow Calculation Sheet

Preliminary Fire Flow Calculation for Lot 4

Item	Notes					Value	Fire Flow Required (LPM)
Type (s) of Construction:	Wood Frame					1.50	-
Ground Floor Area: (m ²)	-					223.9	-
Number of stories	-					1	-
Total Effective Area (m ²)	Assume parkade > 50% below grade					223.9	-
Required Fire Flow (LPM)	F = 220 * C * √A (rounded to nearest 1000LPM)						5000
Type of Occupancy:	Group A, Division 2					0%	5000
Sprinkler Reduction	Automatic sprinkler					30%	2500
	Standard water supply					10%	
	Fully supervised system					10%	
	Community level sprinkler bylaw					0%	
Exposures	Location	Distance (m)	Exposed length (m)	Exposed height (storey)	Construction type of adjacent wall		0
	North	-	-	-	-		
	South	0	21	2	Sprinklerd	0%	
	East	-	-	-	-		
	West	-	-	-	-		
TOTAL FIRE FLOW REQUIRED (LPM)							2500
TOTAL FIRE FLOW REQUIRED (LPM) (rounded to nearest 1000LPM)							3000
TOTAL FIRE FLOW REQUIRED (LPS)							50.0
Sprinkler system information							
Distance from fire department connection to nearest fire hydrant (m)					N/A		
Will sprinkler system be wet or dry					N/A		
Will sprinkler system contain anti freeze or chemical additive					N/A		
Backflow protection description					To be confirmed during detailed design		
If the building does not have automatic sprinkler, Distance from main entrance to nearest available fire hydrant					<90m to be confirmed during detail design		

Notes

Calculation based on the 2020 edition of the "Guide for the Determination of Required Fire Flows for Public Fire Protection in Canada" prepared by the Fire Underwriters Survey



REMAINDER OF DISTRICT LOT 281
(BIG BEACH PARK)

REM A
PLAN VIP56963

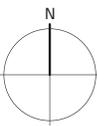
REM 16
PLAN VIP76214

MATTERSON DRIVE

MARINE DRIVE

1
PLAN VIP76214
AREA = 0.641 ha

STRATA PLAN VI55917



LEGEND

●	STANDARD HIGH POST FOUND
○	ROUND CATCH BASIN
---	STORM LINE
---	SEWAGE LINE
WV	WATER VALVE
FH	FIRE HYDRANT
TL	TIE BOX
JB	JUNCTION BOX
WM	WATER METER
EP	LAMP STANDAGE
---	EDGE OF PAVEMENT
---	TOP OF BANK
---	BOTTOM OF BANK
---	CONTOURS (0.5 METRE INTERVAL)
---	TREE LINE
10TH	TREE LOCATION AS PER TOTH & ASSOCIATES REPORT WITH WAYPOINT NO.

GENERAL NOTES:

DISTANCES AND ELEVATIONS ARE IN METRES. ELEVATIONS ARE DERIVED FROM MEAN PRECISE POINT POSITIONING (PPP) SERVICE.

THIS PLAN PURPORTS TO POSITION ONLY THE ACTUAL AND / OR PROPOSED IMPROVEMENT(S) SHOWN RELATIVE TO ONLY THE BOUNDARIES SHOWN OF OR APPURTENANT TO THE SUBJECT PARCEL(S).

THIS PLAN PROVIDES NO WARRANTY OR REPRESENTATION WHATSOEVER WITH RESPECT TO THE LOCATION OF ANY OTHER ACTUAL OR PROPOSED IMPROVEMENT(S) RELATIVE TO ANY BOUNDARY OF OR APPURTENANT TO THE SUBJECT PARCEL(S).

FIELD SURVEY COMPLETED MARCH 15, 2023

LOT ALIGNMENT DERIVED FROM FIELD SURVEY

THIS PARCEL MAY BE SUBJECT TO REGISTERED CHARGES & EMBURTS. E119257

THIS PLAN DOES NOT PURPORT TO VERIFY COMPLIANCE WITH THE RESTRICTIONS THEREIN.

PROJECT: LOT 1, BIG BEACH

CLIENT: WINDWARD CONSTRUCTION

DRAWING: TOPOGRAPHIC SITE PLAN

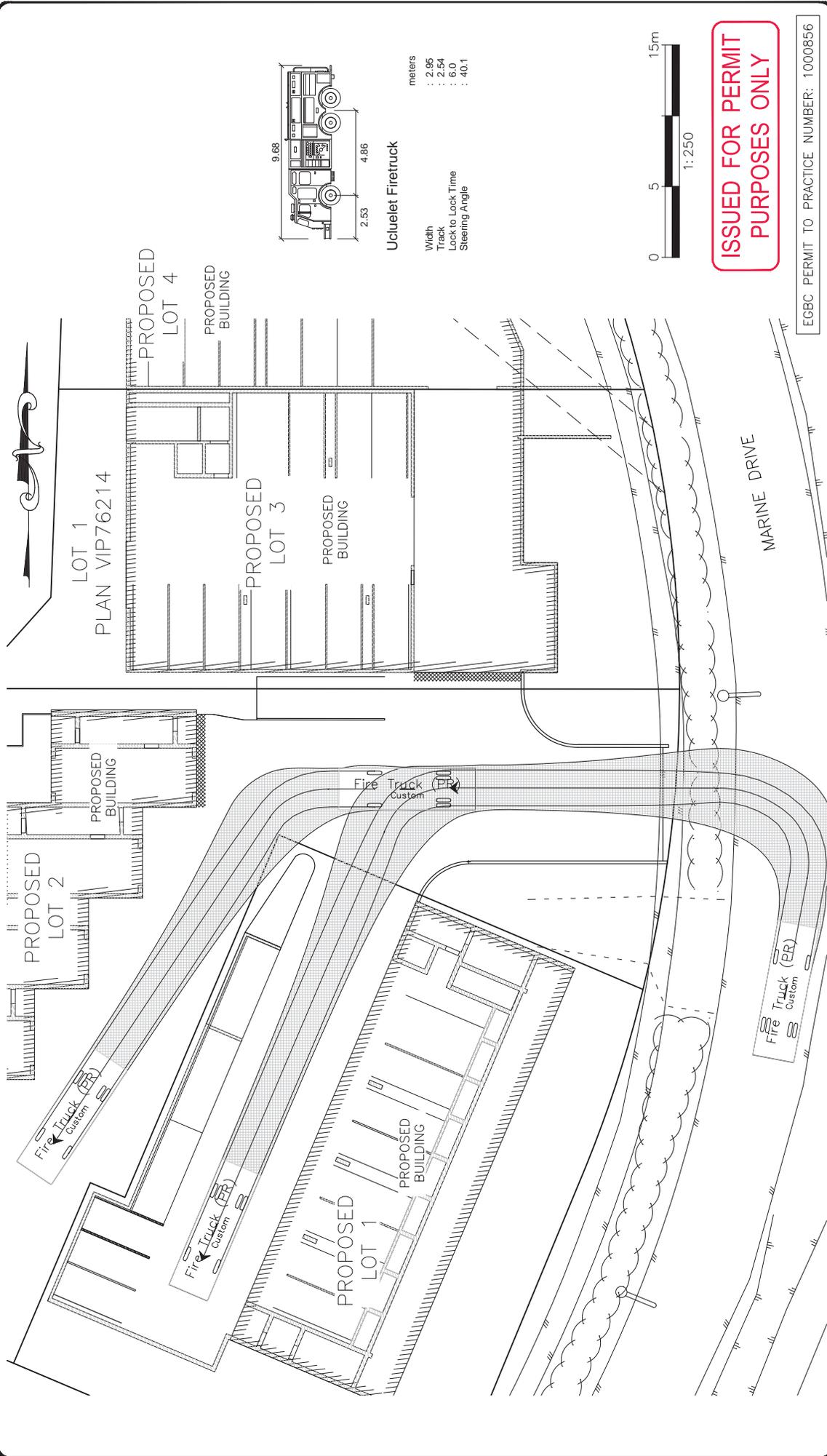
DRAWN: CH

FILE: 23005-1 TOPD

BASEPLAN: 18086

NO.	DATE	REVISION
01	MAR 23, 2023	FIRST ISSUE





ISSUED FOR PERMIT PURPOSES ONLY

EGBC PERMIT TO PRACTICE NUMBER: 1000856

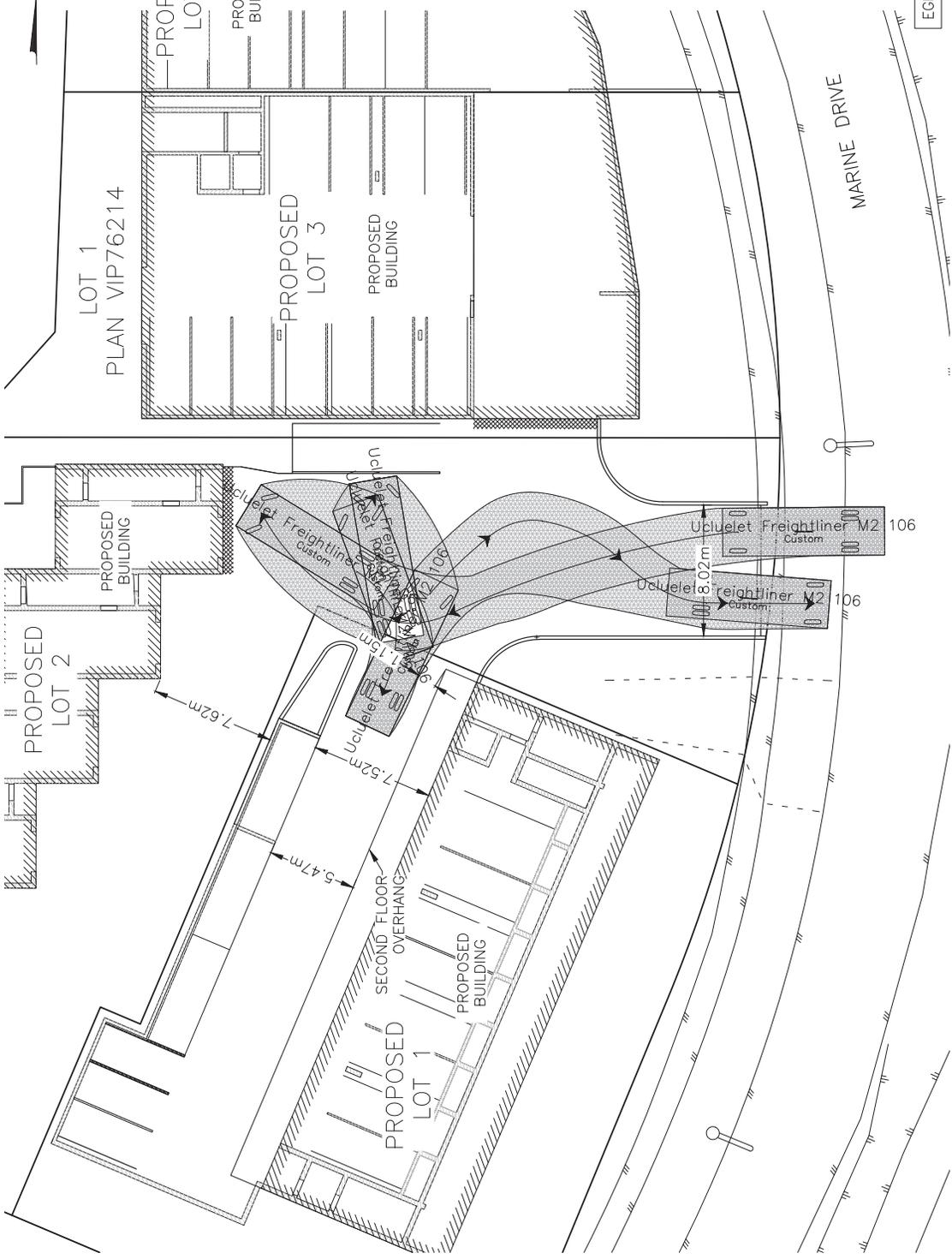
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Date:	10-23-24
Dwg. No.	AT-01

NEWCASTLE ENGINEERING LTD.
 4-3179 BARONS ROAD
 NANAIMO, B.C. V9T 5W5

DRAWING TITLE
 DESIGN VEHICLE TURNING PLAN
 FIRE TRUCK

CLIENT NAME
 WINWARD CONSTRUCTION

PROJECT NAME
 LOT 1 MARINE DRIVE



LOT 1
PLAN VIP76214

PROPOSED
LOT 4

PROPOSED
BUILDING

PROPOSED
LOT 3

PROPOSED
BUILDING

PROPOSED
LOT 2

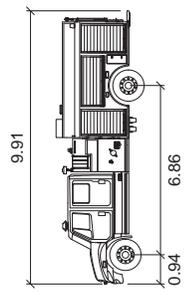
PROPOSED
BUILDING

PROPOSED
LOT 1

PROPOSED
BUILDING

Ucluelet Freightliner M2 106

- meters
- Width : 2.95
 - Track : 2.54
 - Lock to Lock Time : 6.0
 - Steering Angle : 48.2



ISSUED FOR PERMIT
PURPOSES ONLY

EGBC PERMIT TO PRACTICE NUMBER: 1000856

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Drawn	HR
Date:	04-11-25
Dwg. No.	AT-03

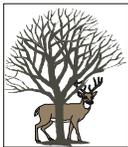
NE

**NEWCASTLE
ENGINEERING LTD.**
4-3179 BARONS ROAD
NANAIMO, B.C. V9T 5W5

DRAWING TITLE
**DESIGN VEHICLE TURNING PLAN
FIRE TRUCK OVERHANG DISTANCE**

CLIENT NAME
WINWARD CONSTRUCTION

PROJECT NAME
LOT 1 MARINE DRIVE



Toth and Associates Environmental Services

6821 Harwood Drive, Lantzville, B.C. V0R 2H0

Tel: (250) 390-7602

E-mail: stoth@shaw.ca

November 30, 2024

Ukee Landmark Joint Venture

C/o MacDonald Gray Consultants Inc.

814 Shorewood Drive,

Parksville, BC V9P-1S1

Re: Environmental Assessment of Lot 1, District Lot 281 Clayoquot District Plan VIP76214, (PID# 025-812-670), District of Ucluelet

1.0 INTRODUCTION

Toth and Associates Environmental Services conducted an environmental assessment of Lot 1, District Lot 281 on November 19, 2020 to document environmental sensitivities on and adjacent to the approximate 0.64 ha (1.58 acre) subject property. It is our understanding that Ukee Landmark Joint Venture intends to apply for a Zoning Amendment to the subject property to change the current Zoning District of Comprehensive Development 2A (CD-2A.1.2) Big Beach / Neighbourhood Pub to a Comprehensive Development Zone or combination of zoning districts that will support a mix of Multi-family dwelling units up to 3 storeys in height and Commercial lease space.

The District of Ucluelet's Official Community Plan (OCP Bylaw No. 1306, 2022) indicates that all lands within the boundaries of Ucluelet are designated a Development Permit Area (DPA) for the regulation of form and character when being developed for:

- Multi-Family, Commercial & Mixed-Use (DPA IV)

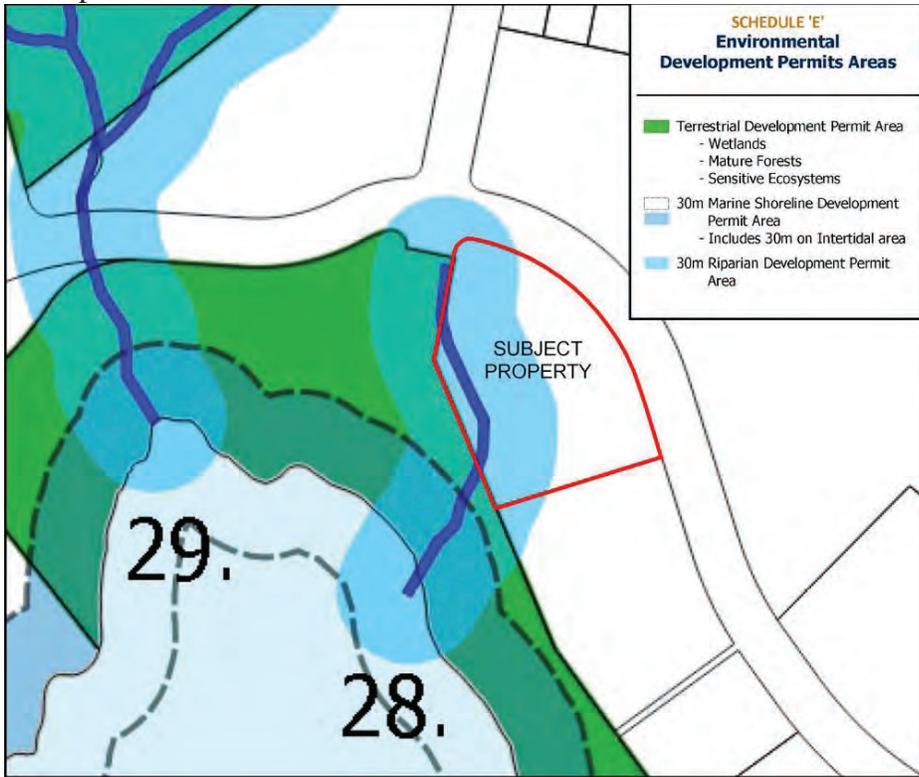
Schedule E (Environmental Development Permit Areas) of the OCP indicates that a portion of the 30 m Riparian DPA associated with an adjacent watercourse falls upon the west side of the subject property (see Schedule E excerpt below). The Terrestrial DPA applies to the adjacent lands located west of the subject property. Schedule G (Hazardous Conditions DPA) indicates that there are small areas of steep slopes on and adjacent to the subject property (see Schedule G excerpt below). The following report addresses the Environmental DPA guidelines as detailed in the District of Ucluelet's OCP with consideration of Zoning Bylaw No.1160, 2013.

Our prior experience with the area includes wildlife and vegetation assessments conducted as part of the bio-inventories of Lots 3, 4, 5 and District Lot 283, Clayoquot District as a sub-consultant for Streamline Environmental Consulting Ltd. in 2005 / 2006.

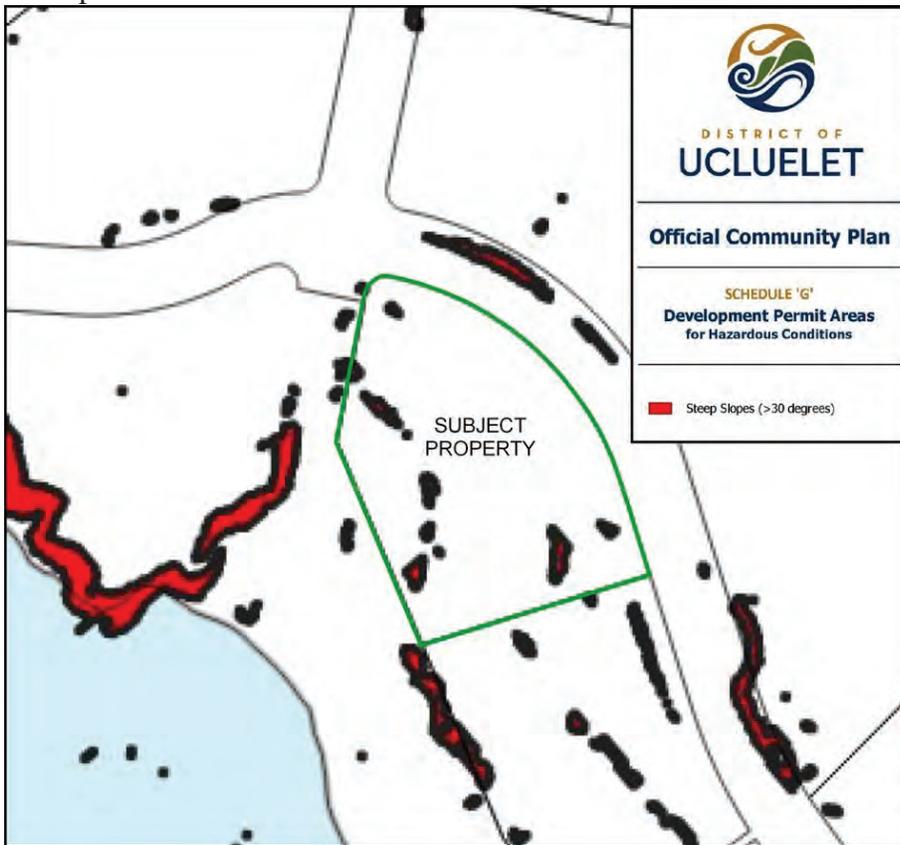
2.0 BACKGROUND REVIEW

Schedule A of the Zoning Bylaw No.1160, 2013 indicates that the subject property is zoned Comprehensive Development 2A and the Zoning Bylaw's subzone maps indicate the subject property is designated Neighbourhood Pub CD-2A.1.2. Schedule A (Long Range Land-Use Plan) of the OCP identifies the subject property as "Neighbourhood Commercial".

Excerpt from OCP Schedule E



Excerpt from Schedule G



Section 306.2 of the Zoning Bylaw indicates that in addition to the minimum setback requirements of other parts of this Bylaw:

- 1) No building or structure may be placed, constructed, sunk into, erected, moved, sited, altered or enlarged within
 - a) 7.5 m (25 ft) on the upland side of the natural boundary of the ocean,
 - b) 30 m (98.5 ft) of the natural boundary of any other **natural** watercourse or source of water supply,

except as expressly otherwise specified in a Zone, or in a registered covenant under section 219 of the *Land Title Act* in favour of the District or the Province.

A “**Watercourse**” is defined by the Zoning Bylaw as “any **natural or man-made** drainage course or source of water, intermittent or not, including any lake, river, creek, spring, ravine, swamp, or source or ground or surface water, or as designated by the Ministry of Environment”.

The OCP indicates that DPA VI (Riparian Areas Protection) areas include the lands within 30 metres of streams and watercourses and include watercourses, lakes, streams, ponds and wetlands identified as fish-supportive habitat or connected to watercourses:

- a) for a stream, a 30 metre strip on both sides of the watercourse measured from the high-water mark; and,
- b) for a ravine less than 60 metres wide, a strip on both sides of the stream measured from the high-water mark to a point that is 30 metres beyond the top of the ravine bank.

For purposes of clarity, the above descriptions should be relied upon rather than the riparian areas shown on Schedule E. The latter is intended as a visual aid to help locate these areas. Within the Plan area, “stream” includes all named and unnamed watercourses, ponds, and wetlands.

The Definitions provided in the OCP indicate that “Stream” means the same as defined under the provincial *Riparian Areas Protection Regulation* (RAPR).

A “stream” is defined under the RAPR as:

- a) a watercourse or body of water, whether or not usually containing water, and
- b) any of the following that is connected by surface flow to a watercourse or body of water referred to in paragraph (a):
 - i. a ditch, whether or not usually containing water;
 - ii. a spring, whether or not usually containing water;
 - iii. a wetland;

Our review of the information contained on the provincial RAPR website indicates that the RAPR does not apply in the District of Ucluelet.

There were no raptor or heron nest sites documented on or adjacent to the property by the BC Wildlife Tree Stewardship Atlas¹ or Great Blue Heron Management Team Atlas²

2.1 DPA Guidelines

The General Guidelines Applicable to all Environmental DPAs are included in Table 4. The Riparian Areas Protection DPA Guidelines are included in Table 5.

1 https://cmnmaps.ca/WITS_gomap/

2 https://cmnmaps.ca/gbhe_gomap/

2.2 Rare Species / Ecosystems

Documented rare species occurrences in the vicinity of the Lot 1 were reviewed on the BC Conservation Data Centre's (CDC) Imap (<http://maps.gov.bc.ca/ess/hm/cdc/>, accessed November 15, 2020). There was only one mapped record (#6777) for an occurrence of Northern red-legged frog (*Rana aurora*) east of the subject property. Other documented species occurrences on the Ucluth Peninsula include blue-listed (of special concern) Dromedary jumping-slug (*Hemphillia dromedaries*), Seaside centipede lichen (*Heterodermia sitchensis*), California wax-myrtle (*Morella californica*), and American water shrew (*Sorex palustris brooksi*) documented from the Tofino-Ucluelet Highway / Highway 4 intersection area.

The subject property is located within the southern variant of the Coastal Western Hemlock very wet hypermaritime (CWHvh1) biogeoclimatic zone³.

The Ministry of Environment's B.C. Species and Ecosystems Explorer site was searched for red and blue-listed species and ecological communities with potential to occur in the area. The search of animal and plant species was restricted to the Coastal Western Hemlock (CWH) biogeoclimatic zone occurring within the Alberni-Clayoquot Regional District. The search identified 53 animal species and 49 plant species. The search of ecological communities was limited to the CWHvh1 biogeoclimatic zone occurring within the Alberni-Clayoquot Regional District. The search returned 15 ecological communities with potential to occur in the area.

The lists of animal and plant species and ecological communities was refined to exclude species that are known not to occur within the area based on known spatial limits of distribution, life history and habitat requirements. The refined lists include 8 animal species (Table 1) and 7 plant species (Table 2) with potential to occur on or in the vicinity of the subject property. All of the plant species are fungi or lichens that currently have very little distribution or habitat information and are therefore included by default.

Table 1. Listed animal species potentially occurring in the study area

Scientific Name	English Name	COSEWIC	BC List
<i>Aneides vagrans</i>	Wandering Salamander	SC (May)	Blue
<i>Contopus cooperi</i>	Olive-sided Flycatcher	SC (May)	Blue
<i>Falco peregrinus pealei</i>	Peregrine Falcon, <i>pealei</i> subspecies	SC (Dec 2017)	Blue
<i>Glaucidium gnoma swarthi</i>	Northern Pygmy-owl, <i>swarthi</i> subspecies		Blue
<i>Hemphillia dromedarius</i>	Dromedary Jumping-slug	T (May 2014)	Red
<i>Megascops kennicottii kennicottii</i>	Western Screech-Owl, <i>kennicottii</i>	T (May 2012)	Blue
<i>Patagioenas fasciata</i>	Band-tailed Pigeon	SC (Nov 2008)	Blue
<i>Rana aurora</i>	Northern Red-legged Frog	SC (May)	Blue

Table 1. Listed plant species potentially occurring in the study area.

Scientific Name	English Name	BC List
<i>Bryocaulon pseudosatoanum</i>	pacific pretzel	Blue
<i>Erioderma sorediatum</i>	vole felt	Blue
<i>Fuscopannaria leucostictoides</i>	frosted crackers	Blue
<i>Leioderma sorediatum</i>	felted elf	Blue
<i>Pannaria rubiginosa</i>	considerable gingerbread	Red
<i>Parmotrema crinitum</i>	snuff ruffle	Blue
<i>Usnea glabrata</i>	lustrous beard	Blue

3 Meidinger, D. and J. Pojar. 1991. Ecosystems of British Columbia. BC Ministry of Forests. Victoria, B.C. 330 pp.

The review of available air photos indicated that the subject property has undergone at least 2 periods of land development in approximately the past 30 years. In 2005 the property was used as a staging area for the adjacent development at 554 Marine Drive and in approximately 2016 areas of the property were cleared again. Rare ecological communities are based on communities that are in mature or climax successional stages; therefore as the subject property has been previously cleared there is no potential for remnant rare ecological community presence on the subject property.

3.0 FIELD SURVEY RESULTS

The subject property consists of a patchy mix of forest cover (Figure 1) ranging from approximately 4 – 30 years old. The north end of the property includes a small grove of mature Red alder (*Alnus rubra*) adjacent to Marine Drive (Photograph 1). Approximately the southern third of the property consists of mixed 10 – 30 year old Sitka spruce (*Picea sitchensis*) and Red alder with an understory of Salmonberry (*Rubus spectabilis*) and Sword fern (*Polystichum munitum*, Photographs 2 & 3). The remainder of the property has been cleared and / or roaded in the past 10 years (Photographs 4 & 5). A steep slope runs along the west side of the property and appears to have been partially formed by fill / lot grading. A seepage area dominated by Common rush (*Juncus effusus*) is located on the east side of the property below Marine Drive (Photograph 6).

84 trees were documented on the property including 63 Sitka spruce, 18 Red alder, 2 Western redcedar (*Thuja plicata*) and 1 Western hemlock (*Tsuga heterophylla*). Details for the trees on the property are provided in Table 3.

Table 3. Tree inventory information for Lot 1

Species Codes: Ss = Sitka spruce, Dr = Red alder, Cw = Western redcedar, Hw = Western hemlock														
Way point	Lat / Long Coordinates (WGS 84)						Species & Diameter-at-breast-height (DBH)							
							Ss	dbh	Dr	dbh	Cw	dbh	Hw	dbh
3	48	56	11.663	-125	33	1.591	2	35, 45			1	20		
4	48	56	11.695	-125	33	0.349	1	25			1	20		
5	48	56	11.846	-125	33	0.515	4	8, 12, 16, 22						
6	48	56	12.469	-125	33	0.734	1	8						
7	48	56	13.416	-125	33	1.134	1	8						
8	48	56	10.392	-125	33	1.134			1	49				
9	48	56	10.489	-125	33	1.109	1	24						
10	48	56	10.259	-125	33	1.433	1	25						
11	48	56	10.23	-125	33	1.426	1	12						
12	48	56	10.385	-125	33	1.505			1	40				
13	48	56	10.651	-125	33	1.105	2	12, 40						
14	48	56	10.842	-125	33	1.048			1	33				
15	48	56	10.853	-125	33	1.116			1	35				
16	48	56	10.975	-125	33	0.997			1	35				
17	48	56	10.921	-125	33	0.778			1	35				
18	48	56	10.979	-125	33	0.882	1	15						
19	48	56	11.09	-125	33	0.875			1	33				
20	48	56	11.195	-125	33	0.835	3	8, 16, 22						
21	48	56	11.191	-125	33	1.091			1	38				
22	48	56	11.213	-125	33	1.487	1	12						
23	48	56	11.191	-125	33	1.537	2	14, 24						
24	48	56	10.943	-125	33	1.418			1	33				
25	48	56	10.86	-125	33	1.451	1	16						
26	48	56	10.748	-125	33	1.213	1	16						
27	48	56	10.813	-125	33	1.505	7	<15						
28	48	56	10.532	-125	33	1.616			1	35				
29	48	56	10.5	-125	33	1.728	2	16, 20						
30	48	56	10.547	-125	33	1.764	3	10, 10, 12						
31	48	56	10.421	-125	33	2.005	1	38						

Species Codes: Ss = Sitka spruce, Dr = Red alder, Cw = Western redcedar, Hw = Western hemlock														
Way	Lat / Long Coordinates						Species & Diameter-at-breast-height (DBH)							
point	(WGS 84)						Ss	dbh	Dr	dbh	Cw	dbh	Hw	dbh
32	48	56	10.442	-125	33	2.189	1	24						
33	48	56	10.752	-125	33	1.825	2	12, 15						
34	48	56	10.828	-125	33	1.75	2	10, 16						
35	48	56	11.126	-125	33	1.768	1	28						
36	48	56	11.051	-125	33	1.93	1	30						
37	48	56	11.144	-125	33	1.66	2	14, 16						
38	48	56	10.849	-125	33	1.84	2	10, 12						
39	48	56	10.795	-125	33	1.894	7	<15						
40	48	56	10.802	-125	33	2.167	5	<15						
41	48	56	10.572	-125	33	2.318			1	31				
42	48	56	10.464	-125	33	2.354	2	18, 25						
43	48	56	12.458	-125	33	1.267	2	8, 10					1	15
44	48	56	12.887	-125	33	1.858			1	35				
45	48	56	13.088	-125	33	1.656			1	40				
46	48	56	13.002	-125	33	1.451			1	40				
47	48	56	13.211	-125	33	1.22			1	40				
48	48	56	13.297	-125	33	1.426			1	32				
49	48	56	13.51	-125	33	1.53			1	35				
50	48	56	13.74	-125	33	2.149			1	35				
Total Trees:		84	Subtotals:		63		18		2		1			

A drainage course discharges from a concrete storm drain outlet headwall adjacent to the north end of the property (Photograph 7). As far as we could tell, the drainage originates entirely from stormwater drainage in the Matterson Drive area. Drainage from the outlet structure runs within a man-made rip-rap rock lined channel between the subject property and the Big Beach access road / trail. The drainage course turns south near the toe of slope and runs through the west side of the property, forming a poorly defined swamp area (Photograph 8) behind the public washroom in the park. The swamp area appears to be formed from a pile of stumps and logs forming a blockage in the channel at the downstream end of the swamp. The drainage turns west near the south end of the subject property, crosses under the beach trail in a culvert and discharges onto the beach (Photograph 9). The overall day-lighted length of channel between the storm drain outlet and the beach is 145 m. There is no potential for fish to gain access to the drainage from the ocean due to extensive channel blockage created by driftwood and beach gravels.

A 525 mm storm drain carrying drainage from the ditch along the east side of Marine Drive runs west under the north end of the subject property and discharges to the rip-rap rock lined drainage channel.

Evidence of wildlife use documented during the survey included low numbers and diversity of common resident forest songbirds (Spotted towhee, Winter wren, Steller’s jay), Raccoon and Blacktail deer. No active bird nests or nests belonging to those species protected under Section 34(b) of the provincial *Wildlife Act* (i.e. raptors / herons) were found during the survey.

4.0 DISCUSSION & CONCLUSIONS

There appears to be some inconsistency between Section 306.2 of the Zoning Bylaw which indicates setback requirements from natural watercourses or sources of water supply and the definition of a watercourse under the Zoning Bylaw which includes any natural or man-made drainage course or source of water. As written, the bylaw seems to only require setbacks from “natural” watercourses. The drainage course on the subject property originates from a storm drain outlet, and as the channel downstream of the outlet also seems to be man-made the drainage course does not appear to represent a natural watercourse.

Considering that the drainage course on and adjacent to the subject property originates from a stormwater discharge and is not accessible to fish due to significant barriers at the ocean it is our opinion that maintenance of a vegetated 8 m wide setback will be sufficient to protect riparian vegetation and provide wildlife habitat.

Based on the current development plan the recommended 8 m wide watercourse setback will be largely contained within a parkland dedication area along the west side of the property totalling approximately 0.131 ha or roughly 20% of the property.

The provincial *Water Sustainability Act* (WSA) applies to natural watercourses or natural sources of water supply. As the drainage course on and adjacent to the subject property originates from a stormwater discharge it is our interpretation that the WSA would not apply to it.

The General Guidelines Applicable to all Environmental DPAs and Riparian Areas Protection DPA Guidelines are included in Tables 4 & 5, along with our comments.

4.1 Impact Statement

Lot 1 represents a previously disturbed parcel with a history of multiple episodes of land development. The proposed zoning amendment and change in permitted land use would not appear to represent any potential increase in associated environmental impact over the currently permitted land use.

Should you have any questions or concerns regarding the contents of this report, please feel free to contact me at (250) 390-7602.

Sincerely,
Steve Toth, R.P.Bio.



Toth and Associates Environmental Services



Figure 1. May 2023 air photo with forest cover polygons and features on Lot 1

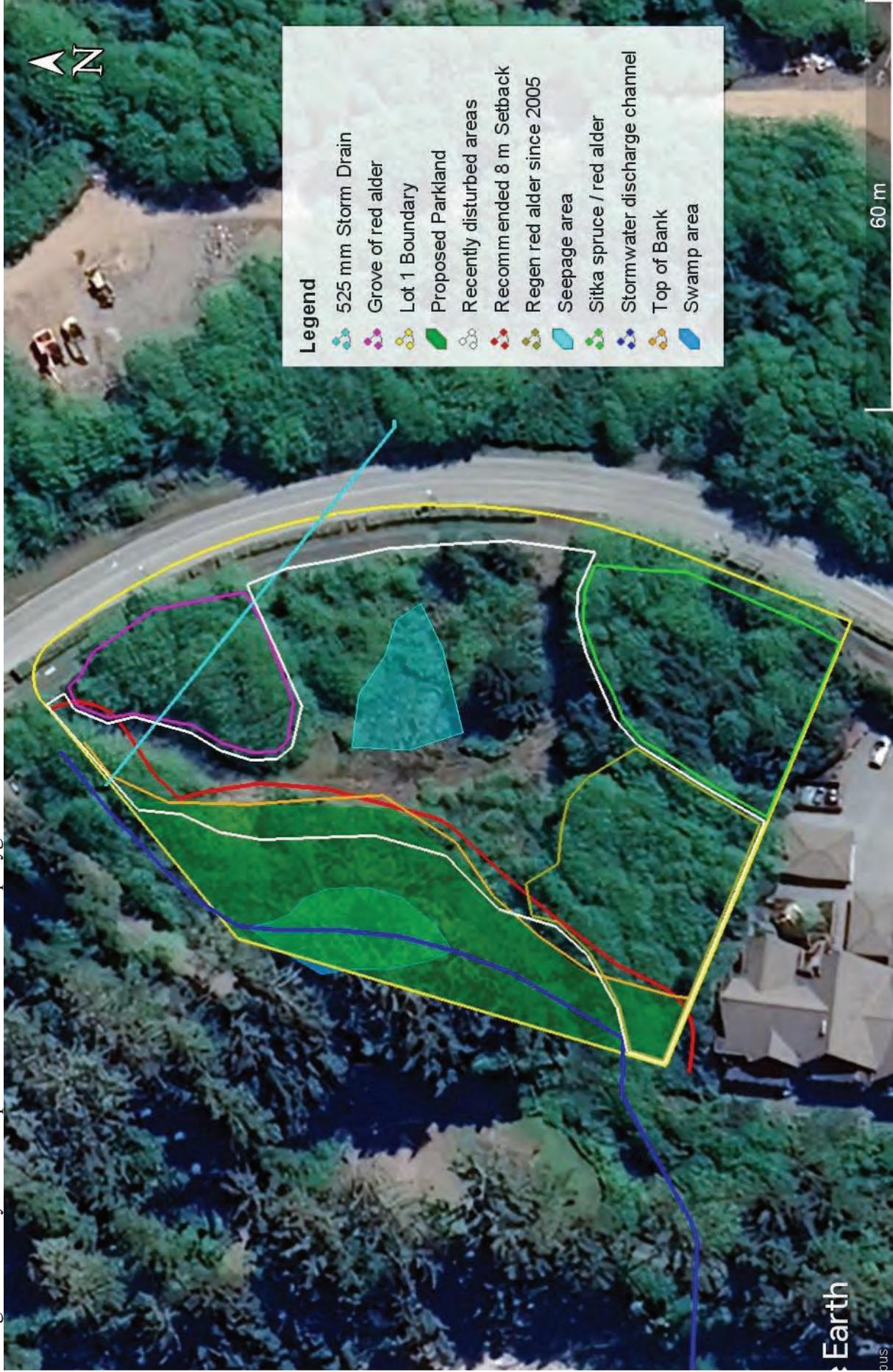


Figure 2. Proposed building outlines in relation to recommended setback



*Note: map orientation has changed from Figure 1.

Table 4. General Guidelines Applicable to all Environmental DPAs

No.	Guideline	Comments
E1	For all land lying within an Environmental DP area, an assessment of the site, its natural features and the development shall be undertaken and a report prepared by a Qualified Environmental Professional (QEP) shall be submitted with the DP application;	This report.
E2	The QEP report must contain any records listed in the BC Conservation Data Centre and must include data obtained from a search of the Ministry of Environment's BC Species and Ecosystems Explorer for the categories "plants and animals" and "Ecological Communities" that includes all potential red listed, blue listed, and SARA listed species along with their Conservation Framework priority.	Included in Section 2.2 of this report.
E3	In cases of reporting after the fact due to managing emergency situations, the applicant shall provide an environmental report certified by a Qualified Environmental Professional (QEP), describing follow-up works to restore environmentally sensitive areas which were present prior to the emergency.	Not applicable.
E4	For all non-emergency circumstances, the applicant shall provide an environmental report certified by a Qualified Environmental Professional (QEP). The report must include: <ul style="list-style-type: none"> a) A site plan certified by a B.C. Land Surveyor that locates: <ul style="list-style-type: none"> i. the proposed development relative to DPA boundaries shown on Schedule E and property lines; ii. the environmental sensitive areas as defined under the general definitions and any other significant or rare species or species assemblages found in the DPA as identified by the QEP; iii. the applicable buffer or setback recommended by the QEP to separate the proposed development from the environmentally sensitive feature. b) For activity or construction within the stream channel, documentation of Provincial and Federal approval, with supporting technical reports. 	Included in this report. No in-stream works are proposed. As the drainage course on and adjacent to the subject property originates from a stormwater discharge it is our interpretation that the WSA would not apply to it. We have recommended an 8 m watercourse setback.
E5	If the QEP report identifies environmentally sensitive areas (ESAs) not shown on Schedule E, then the applicant and the District shall treat those values as if they are shown on Schedule E for the purposes of applying requirements of the more specific environmental DPAs.	Understood as instruction. No additional ESAs found.
E6	If the QEP report confirms that an environmental value relating to a DPA shown on Schedule E is not present or does not affect the subject property, then the applicant and the District shall treat the property as though it is not in the applicable DPA. This includes the case where a QEP determines that there is a physical barrier between the environmental feature and the subject property that creates a functional separation between the two.	The field survey found that Watercourse # 28 shown on Schedule E of the OCP is derived from storm drain discharge.
E7	Clustering of density is encouraged as a means for preserving environmentally sensitive areas.	Understood as instruction.
E8	For all projects that involve development within an ESA, the District shall require the applicant to post security at 125% of the cost of protection and/or restoration works.	Although the Riparian DPA on the subject property is attributable to an adjacent storm drain discharge, the design includes a robust landscape plan using native plant species.
E9	The District may, as part of the development permit, vary the setback requirements from an ESA where it can be demonstrated in a less than desirable existing situation that a "net positive improvement" for fish or wildlife habitat will result, or, in a more desirable existing situation that "no net loss" will result, subject to municipal, Provincial and or Federal agency review and comment. Any reduction of setback distances within an ESA shall occur in accordance with the findings and recommendations of the technical/environmental report.	Understood as instruction. We have recommended an 8 m setback from the storm drain discharge.

Table 5. Riparian Areas Protection DPA Guidelines

No.	Guideline	Applicability & Comments
E.VI.1	Development or alteration should be planned to avoid intrusion into DPA VI areas of the site and to minimize the impact of any activity on these areas.	The DPA 6 area on the subject property is associated with / attributable to a storm drain discharge.
E.VI.2	Development permit applications that would encroach on areas designated as DPA VI should include a report prepared by a qualified environmental professional outlining the following information: a) detailed site plan (1:250 or larger) identifying the natural boundary and a line 30 metres from the natural boundary; b) an impact statement describing effects of proposed development on the natural conditions; c) measures deemed necessary to protect the integrity of streamside protection and enhancement areas from the effects of development; d) guidelines and procedures for mitigating habitat degradation including limits of proposed leave areas; and, e) habitat compensation alternatives, where compensation is approved.	a) See Figure 2. b) See Section 4.1 c) A sediment and erosion control plan should be implemented at construction stage d) The recommended watercourse setback is 8.0 m. e) The proposed development plans include dedication of approximately 20% of the property as parkland, as well as a robust landscape plan using native plants.
E.VI.3	Development permit applications should include a vegetation management plan indicating the extent of proposed buffer areas and the proposed management of vegetation in these areas.	The only invasive species noted on site was Scotch broom, which is confined to the proposed building footprint.
E.VI.4	Based on the biophysical assessment of the site within an area designated DPA VI, works or protective measures such as the planting or retention of trees or vegetation may be required to preserve, protect, restore or enhance stream, watercourses, fish habitat or riparian areas.	As the DPA 6 area is associated with a storm drain discharge and the already naturally vegetated 8 m buffer area will be contained largely within dedicated parklands we have not included requirements for restoration.
E.VI.5	In the absence of a report from a qualified environmental professional, a minimum buffer of 30 metres should be preserved between the high water mark of the watercourse and any building or structure.	Understood as instruction.
E.VI.6	The total amount of impervious cover on property adjacent to a watercourse should minimize impact on the receiving aquatic environment. Consideration should be given to reducing impervious cover through reduction in building footprint and paved areas, exceeding the minimum riparian setback where feasible, and use of onsite infiltration.	Rain Gardens and bioswales are incorporated into the civil engineering and landscape architecture designs.
E.VI.7	The construction of a small accessory building such as a pump house, gazebo, garden shed or play house may be permitted if all the following apply: a) The building is located within an existing landscaped area; b) No native trees are removed; and c) The area of the structure is not more than 10 m ² .	Understood as instruction.



Photograph 1. View from stormwater outlet to Red alder grove.



Photograph 2. View of young Sitka spruce / Red alder polygon at the south end of Lot 1.



Photograph 2. View of dense vegetation in the south end of the property.



Photograph 3. View north to south through Lot 1 showing previous clearing / roading.



Photograph 4. View of previously roaded area near the south end of the property



Photograph 5. View of common rush dominated seepage area below Marine Drive.



Photograph 6. View from Big Beach access to stormwater outlet.



Photograph 7. View of shallow swampy area along the west side of the property.



Photograph 8. View of the mouth of the drainage course at the beach.

Appendix A. Statement of Qualifications

STATEMENT OF QUALIFICATIONS

Mr. Steven Toth, R.P.Bio is the owner and operator of Toth & Associates Environmental Services. Mr. Toth has 31 years of experience in the environmental consulting industry as a Registered Professional Biologist and Applied Science Technologist. Work experience consists of a diverse range of projects including environmental impact assessments, wildlife and ecological inventories, riparian area assessments, urban / sub-urban biophysical inventories, detailed fish habitat assessments, fisheries inventories, stream, lake and wetland classification, fisheries research and population assessments, forestry audits, water quality and environmental monitoring. Project experience includes:

- >350 Biophysical inventories for various land development projects;
- > 250 provincial *Riparian Areas Regulation* Assessments;
- 24 Wildlife EIAs for run-of-river hydropower developments;
- >100 Raptor and heron nest tree assessments;
- 4 Watershed Restoration Program Overview and Level 1 Fish Habitat Assessments, along with numerous other fisheries related projects;
- >100 environmental and water quality monitoring projects;
- 5 large scale 1:20,000 Forest Renewal B.C. Fish and Fish Habitat Inventories;
- >180 lake surveys conducted according to RISC standards and DFO's juvenile sockeye assessment methodologies; and,
- >100 Tree surveys for tree removal permit applications

EXAMPLES OF AREA PROJECT EXPERIENCE

Environmental Assessment of proposed Affordable Housing development on Lot 13, Marine Drive (PID# 027-473-538), Ucluelet. *For Andrew McLane, Personal Real Estate Corporation.*

Screening Level Ecological Inventory of Lots 3, 4, 5 and District Lot 283, Clayoquot District. *For Streamline Environmental Consulting Ltd. & Weyerhaeuser Co. Ltd.*

EIA of the Canoe Creek Hydroelectric Project. *For Streamline Environmental Consulting Ltd. & Tla-o-qui-aht First Nation.*

EIA of the Haa-ak-suuk Creek Hydroelectric Project. *For Streamline Environmental Consulting Ltd. & Tla-o-qui-aht First Nation.*

EIA of Klitsa, Maraude and South Sutton Creek Hydroelectric Projects. *For Streamline Environmental Consulting Ltd.*

EIA of a portion of Lot 479, Port Albion Road, Ucluelet, B.C. *For B.C. Hydro.*

Bio-inventory of District Lot 122, Clayoquot Land District, Tofino, B.C. *For Lanarc Consultants Ltd.*

Bio-inventory of District Lot 363 of the Ahousaht Lands, Flores Island, B.C. *For McGill and Associates Engineering Ltd. & Ahousaht First Nation.*

Bio-inventory of Lot 1431, Pacific Rim Highway, Tofino, B.C. *For Streamline Environmental Consulting Ltd.*

Juvenile Sockeye Stock Assessment 1994 – 1997 (included Kennedy, Muriel & Megin Lakes). *For Triton Environmental Consultants and Fisheries & Oceans, Canada.*



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Lot 1 Marine Drive Windward Construction District of Ucluellet, BC

NOTES & DETAILS

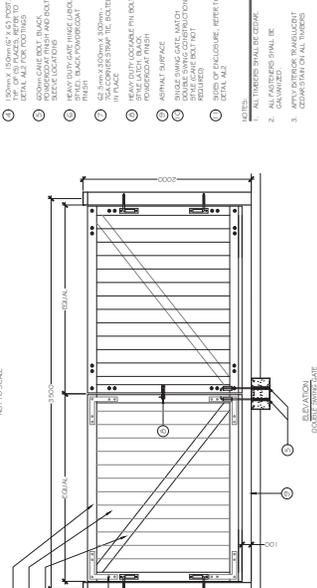
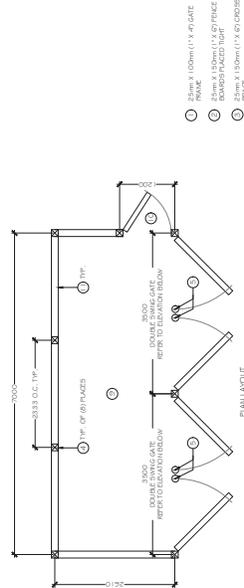
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#	Date	Notes
0	09SEP2024	DP coordination
1	24OCT2024	DP Review

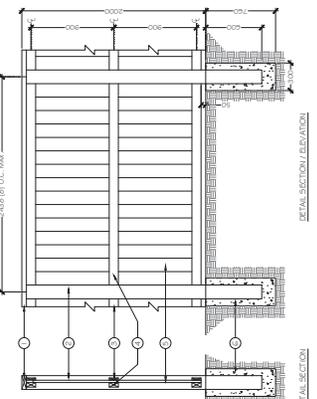
REVISION SCHEDULE

TREE PROTECTION NOTES

- GENERAL: TREE LOCATIONS WERE TAGGED IN THE FIELD BY THE PROJECT ARBORIST. TREE LOCATIONS ARE IDENTIFIED FROM THIS DRAWING. TREE PROTECTION NOTES AND TREE PROTECTION LAYOUTS WILL BE DEFINED BY THE ARBORIST AND MINOR PASSING LAYOUT CHANGES MAY BE REQUIRED IN THE FIELD.
- TREE PROTECTION FENCING:
 - TREE PROTECTION FENCING SHALL BE AT A MINIMUM CONSTRUCTED OF PLASTIC, INTERATIONAL ORANGE POLYETHYLENE WEB FENCING SECURELY MOUNTED ON A WOODEN POST AND EXTENDING AT LEAST 1 m (3'-3") ABOVE THE GROUND AND WITH MINIMUM 4-m X 2.4-m (8' X 8') PAINT, AND BOTTOM RAIL. FENCE POSTS SHOULD BE INSTALLED AT 1.8-M (6') INTERVALS.
 - INSTALL PROTECTIVE FENCING BEFORE CLEARING, GRUBBING, EXCAVATION OR GRADING, OR BEFORE ANY OTHER CONSTRUCTION ACTIVITY THAT COULD DAMAGE THE TREE.
 - POST ALL SIGNS AT REGULAR INTERVALS ALONG PROTECTIVE FENCING INDICATING THE FUNCTION OF THE FENCING AND SIGNS SHALL BE REPAIRED OR REPLACED IMMEDIATELY.
 - DAMAGED FENCING OR SIGNS SHALL BE REPAIRED OR REPLACED IMMEDIATELY.
- TREE PROTECTION ZONE:
 - CONSTRUCTION SHALL BE PROHIBITED WITHIN THE TREE PROTECTION ZONE. STAKING OF CONSTRUCTION MATERIALS OR USE OF MACHINERY WITHIN THE FENCED AREA IS PROHIBITED.
 - DO NOT DISRUPT OR DAMAGE THE ROOT SYSTEMS OF PROTECTED TREES.
 - DO NOT DEPOSIT CONCRETE, WASHOUT OR OTHER LIQUID OR CHEMICAL SUBSTANCES IN THE PROTECTION ZONE.
 - DO NOT ALLOW GRADES WITHIN THE PROTECTION ZONE OF THE TREES. PROPOSED PROPERTY GRADING SHOULD MEET EXISTING GRADES WITHIN 150mm AT THE LIMIT OF THE PROTECTION ZONE.
 - UPON CLEARING UP TO THE PROTECTION FENCE, ALL EXPOSED ROOTS OUTSIDE OF THE PROTECTION ZONE SHALL BE CUT BY HAND WITH CLEAN, SHARP TOOLS TO AVOID TEARING OR SEPARATION OF ROOTS.
 - CUT ROOTS SHOULD NOT BE LEFT EXPOSED FOR LONG PERIODS OF TIME.
- CONSTRUCTION WITHIN OR NEAR TREE PROTECTION ZONE:
 - CONSTRUCTION WITHIN OR NEAR TREE PROTECTION ZONE SHALL BE DONE WITH CARE TO PROTECT THE TREE PROTECTION ZONE. CONSTRUCTION SHALL BE DONE WITH CARE TO PROTECT THE TREE PROTECTION ZONE DURING THE COURSE OF THIS PROJECT.
 - PROTECT THE SURFACE OF THE TREE PROTECTION ZONE DURING THE COURSE OF THIS PROJECT WITH ALIENS OF PLASTIC OR 150mm (6") POLYETHYLENE BARK MULCH.
 - WORK WITHIN THE TREE PROTECTION ZONE SHALL BE DONE WITH CARE TO PROTECT THE TREE PROTECTION ZONE. CONSTRUCTION SHALL BE DONE WITH CARE TO PROTECT THE TREE PROTECTION ZONE.
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- 1. 150mm x 150mm (6" x 6") SQUARE
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- 82. 20mm x 150mm (1" x 6") PLATE
- 83. 20mm x 150mm (1" x 6") PLATE
- 84. 20mm x 150mm (1" x 6") PLATE
- 85. 20mm x 150mm (1" x 6") PLATE
- 86. 20mm x 150mm (1" x 6") PLATE
- 87. 20mm x 150mm (1" x 6") PLATE
- 88. 20mm x 150mm (1" x 6") PLATE
- 89. 20mm x 150mm (1" x 6") PLATE
- 90. 20mm x 150mm (1" x 6") PLATE
- 91. 20mm x 150mm (1" x 6") PLATE
- 92. 20mm x 150mm (1" x 6") PLATE
- 93. 20mm x 150mm (1" x 6") PLATE
- 94. 20mm x 150mm (1" x 6") PLATE
- 95. 20mm x 150mm (1" x 6") PLATE
- 96. 20mm x 150mm (1" x 6") PLATE
- 97. 20mm x 150mm (1" x 6") PLATE
- 98. 20mm x 150mm (1" x 6") PLATE
- 99. 20mm x 150mm (1" x 6") PLATE
- 100. 20mm x 150mm (1" x 6") PLATE



B 2.0m Garbage Enclosure
 Rail Elevation
 Not To Scale

A 2.0m Timber Fence
 Section Elevation
 1:25 metric
 Not To Scale

Lot 1 – District Lot 281, Ucluelet, BC

Development Permit Application:

DPA VI – Riparian

DPA IV – Multi Family, Mixed Use, Commercial



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November 18, 2024

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1.0 INTRODUCTION

Ukee Landmark Joint Venture, of Parksville, British Columbia is proposing to complete the first phase of the Lot 1 development upon Council authorization of a Development Permit.

This Development Permit Application is submitted concurrently with a Zoning Amendment Application to permit the proposed land uses. This initial DP Application submission is for the townhome and micro-rental residential components of the development. The DP Submission is intended to confirm the property owner/developer's commitment to the timely construction of this project immediately following Council approval of this Zoning Amendment.

DPA VI – Riparian has been applied to the property in OCP mapping.

The property owner is making this Development Permit (DP) application to the District of Ucluelet (District) for the purpose of authorizing the form and character of the building exterior design and proposed landscape design concepts per the guidelines of **DPA IV – Multi Family, Mixed Use, Commercial**.

Future Building Permit (BP) applications will address the specifics of proposed building construction, landscaping and prescriptive technical engineering methods.

2.0 DEVELOPMENT PERMIT AREAS (DPA)

The following District of Ucluelet Development Permit Areas (DPA) are applicable to the subject property:

2.1 DPA VI – RIPARIAN

This DPA is applicable to areas as identified on Schedule “E” Environmentally Development Permit Areas - Map. (28. Riparian)

“to guide development and use land wisely to ensure that the most sensitive environmental features of a site are protected and ecological functions are not needlessly disturbed by development activities.” (OCP rationale)

- Refer to the concurrent Development Permit Application attachment - Environmental Assessment of Lot 1, District Lot 281 Clayoquot District Plan VIP76214, (PID# 025-812-670), District of Ucluelet, as prepared by Toth and Associates Environmental Services, dated November 30, 2024
- As stated in the report above:

“The drainage course on the subject property originates from a stormwater outlet and does not represent a natural watercourse.

Considering that the drainage course on and adjacent to the subject property originates from a stormwater discharge and is not accessible to fish due to significant barriers at the ocean it is our opinion that maintenance of a vegetated 8 m wide setback will be sufficient to protect riparian vegetation and provide wildlife habitat.”

- The recommended 8 metre setback has been applied to the Development Design submission for this Development Permit Application.

2.2 DPA IV – MULTI FAMILY, MIXED USE, COMMERCIAL;

This DPA is applicable to areas of the lands as identified on the **District of Ucluelet OCP, Schedule ‘F’ – Map.**

“To guide the development of a pedestrian-oriented, compact and vibrant town which maintains its coastal village character and does the following: protect important public views, create buildings at a scale which is comfortable and inviting to pedestrians, reflect and adapt to the climate and coastal weather, and acknowledge the heritage of Ucluelet.” (OCP rationale)

DP guidelines have been considered in detail in the proposed development. An itemized Guideline Compliance Report is provided below. The report only includes guidelines that are applicable to the proposed use.

The compliance report represents the opinions of our competent and informed team of registered professionals on how the guidelines have been satisfied. Should there be a difference between the guideline compliance interpretations of our professional consultants and District Staff, then we would recommend an in-person meeting to determine a consensus.

3.0 CONCLUSIONS

The detailed guideline compliance report is provided here to ensure District Staff and Council that the project consulting team has in their professional opinion, addressed all of the relevant guidelines contained within the respective DP Areas in an appropriate manner for the proposed project.

This DP application submission package is representative of the general character of the proposed development. Future Building Permit (BP) applications will address the specifics of proposed building construction, landscaping and prescriptive technical engineering methods.

4.0 APPENDIX – DP COMPLIANCE REPORT

Form and Character Development Permit Areas:

DPA General Guidelines - Form and Character

Section

Guideline

Design Response

F1 Building design, layout, finish and colour should be of a high quality that reflects traditional (e.g., fishing village) or contemporary West Coast architectural styles;

The overall design of the building complex is consistent with contemporary west coast modern design principles.

F2 Larger development should be broken up into smaller components. The image of any new larger building should be as a grouping of smaller pieces. Break up building massing by articulated building faces, stepping back whole or partial upper floors, and landscaping to soften the building appearance and present a human-scale presence at the pedestrian level;

The scale and the massing of the buildings are designed to create a variety of shapes and sizes in plan and in three dimensional perspective. The roof lines of the buildings create a variegated silhouette against the sky. Building cladding materials create an animated yet balanced architectural composition.

F3 Building frontage design (any building elevation facing a public street) and associated public realm enhancement must create an attractive pedestrian environment. Considerations include:
- Easily identifiable building entrances;
- Narrow commercial storefronts; and
- Concentrating signage at pedestrian eye level.

All the buildings have clear entrance locations. The commercial buildings (Buildings #3 and #4) have generous public spaces facing the street.

F4	Parking shall be located at the rear of lots, if possible, and screened from street view with either a structure or landscaping, or where feasible, below grade;	All parking is provided at the rear of or underneath buildings below street level. All parking areas are screened with significant landscaping and retained vegetation.
F5	Parking areas with more than 10 spaces should be broken into smaller groups, divided by landscaped areas and trees;	N/A
F6	Awnings, deep roof overhangs or colonnades should be incorporated into buildings to provide weather protection along sidewalks and at building entrances. These devices must be an integral part of the overall design;	All the buildings have generously sized roof overhangs, at least 900mm in length. The roofs will be a sloping roof type clad in standing seam metal or corrugated metal, a traditionally used material on the west coast.
F7	On corner sites, buildings must be designed with consideration for their visual prominence, potential function as landmarks and their ability to contain and define streets. Additionally, developments occurring at corner lots must consider their prominence within the streetscape hierarchy and include architectural detailing or massing which reflects this. All developments located at a corner must occupy that corner on both sides;	The massing of the building complex complements the existing street scape. Design inspiration was taken from the existing Ucluelet Community Center: sloped metal roofs, large overhangs, and the circular structure of community chambers was incorporated into the design of the community pub. The outdoor deck of the community pub is positioned at the northern corner of the property to strengthen the architecture at the intersection of Matterson Drive and Marine Drive.

The extensive use of blank walls, regardless of the material used, must be avoided. The visual impact of blank walls should be softened by using one or more of the following:

- Architectural details and/or articulated façade;
- Graphic or artistic illustration;
- Placement of doors and/or windows; and public seating and/or planters integrated into the façade.

F8

A variety of exterior materials will be used on this development in order to create a balanced and harmonious building composition: please refer to architectural elevations and renderings. The placement of doors, windows, balconies and planters have been carefully chosen to create a functional yet animated composition.

Where adjoining properties have uses of different intensity (e.g. single family next to multi-family residential) or different types (e.g. residential next to commercial) an appropriate architectural, building and landscaping transition must be provided;

F9

Enhanced screening is provided between the site and single instance of an adjoining multi family lot. This will be a combination of retained trees and vegetation, bio-swale landscaping and a 2.0m solid timber fence.

F10

Buildings should provide protection from rain (e.g. awnings, overhangs, canopies);

All buildings have generous roof overhangs.

The following exterior materials are encouraged:

- Wooden posts and beams with visible fastenings;
- Wood siding, planks, board-and-batten, shakes or shingles;
- Corrugated or standing-seam sheet metal;
- Weathering steel (e.g., Core-ten), aluminum, galvanized, zinc, copper or other non-reflective architectural metal elements,
- Finished concrete;
- Cementitious composite siding (e.g., Hardi-plank) when detailed to avoid large areas of flat panels; and,
- Limited use of brick or local stone.

Please refer to architectural exterior elevations. Building elevation materials include: corrugated metal cladding, cementitious panel cladding, natural wood, exposed architectural concrete.

F11

As part of the building vernacular, not only of Ucluelet but the BC coast in general, sloped roofs are indicative of the climate and weather of the region. Sloped roofs with an angle no less than 30 degrees (7:12 pitch) are strongly encouraged. Exceptions may be considered for flat or curved roofs for significant sites and landmark buildings displaying exceptional architectural design;

We have designed a dynamic sloped roof composition for all the buildings which include generous overhangs to address the design vernacular of the area.

F12

Roof materials must be in keeping with the character of Ucluelet. This includes the use of cedar shake and shingle, asphalt roof tile, standing-seam or corrugated sheet metal.

Corrugated metal or a standing seam metal roof will be incorporated into the final design of the roofs.

F13

As a major contributor to the feel and character of the street, wood – particularly Red Cedar, is the preferred material for exterior cladding. The use of cedar shake or shingle applications is especially favoured. Cedar lap siding and vertical board-and-batten are also preferred.

We included natural cedar slats in the exterior cladding. Additionally we have included a wood grain cementitious cladding for distinct areas in the building's exterior.

F14

The use of vinyl siding, stucco, pebble dash or artificial stone is not supported.

Non supported cladding materials are not proposed.

F15

As signage contributes to the character and feel of the area, it should reflect the artistic, cultural and historical traditions of Ucluelet. Signage must complement the architecture of the development and be sized appropriately;

Signage is not proposed at this time. A Sign Permit Application will be submitted at a later date.

F16

Exterior illumination of signage (e.g., gooseneck fixtures) is encouraged;

Signage is not proposed at this time. A Sign Permit Application will be submitted at a later date.

F17

Carved or painted wooden signs and individual letters are encouraged;

Signage is not proposed at this time. A Sign Permit Application will be submitted at a later date.

F18

- F19 Interior-lit plastic sign panels are not supported;
- F20 All exterior mechanical units or equipment, including roof top units, must be enclosed in a manner that is attractive and integrated with the overall design;
- F21 Landscape plans submitted for a development permit shall illustrate type, size, and location of proposed planting, and shall detail all hard and soft landscaping elements to convey a comprehensive design for the site;
- F22 Landscape planting schemes must provide definition and clarity within the public realm. Plant material should be used to:
- a. Define the edges of outdoor space such as a café seating area;
 - b. Signify a particular spot such as an entrance or gateway;
 - c. Highlight pedestrian corridors;
 - d. Delineate private and semi-private space from public space;
 - e. Beautify a streetscape; and,
 - f. Soften the transition of adjacent land uses.
- Signage is not proposed at this time. A Sign Permit Application will be submitted at a later date.
- A mechanical design for the project will be completed at a later date. Every effort will be made to conceal the exterior mechanical units from view of the street.
- A complete Landscape Architecture drawing submission is provided illustrating a comprehensive design concept prepared in collaboration with the Project Architect (building) back-checked through our engineering team.
- The project planting scheme complies with these Public Realm guidelines as follows:
- a. All outdoor areas are defined spaces surrounded by planting areas.
 - b. Entrances are defined by the building architecture, enhanced concrete paving and seating.
 - c. All pedestrian routes have an adjacent landscape strip with the exception of building and parking access points.
 - d. The site is private and reserved for the use of building residents. Private spaces are delineated by landscape elements and retained vegetation buffers as noted above.
 - e. The Marine Drive street frontage will include the existing public gravel trail and will be a combination of retained trees, vegetation and enhanced landscaping at pedestrian and vehicle access points
 - f. Refer to Notes above (Guideline F9).

Lot 1 Ucluelet / Mixed Use

Project Number: 20-0271

Development Permit Area Guideline Compliance Matrix

Date: November 18, 2024

F23	Planting should be designed so that drivers' sight lines are maintained at intersections, maneuvering aisles and parking lots;	Sightlines have been confirmed and coordinated with civil engineering.
F24	Native trees and plants should be used where appropriate;	All proposed shrubs and trees are indigenous species.
F25	All landscaping shall be provided in accordance with British Columbia Society of Landscape Architects /British Columbia Nursery Trade Association landscape standards;	This is a standard requirement by the project Landscape Architect as noted on Sheet L1 - Planting Note 1.
F26	When laying out new parking areas, integrate vegetated bioswales to collect and filter stormwater;	Both Rain Gardens and Bioswales are incorporated into the civil engineering and landscape architecture designs.
F27	Hardscape materials must be of a "non-skid" type and of durable quality	Non-skid broom finished concrete sidewalks and stairs are proposed.
F28	Building and site design shall take into account CPTED (Crime Prevention Through Environmental Design) principles;	CPTED principles have been considered in the design. With the exception of dense areas of retained vegetation, all areas of the site are visible from residential units providing passive observation and monitoring.
F29	Site design should show functional, screened areas for waste and recycling in appropriate wildlife-smart containers.	A timber Garbage and Recycling Enclosure indicated on Sheet L1. Refer to Detail B, Sheet L2.
F30	All developments shall respect archaeological resources and comply with all relevant statutes for the protection thereof;	While separate from this Application process, it may be noted that the previous property owners consulted with the Provincial Archaeology branch.
F31	When locating buildings allow space for the Wild Pacific Trail, Safe Harbour Trail and Harbour Walk within vegetated corridors along the coastline, as an integrated part of the design for properties located on the waterfront, as shown on Schedule 'C' Parks and Trails Network	N/A (Note: Negotiated amenities such a public trail access are not part of the DP Process). However, under the concurrent Rezoning Application, the property owners are proposing land dedication along the southwest property to enhance Big Beach Park and buffer of the foreshore environment.

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DEVELOPMENT PLANNING - LANDSCAPE ARCHITECTURE - URBAN DESIGN

In order to preserve Ucluelet's dark skies, minimize impacts on adjacent land uses and avoid unnecessary impacts on nocturnal wildlife, outdoor lighting should be shielded so that all light is directed towards the ground.

All external building lighting shall be fully shielded and down lit in consideration of dark sky principles and a coastal resort community aesthetic. Site lighting is indicated as bollard lighting on the landscape plan.

F32

**Form and Character Development Permit Area:
Multi-Family DPA IV**

Section	Guideline	Design Response
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All buildings, structures and additions thereto must be designed and coordinated in a comprehensive manner considering efficient site circulation, the relationship between buildings, visual impact and design compatibility with its context;

An efficient site circulation both for passenger vehicles and pedestrians exists within the design. The architecture minimizes overlooking between the separate buildings and separates the residential functions of the site from the commercial uses.

F.IV.2. Sloped roofs, rather than flat roofs, are preferred;

We are proposing sloped roofs.

Where internal roadways are required, they should provide efficient circulation, encourage appropriate speed through physical design, and the pedestrian realm should be clearly defined by using alternative materials, landscaping and physical design;

F.IV.3. N/A

Buildings or groups of buildings placed adjacent to a public street must face that street (or streets), with each unit having its own individual and distinct front entry from the street. Excessive use of blank walls must be avoided;

F.IV.4. Please refer to architectural building sections for building height information.

Higher scale building forms may be located along Matterson Drive and Peninsula Road. Heights up to 12m (39 feet) may be permitted;

dhk architects - Additional height required to...?

F.IV.6. Medium scale building forms are preferred in other areas zoned for multi-family uses, to provide sensitive transitions to single family areas;

Small to medium scale building designs have been prioritized.

F.IV.7. Where buildings are in very close proximity to the street or other public realm feature such as a pathway or courtyard, the finished floor level of that building should be raised by two feet as a minimum, to aid in privacy;

All existing setback from Marine drive have been adhered to and a generous planting plan will create additional privacy from the street. A barrier free path of travel has been provided from the side walk to the community pub.

F.IV.8. Garages and garage doors must not dominate the street- front façade of multi-family buildings. All attempts must be made to accommodate integrated parking at the side or rear of units. If garage doors must be placed at the front of a building, they should be well integrated and subtle in appearance;

All garage doors are set back from the street. The majority of the parking will occur within a parkade and be out of sight from the street. The garage doors of the townhouses have been integrated with the architectural elevations.

F.IV.9. Where visitor parking or common parking areas are required, small groupings of parking stalls interspersed with tree planting should be employed rather than 1 uninterrupted lot wherever possible. Native plants are preferred;

Refer to Notes above (Guideline F5).

F.IV.10. Parking areas that are visible from the street and/or adjacent to residential buildings should be screened by substantial landscaping.

Refer to Notes above (Guideline F5 & F9).

F.IV.11. A reasonable amount of common area must be included in all multi-family developments in the form of native landscaping, courtyards or the like;

Indigenous vegetation is retained within the common areas. This is supplemented by an indigenous plant palette throughout the site which also contains and defines the Tenant Spaces. The development lies adjacent to Big Beach Park providing an ideal open space adjacency for residents.

Preserving as much of the natural shoreline condition as possible, as well as the forest and its underlying shrub layer is critical to maintaining the character of the community. All development must recognise these values and strive to minimize the adverse effects on the natural environment development can often bring. The form and character of buildings should reflect the natural beauty of the area. This can be achieved through:

The natural shoreline condition will be retained below the on site embankment as a proposed parkland dedication through the concurrent rezoning application.

The building design addresses the pedestrian nature of Marine Drive and the dynamic roof lines of the community pub architecturally reinforces the corner of Marine Drive and Matterson Drive seeking to pay architectural homage to the existing Ucluelet Community Center. The position of the outdoor seating of the community pub is positioned to take in views of the pacific ocean and be a community gathering place. All the buildings and townhouses are set back from the public park and beach access trail.

F.IV.13. The sensitive siting of buildings;

F.IV.14. Producing architectural designs that are naturally inspired; and,

Using materials and building methods that are inherent to the area and its natural and man-made history.

The scale and the massing of the buildings are designed to create a variety of shapes and sizes in plan and in three dimensional perspective. The roof lines of the buildings create a variegated silhouette against the sky.

The grain and scale of the development is of a collection of smaller scale buildings rather than one large all-in one structure as is permitted by current zoning.

New development with areas of high ground in the District should be designed to accommodate areas for evacuation in extraordinary cases of emergency.

F.IV.16. Access, parking areas and parks or other open space at the highest points should be designed with thought to how they could double as muster points, if needed;

N/A

Clear-cutting forested sites is prohibited.

Developments must present plans showing tree retention and measures to ensure protection of existing significant trees and shrubs, clearly delineated limits of disturbance during construction, along with new plantings. The plans shall show pre- and post-development conditions to prevent over-cutting. Protection of adequate root zone buffers around retained trees shall be identified by a qualified professional and shown on the plans;

Significant vegetation retention is proposed on site and within the proposed parkland dedication noted above. Refer to the Existing Trees Legend on Sheet L1 and Tree Protection Notes on Sheet L2 as prepared by the Project Landscape Architect.

F.IV.17. Mature Western Red Cedar and Sitka Spruce must be identified by a qualified arborist and, where they are determined to be healthy, preserved;

Refer to the Environmental Assessment of Lot 1, District Lot 281 Clayoquot District Plan VIP76214, (PID# 025-812-670), District of Ucluelet, as prepared by Toth and Associates Environmental Services.

The siting of new buildings, extensions to existing buildings as well as campsites and roads etc., must work sensitively around established existing vegetation and must be located to minimize alterations to the foreshore and other environmentally sensitive areas. As part of the efforts to maintain and enhance the landscape character of the area, all efforts must be made to retain landscape and ecological integrity

F.IV.18. Refer to notes above.

Refer to notes above.

Lot 1 Ucluelet / Mixed Use

Project Number: 20-0271

Development Permit Area Guideline Compliance Matrix

Date: November 18, 2024

Minimal blacktop and hardscape paving should be used for driveways and patio areas, particularly in front yards. Gravel or grass driveways and wood decks are preferred;

F.IV.20. Refer to notes above (Guideline F26).

Architectural form and character must be site-sensitive to both the physical environment, as well as to the qualities of natural beauty in the area. Buildings should work with the natural environment on all levels;

F.IV.21. Refer to notes above.

All developments must provide robust visual buffers of parking, loading and service areas by way of retained and enhanced native vegetation along all boundaries. In the case of those boundaries fronting the road, reasonable efforts must be made to retain significant trees and shrubs between driveways;

F.IV.22. Refer to notes above and proposed parkland dedication.

F.IV.23. Wildlife-proof garbage and recycling containers must be provided for all new developments;
Noted.

F.IV.24. All waste bins must located at the rear of buildings or screened from view of public roads and pathways with solid wooden fencing. Refer to notes above (Guideline F21)

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DEVELOPMENT PLANNING - LANDSCAPE ARCHITECTURE - URBAN DESIGN

DISTRICT OF UCLUELET

Zoning Amendment Bylaw No. 1382, 2025

A bylaw to amend the “District of Ucluelet Zoning Bylaw No. 1160, 2013”.
(Neighbourhood Pub Lot)

WHEREAS the District of Ucluelet Council by Bylaw No. 1160, 2013, adopted the Zoning Bylaw and now deems it appropriate to amend the Zoning Bylaw;

NOW THEREFORE the council of the District of Ucluelet, in open meeting assembled, enacts as follows;

1. Text Amendment

The District of Ucluelet Zoning Bylaw No. 1160, 2013, is amended as follows:

- A. by removing the following sub-subsections from Schedule B;
 - a. CD-2A.1.2
 - b. CD-2A.2.1 (4)
 - c. CD-2A.3.1 (4)
 - d. CD-2A.3.2 (3)
 - e. CD-2A.3.3 (3)
 - f. CD-2A.4.1 (1)
 - g. CD-2A.4.2 (3)
 - h. CD-2A.5.1 (2)
 - i. CD-2A.6.1 (4)
- B. by adding a new sub section to Schedule B directly following the CD2B Sub Zone – Black Rock subsection such that the new section reads as follows:

“CD-2C SubZone – Neighbourhood Pub

CD-2C.1 Permitted Uses:

CD-2C.1.1 The following uses are permitted, in the area of the CD-2 Zone Plan labeled “Rental Multiple Family”:

- (1) Principal:
 - (a) *Rental Multiple Family*;

CD-2C.1.2 The following uses are permitted, in the area of the CD-2 Zone Plan labeled “Resort Condo”:

- (1) Principal:
 - (a) *Resort Condo*;

CD-2C.1.3 The following uses are permitted, in the area of the CD-2 Zone Plan labeled “Hotel”:

(1) Principal:

(a) *Hotel*;

CD-2C.1.4 The following uses are permitted, in the area of the CD-2 Zone Plan labeled “Neighbourhood Pub”:

(1) Principal:

(a) *Neighbourhood Pub*;

(b) *Restaurant*;

(c) *Bistro/Café*;

(d) *Boutique Retail*;

CD-2C.2 Lot Regulations

CD-2C.2.1 Minimum Lot Size: 900 m²

CD-2C.2.2 Minimum Lot Frontage: 10 m

CD-2C.3 Density:

CD-2C.3.1 Maximum Number:

(1) *Hotel*: 12 guest rooms or dwelling units

(2) *Resort Condo*: 5 dwelling Units

(3) *Rental Multiple Family*: 12 dwelling Units

CD-2C.3.2 Notwithstanding the definition for *Resort Condo* located in Division 100, section 103 Definitions, *Resort Condo* dwelling units may also contain a *residential* use.

CD-2C.3.3 Notwithstanding the definition located in Division 100, section 103 Definitions, a *Hotel* use is not required to function collectively from an on-site office and staffed lobby.

CD-2C.3.4 Maximum *Floor Area Ratio*: 0.82

CD-2C.3.5 Maximum *Lot Coverage*: 65%

CD-2C.4 Maximum Height:

CD-2C.4.1 Principal Buildings & Structures: 12.5 m

CD-2C.4.2 *Accessory Buildings* & Structures: 5 m (16 ft)

CD-2C.5 Minimum Setbacks:

CD-2C.5.1 The following minimum *setbacks* apply, as measured from the *front lot line, rear lot line* and *side lot lines(s)*, respectively:

	(a) Front Yard Setback	(b) Rear Yard Setback (Adjacent to Park)	(c) Side Yard – Interior Setback	(d) Side Yard – Exterior Setback
(1) Principal	7.5 m	0.0 m	7.5m	7.5 m

CD-2C.5.2 Notwithstanding section CD2C.5.1 above, all internal lot lines within the CD-2C SubZone to have a minimum *setback of 0.0m.*”

2. Map Amendment

Schedule B of District of Ucluelet Zoning Bylaw No. 1160, 2013 is further amended by changing the zoning designation for Lot 1, District Lot 281, Clayoquot District, Plan VIP76214 [PID 025-812-670], from “Neighbourhood Pub CD-2A.1.2”, to the following designations, as shown on the map attached to this amending bylaw as Appendix A (the “Map”):

- a. The area labeled “Proposed Lot 1” on the Map, is designated “Rental Multiple Family CD-2C.1.1”;
- b. The area labeled “Proposed Lot 2” on the Map is designated “Resort Condo CD-2C.1.2”;
- c. The area labeled “Proposed Lot 3” on the Map is designated “Hotel CD-2C.1.3”;
- d. The area labeled “Proposed Lot 4” on the Map is designated “Neighbourhood Pub CD-2C.1.4”;
- e. The area labeled “Proposed Park Addition” on the Map is removed from the Comprehensive Development (“CD-2 Zone”) Plan and is designated “P-1 Zone – Public Institutional” on Schedule A - Zoning Map of the District of Ucluelet.

3. Citation:

This bylaw may be known and cited for all purposes as the “District of Ucluelet Zoning Amendment Bylaw No. 1382, 2025”.

READ A FIRST TIME this ** day of ***, 2025.

READ A SECOND TIME this ** day of ***, 2025.

READ A THIRD TIME this ** day of ***, 2025.

ADOPTED this ** day of ***, 2025.

CERTIFIED CORRECT; "District of Ucluelet Zoning Amendment Bylaw No. 1382, 2025".

Marilyn McEwen
Mayor

Richard Harding
Corporate Officer

THE CORPORATE SEAL of the
District of Ucluelet was hereto
affixed in the presence of:

Richard Harding
Corporate Officer

DEVELOPMENT PERMIT 24-11

Pursuant to section 488 of the Local Government Act, R.S.B.C 2015 C.1 as amended:

1. This Development Permit is issued to:

Ukee Landmark Joint Ventures (the “Owner”)

2. This Development Permit applies to, and only to, those lands within the District of Ucluelet described below, and the buildings, structures, and other development thereon:

PID 025-812-670, Lot 1, Plan VIP76214, District Lot 281, Clayoquot Land District (the “Land”)

3. This Permit authorizes:
 - a. The subdivision of the lands in accordance with the attached schedules.
 - b. The construction of a twelve unit Rental Multiple Family building, a five unit Resort Condo building, a twelve unit Hotel, and a 232m² Pub/Restaurant/bistro in accordance with the attached schedules and all applicable federal, provincial, and municipal statutes, regulations, and bylaws.
 - c. All associated site works, including site grading, servicing, and landscaping in accordance with the attached schedules and all applicable federal, provincial, and municipal statutes, regulations, and bylaws.
4. The Permittee/Owner shall develop the lands in accordance with all the conditions of approval specified in **Schedule 1**.
5. These improvements apply only in the locations indicated, and otherwise in accordance with, the plans, reports, drawings and specifications attached to this Permit as **Schedule 2**.
6. The work authorized by this Permit may only be carried out in compliance with all federal, provincial, and municipal statutes, regulations, and bylaws.
7. Notice shall be filed in the Land Title Office under Section 503 of the Local Government Act, and upon such filing, the terms of this Permit or any amendment hereto shall be binding upon all persons who acquire an interest in the land affected by this Permit.
8. The Owner shall substantially commence the development within 24 months of the date of issuance, after which this permit shall be null and void.
9. This Permit is NOT a Building Permit.
10. The Municipality’s Chief Administrative Officer is hereby authorized to approve minor amendments to the plans provided that such amendments are consistent with the overall character and intent of the original plans.

AUTHORIZING RESOLUTION passed by the Municipal Council on the day of , 2025.

ISSUED the day of , 2025.

Schedule 1

Terms and Conditions of Permit

1. The lands are only to be developed in accordance with the plans, reports, drawings, and specifications included as **Schedule 2**.
2. The lands are to be developed in accordance with the recommendations and environmental protections measures in the Environmental Assessment Report, included as **Schedule 2**.
3. The proposed landscaping shall be provided and maintained in general accordance with the Landscaping Plan and any landscaping or planting in the Environmental Assessment Report, included as **Schedule 2**.
4. A cost estimate prepared and sealed by the landscape architect must be provided and will serve as the basis for calculating the amount of the landscape security deposit (125% of estimated costs) and the security must be provided to the District prior to commencing any construction authorized by this development permit.
 - a. The District may withhold building permits until owner provides the landscape security deposit.
 - b. The security will be held until all the landscaping works as required by the District have been completed to the satisfaction of the District. Upon completion, a one-year written guarantee from a landscape contractor shall be required, otherwise 25% of the landscaping and planting costs will be retained to ensure proper maintenance for a one-year period.
5. The owner shall secure the necessary approvals from the Districts and all other governing bodies including hydro connections, servicing connections, and permit for works within a road right-of-way.
6. The property owner shall obtain the necessary permits for construction in accordance with the District of Ucluelet Building Regulations.

Schedule 2

Plans, Reports, Drawings, And Specifications

(See following pages)