



## REPORT TO COUNCIL

Council Meeting: June 11, 2024  
500 Matterson Drive, Ucluelet, BC V0R 3A0

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**FROM:** ANNELIESE NEWEDUK, PLANNER

**FILE NO:** 3360-20 RZ24-02/3060-20 DP24-03/3090-20 DVP24-02

**REPORT NO:** 24-57

**SUBJECT:** ZONING AMENDMENT/DEVELOPMENT PERMIT/DEVELOPMENT VARIANCE PERMIT FOR 1567 IMPERIAL LANE

**ATTACHMENT(S):** APPENDIX A – APPLICATION  
APPENDIX B – ZONING AMENDMENT BYLAW NO. 1342, 2024  
APPENDIX C – DEVELOPMENT PERMIT 24-03  
APPENDIX D – DEVELOPMENT VARIANCE PERMIT 24-02  
APPENDIX E – QEP ENVIRONMENTAL REPORT  
APPENDIX F – GEOTECHNICAL REPORT

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### RECOMMENDATION(S)

THAT Council, with regard to the proposed exterior renovations and associated structural works at 1567 Imperial Lane:

- a. Direct staff to give notice of first reading to *District of Ucluelet Zoning Amendment Bylaw No. 1342, 2024*, and;
- b. Direct staff to give statutory notice to receive input on the Development Variance Permit DVP 24-02.

### BACKGROUND

A re-zoning (REZ), environmental Development Permit (DP), and Development Variance Permit (DVP) application was received in March of 2024, for the property located at 1567 Imperial Lane (Figure 1 and 2); PID031828345, Lot 1, Plan EPP124154, District Lot 282, Clayoquot Land District (the “subject property”).

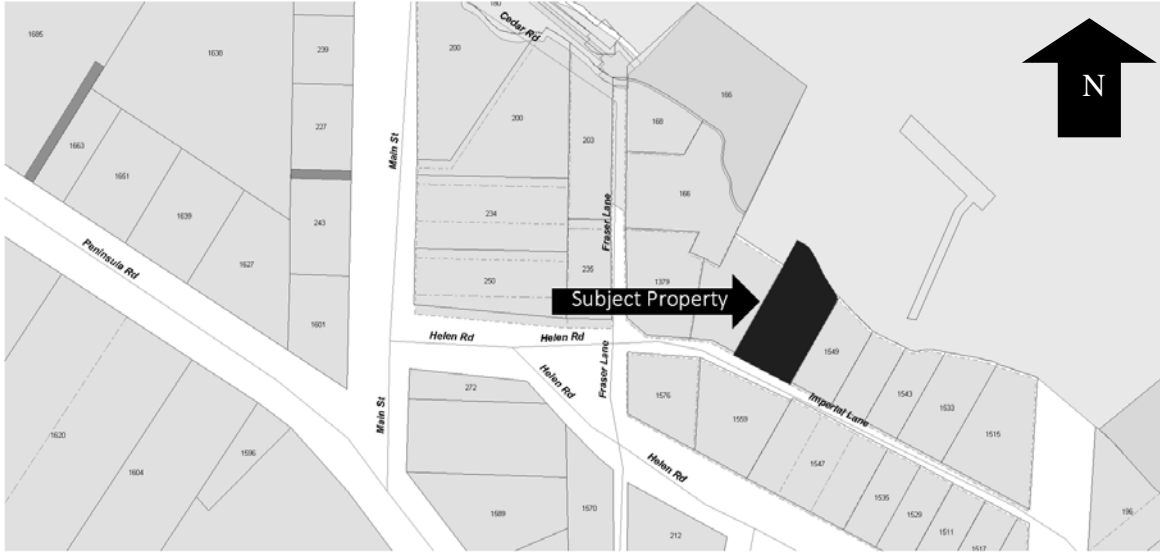


Figure 1. Subject Property

ZONING

The subject property is currently zoned for Service Commercial (**CS-1**) use and is situated between **CS-1** zoning to the west and south and Single Family Residential (**R-1**) zoning to the east. The historical and current use of the subject property is Single Family Dwelling (**SFD**). The SFD on the subject property is of lawful non-conforming status.



Figure 2. Orthographic image of subject property

DEVELOPMENT PERMIT AREA VII (MARINE SHORELINE)

The subject property is within the Official Community Plan's (OCP) "Environmental Development Permit Areas". The Marine Shoreline Development Permit Area (DPA VII) is designated as all land within 30m above and below the natural boundary of the sea.

This application includes exterior structural renovations and landscaping within the 30m Marine Shoreline DPA (Figure 3).

Environmental Development Permit Areas are established to guide development and land uses to protect the most sensitive environmental features and not needlessly disturb ecological functions of a site. For developments on all lands within Environmental DP areas, a report prepared by a Qualified Environmental Professional (QEP) must be submitted in the application. The report must assess the site, its natural features, and include recommendation measures to reduce or mitigate negative impacts. Staff then draft the associated development permit terms and conditions from the recommendations in the QEP report (See Appendix "C").



Figure 3. Subject property in Schedule 'E' Environmental Development Permit Area Map

DEVELOPMENT PERMIT AREA I (VILLAGE SQUARE)

The subject property falls within the OCP's "Development Permit Areas for Form and Character". The Village Square Development Permit Area (DPA I) is established for the following purposes:

- Revitalizing an area in which commercial, multi-family and mixed uses are permitted; and,
- establishing objectives for the form and character of development in the resort region.

## DEVELOPMENT PERMIT AREA VIII (NATURAL HAZARD AREAS PROTECTION)

The subject property falls within the OCP's "Development Permit Areas for Hazardous Conditions", which includes all properties containing areas of steep slopes with an incline of 30 degrees or more. Steep slopes that are disturbed or exposed by developments can be hazardous due to decreased tree cover, increased run off, and increased erosion. This can increase the risk of slope instability and failure. To minimize risks associated with steep slopes, properties in DPA VIII require a geotechnical report by a qualified licensed professional engineer or other qualified professional.

## THE DEVELOPMENT

The existing developments on the subject property include a single-family dwelling, a recently installed dock, a driveway, and a narrow path from the deck through the shoreline to the dock (See **Appendix "A"**). The applicant is proposing exterior renovations and structural changes including upgrading/replacing the rear decks and extending the east deck to include a split-level staircase; replacing the garage door and sloping driveway with a levelled permeable parking area using a retaining wall; adding a gathering space and permeable path down to the dock; and landscaping areas of the rear yard (**Figure 4**).



Figure 4. Proposed gravel patio, path, and deck plans

## DISCUSSION

### REZONING

Current permitted uses of CS-1 zoning do not include SFD unless the property is listed in Section CS-1.1.4, which states that:

*“On the following properties, Single Family Dwelling is also permitted as a principal permitted use and Bed and Breakfast, Home Occupation and Secondary Suite as related secondary permitted uses only permitted in conjunction with a Single Family Dwelling, and subject to the stricter regulations under this zone and the R-1 Zone – Single Family Residential.”*

The applicant has applied for a text amendment that would add the subject property to Section CS-1.1.4 (see draft Bylaw in **Appendix “B”**); this would bring the current building use out of lawful non-conforming status while maintaining flexibility of future permitted uses. The applicants also own 1569 Imperial Lane, the property directly west of the subject property, and intend to maintain the CS-1 zoning for both of their properties. In addition, on page 47 of the *Official Community Plan Bylaw No. 1306, 2022 (OCP)* under Land Use, Housing, and Managed Growth, it states that:

*“The District may consider requests to down-zone properties to recognize existing non-conforming land uses (brought about by past blanket rezonings), without triggering an amendment of this OCP even if the existing / interim use does not match the long range uses anticipated on Schedule A.”*

On the OCP Schedule A, Long-Range Land Use Plan, the subject property is designated as Village Square Commercial (**VS**). Collectively, the proposed rezoning application aligns with planned long-term use of the property and addresses the existing/interim non-conforming use.

### MARINE SHORELINE DEVELOPMENT PERMIT

The applicant has retained a QEP who reported on the environmental considerations and recommendations (see **Appendix “E”**). The QEP report states that the proposed development is of relatively low impact considering that the marine shoreline is already highly modified, and any impact to the shoreline ecosystem is unlikely to cause significant harm. No sensitive species or communities exist in the riparian area of the subject property. The report recommends that a construction environmental monitoring plan (**CEMP**) be developed and implemented to address the environmental risks of construction, that permeable surfaces be utilized where possible to reduce surface level runoff, that drainage be directed to municipal sewers or French drains, and all removed vegetation be replaced with a 3:1 ratio prior to completion of the development.

#### VILLAGE SQUARE DEVELOPMENT PERMIT

Development Permit Area Exemptions in the OCP states that:

“The following are exempt from requiring a form and character Development Permit:

1. *construction of a single-family dwelling unit on a property where single-family dwelling is a principal permitted use under the property’s designation in the zoning bylaw.”*

If the rezoning application described above is approved, the subject property’s SFD would be a principal permitted use designated by the zoning bylaw, therefore the SFD would be exempt from DPA I designation and the associated requirements.

#### HAZARDOUS CONDITIONS DEVELOPMENT PERMIT

The OCP states that a property may be exempt from the requirement to obtain a hazardous conditions Development permit for steep slopes “*where a geotechnical report has been received in conjunction with an application for building permit or subdivision approval*”. Therefore, the applicant is exempt from obtaining a Hazardous Conditions permit, nonetheless is advised to follow the mitigation measures outlined in the Geotechnical Report (See **Appendix “F”**).

#### **BUILDING SERVICES**

The subject property is in the DP VIII – Steep Slopes Hazard Area. The applicant has provided a geotechnical hazard report written by a qualified professional geotechnical engineer which certifies that the land is safe for the intended use. The assessment contains conditions for the safe use of the land and will need to be registered on title attached to a covenant pursuant to Section 219 of the Land Titles Act. Covenant registration must be complete before the District’s Building Official may issue the building permit. Geotechnical engineering review of soil and bearing under letters of assurance will be required during construction to ensure that the recommendations of the geotechnical report attached to the covenant are followed.

Retaining structures are noted on the submitted plans. Any retaining structures that are critical to the stability of building foundations or over 1.5 metres in height are required to be designed by a professional engineer.

Based on the submitted drawings that the applicant proposes to change an existing garage space located on the ground floor to habitable space which will require a building permit to ensure that the space meets the current BC Building Code requirements.

**DEVELOPMENT VARIANCE PERMIT**

In addition to the REZ and DP application, the applicant is requesting a DVP. The applicant is proposing to remove the garage door and replace it with a foundation wall as well as a perpendicular retaining wall that will be backfilled to level the parking area with Imperial Lane. The retaining wall is proposed to have a 0m setback from the neighbouring property line. Achieving this requires a DVP to vary Section CS-1.1.6(1)(c) of District of Ucluelet Zoning Bylaw No. 1160, 2013, which specifies the minimum setback to be 1.5m (See **Appendix “D”**).

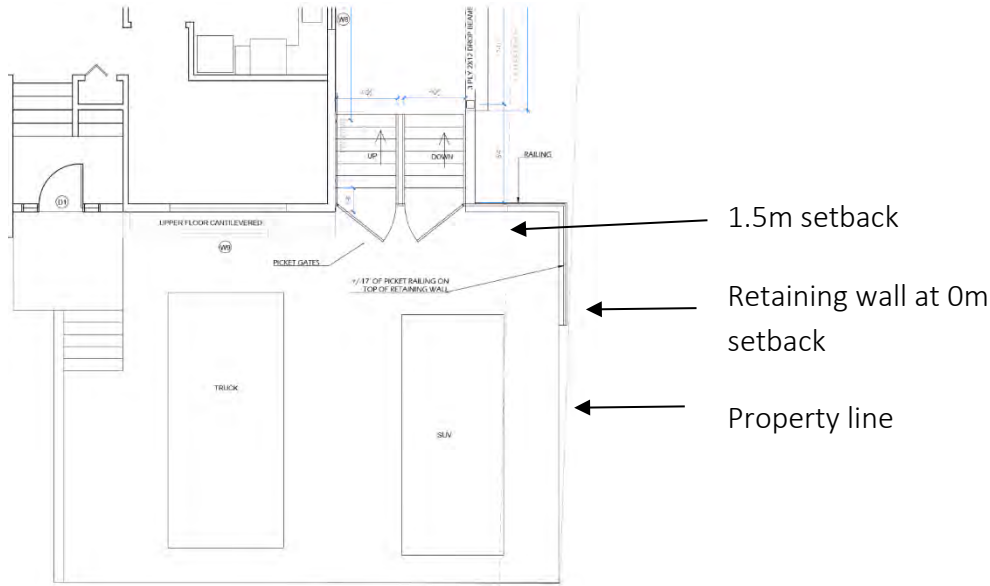


Figure 5. Southeast retaining wall Site Map

**ANALYSIS OF OPTIONS:**

<b>A</b>	Give notice of first reading to Bylaw No. 1342, 2024, and direct staff to give statutory notice for DVP24-02	<b>Pros</b>	<ul style="list-style-type: none"> <li>• Would remove lawful non-conforming status of SFD</li> <li>• Future use of subject property remains aligned with Long-Range Land Use Plan (Schedule A)</li> <li>• Allows the application to achieve their most desired outcome.</li> </ul>
		<b>Cons</b>	<ul style="list-style-type: none"> <li>• Unknown at this time</li> </ul>
		<b>Implications</b>	<ul style="list-style-type: none"> <li>• Would allow application to proceed</li> <li>• Would provide an opportunity for public input</li> </ul>
		<b>Suggested Motion</b>	<p><b>THAT</b> council give notice of first reading to Bylaw No. 1342, 2024, and direct staff to give notice for DVP24-02</p>
<b>B</b>	Provide alternative direction	<b>Pros</b>	<ul style="list-style-type: none"> <li>• Achieves the goals and objectives identified by council</li> </ul>
		<b>Cons</b>	<ul style="list-style-type: none"> <li>• Unknown at this time</li> </ul>
		<b>Implications</b>	<ul style="list-style-type: none"> <li>• Dependent on the direction of Council.</li> </ul>

D		<u>Suggested Motion</u>	<ul style="list-style-type: none"> <li>• THAT Council (<i>provide alternative direction here</i>).</li> </ul>
	Reject the application	<u>Pros</u>	<ul style="list-style-type: none"> <li>• Unknown at this time</li> </ul>
		<u>Cons</u>	<ul style="list-style-type: none"> <li>• Does not allow application to proceed</li> <li>• SFD would remain lawfully non-conforming</li> </ul>
		<u>Implications</u>	<ul style="list-style-type: none"> <li>• The application would not proceed.</li> <li>• Additional staff time will be required to follow up with applicant and consultants.</li> </ul>
		<u>Suggested Motion</u>	<ul style="list-style-type: none"> <li>• No motion required.</li> </ul>

**POLICY OR LEGISLATIVE IMPACTS:**

This application impacts the *District of Ucluelet Zoning Bylaw No. 1160, 2013* by adding a text amendment to section CS-1.1.4 and variance of section CS-1.6.1(1)(c).

This application is consistent with the *Official Community Plan* and the *Local Government Act*.

It is important to note that *Bill 44 – 2023 Housing Statutes (Residential Development) Amendment Act, 2023* amended Section 464.3 of the *Local Government Act*, and now states that:

*“(3) A local government must not hold a public hearing on a proposed zoning bylaw if*

*(a) an official community plan is in effect for the area that is the subject of the zoning bylaw,*

*(b) the bylaw is consistent with the official community plan,*

*(c) the sole purpose of the bylaw is to permit a development that is, in whole or in part, a residential development, and*

*(d) the residential component of the development accounts for at least half of the gross floor area of all buildings and other structures proposed as part of the development,”*

Where a public hearing would have previously been held, this legislative change prohibits a public hearing for *District of Ucluelet Zoning Amendment Bylaw No. 1342, 2024*.

In addition, is important to note, that the applicant is responsible for ensuring that all Provincial and Federal laws, requirements, and best practices are followed.

**NEXT STEPS:**

If Council proceeds to the first reading of *District of Ucluelet Zoning Amendment Bylaw No. 1342, 2024* staff would undertake the necessary notification to enable public input on the Bylaw and the accompanying Development Variance Permit. If the Bylaw is adopted, Development Permit 24-03 and Development Variance Permit 24-02 could then be approved by Council.

**Respectfully submitted:**

**ANNELIESE NEWEDUK, PLANNER**

**BRUCE GREIG, DIRECTOR OF COMMUNITY PLANNING**

**DUANE LAWRENCE, CAO**



January 24, 2024

**Statement of Intent***1567 Imperial Lane – Development Permit and Zoning Text Amendment*

Dear Staff and Council,

Sid and Sue Whittaker purchased 1567 Imperial Lane with the intention to use it as a single-family dwelling in a community they love. In the process of cleaning up and landscaping the yard, the family became aware of the due process to be followed given the sensitive nature of the property's location, and are making every action to get the further planned works completed through said process. The Whittaker family have requested support from their team members at the Hazelwood Group of Companies (Hazelwood) to prepare this application.

### Purpose of the Application

Since the purchase, via a formal permitting process involving the District, the Department of Fisheries, and Transportation Canada, the Whittakers have added a dock to be able to access the water. In 2023 a Building Permit was submitted to staff to redo an aging deck, add some retaining structure to the driveway, and fill in an unused garage to turn it into a large storage room with access of the water side of the building. From Staff's initial planning check of the 2023 BP submission, in a response from Planning dated August 2, 2023, the Hazelwood Group learned that the home is legally non-conforming, however, any addition or replacement of existing buildings or structures must conform to the CS-1 Village Square Commercial zone. In subsequent discussions, we were advised by Staff to make a text amendment to the current zoning, utilizing the following example:

- CS-1.1.4 On the following properties, *Single Family Dwelling* is also permitted as a *principal permitted use* and *Bed and Breakfast, Home Occupation* and *Secondary Suite* as related secondary permitted uses only permitted in conjunction with a *Single Family Dwelling*, and subject to the stricter regulations under this zone and the R-1 Zone - Single Family Residential:
- (1) PID: 005-117-496: Lot 3, District Lot 282, Clayoquot District, Plan 11055
  - (2) PID: 005-117-470: Lot 1, District Lot 282, Clayoquot District, Plan 11055
  - (3) PID: 001-483-978: Lot 2, District Lot 282, Clayoquot District, Plan 11055
  - (4) PID: 001-357-221: Lot A, District Lot 282, Clayoquot District, Plan 29748
  - (5) PID: 024-481-386: Lot A, District Lot 282, Clayoquot District, Plan VIP68634
  - (6) PID: 025-505-092: Lot A, District Lot 282, Clayoquot District, Plan 11055

Figure 1: excerpt from Zoning Bylaw No. 1160, 2013 (unofficial consolidation up to Bylaw 1310, 2022)

Planning Staff additionally advised Hazelwood to apply for a Development Permit concurrently with the rezoning text amendment for greatest efficiency and ease of review for Staff and Council. We have discussed all currently known future plans with the Whittaker family, and are submitting this document to outline the proposed works for review.

The Development Application has been submitted for the following:

1. Zoning Bylaw Amendment
2. Development Permit (no variance)
3. Board of Variance (for the zoning text amendment)

### Existing and Proposed Use of the Land, Buildings and Structures

The land, buildings and structures have been historically utilized as single-family residential. The Whittaker family plans to continue this use. The proposed improvements consist of:

- Replacing the rear deck as well as extending it slightly and also adding a split-level staircase to both front grade and rear yard grade
- Removing the garage door and filling in the opening with poured concrete and waterproofing it to turn it into a foundation wall, then back filling against it to remove a driveway that slopes towards the home
- Replacing the driveway and current parking pad with a permeable surface
- Connecting the new garage wall with the staircase off the deck and a retaining wall that will be minimally visible from the street frontage
- Adding a gathering space with a permeable surface, beginning under the deck and projecting in a round shape towards the rear of the yard
- Building a permeable path down to the new dock in a manner that eases grades
- Landscaping the rear of the yard, especially on new and existing slopes, in a way that utilizes native vegetation to provide stabilization, retention and beauty at a 3:1 replacement ratio of any outgoing plants
- Interior renovations to be completed under a subsequent Building Permit, the application materials expected will be provided with this package.

### The Existing and Proposed Works and Services

The property is presently serviced by municipal water and sanitary.

### Compliance with DP Guidelines

The property lies within several Development Permit Areas, as outlined in the OCP and related maps:

#### DPA I – Village Square –

As identified by the map shown in OCP Schedule F, this property falls under the guidelines of DPA 1 as outlined in the 2022 OCP, beginning on page 115. This property is at the very edge of the marked area on the map. Staff advised Hazelwood that the proposed changes to the property are not typically considered as positively or negatively impacting the form and character of the area especially given that the home has been historically utilized as a single-family dwelling, and therefore it does not represent a variance. Staff did, however, note the guidelines to respect public views and the community character

along an important thoroughfare. The finishes planned for the work will be completed with quality construction in a contemporary, West Coast architectural style. Landscape works in the rear yard are contemplated to only utilize native trees and plants in accordance with BCSLA standards. The current downwardly sloped driveway and parking pad are proposed to be replaced with permeable surfaces, and the new gathering area and path in the back yard are also contemplated to be made of permeable gravel path. Given the long-standing presence of the home, we respectfully ask that this property be considered within the “specific residential uses” mentioned within the DPA I section of the OCP, to avoid seeking a variance.

### DPA VII- Marine Shoreline 30m DPA –

As identified by the map shown in OCP Schedule E, this property falls under the guidelines of DPA VII as outlined in the 2022 OCP, beginning on page 131. A report was commissioned from the Qualified Environmental Professionals at Current Environmental to review and provide recommendations to mitigate environmental impact as a result of the development. The report considers siting, landscaping, planting and run off retention, among other things, and ultimately states that the proposal is suitable for the area intended for development. Given the proposed changes are set back from the natural boundary of the ocean by a considerable distance, no impact to the shoreline or aquatic environment is expected. A construction environmental monitoring plan will be prepared prior to any work commencing.

### DPA VIII – Natural Hazard Areas Protection (Steep Slopes)

As identified by the map shown in OCP Schedule G, this property falls under the guidelines of DPA VIII as outlined in the 2022 OCP, beginning on page 133. Although only several small portions of the property experience a 30% slope or greater, the proposed works on site do not substantially alter these grades. The deck extension, plantings and newly created slopes / retaining walls will serve to ease grades, reduce runoff as it occurs currently, and provide for greater long-term stability. A report has been prepared by Ryzuk Geotechnical and it speaks to minimal impact of the development.

### Divergence from DP Guidelines

With the exception of the legal non-conforming residence, no known divergences from the OCP are contemplated and as such, we have not considered this a Development Permit Variance.

### Divergence from Zoning Bylaw and the Zoning Text Amendment

In keeping with other properties currently zoned as CS-1, whose histories are predominantly residential, Hazelwood respectfully proposes to amend CS-1.1.4 within Zoning Bylaw 1160 to include this property as number 10 on the list:

(10) PID: 031-828-345: Lot 1, District Lot 282, Clayoquot District, Plan EPP124154

Further, should Staff find this application warrants review by the Board of Variance, Hazelwood is amenable to that.

### Consultations

For the purposes of the rezoning text amendment, Division 14 of the Local Government Act creates specific policies for non-conforming uses and structures, as mirrored within CS-1.1.4 of Zoning Bylaw

1160. Hazelwood is not presently aware of any required consultations required beyond the District providing public notice before first reading.

Hazelwood is not aware of any requirements for community consultation for the DP as no variances are proposed.

### Zoning Analysis

legal identification

address

lot area

density

floor area ratio

lot coverage

height calculations

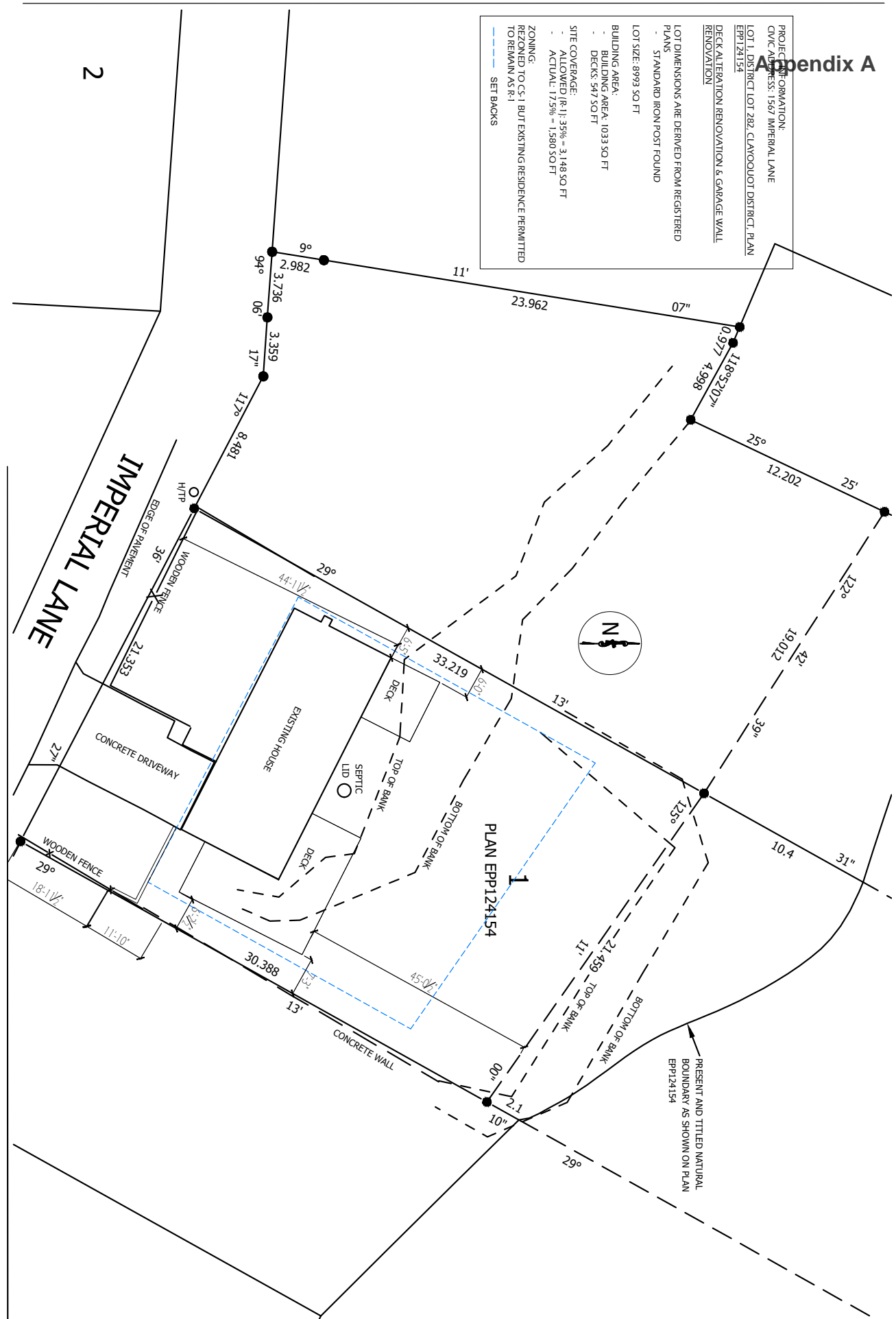
setbacks


### Accompanying Support Documents

- A list of support documents is noted on the DP checklist form submitted with this package, but includes:
  - An application form
  - An appointment of agent
  - Application fee of \$1000+\$1000
    - Willing to supplementally pay the \$600 Board of Variance fee should this be deemed appropriate
  - A site survey prepared by a BC Land Surveyor
  - A title search
  - Application drawings in digital format
    - Site plan details are contained within the survey, the reports, and the drawing sets.
  - DP /zoning checklist
- We have not provided
  - A landscape plan (the environmental recommendation was to prepare a 3:1 replacement of existing native plants, as directed by the landscaper)
  - Exact building elevations, as the location and size are not changing
  - Physical plan sets, but will be prepared to provide if required

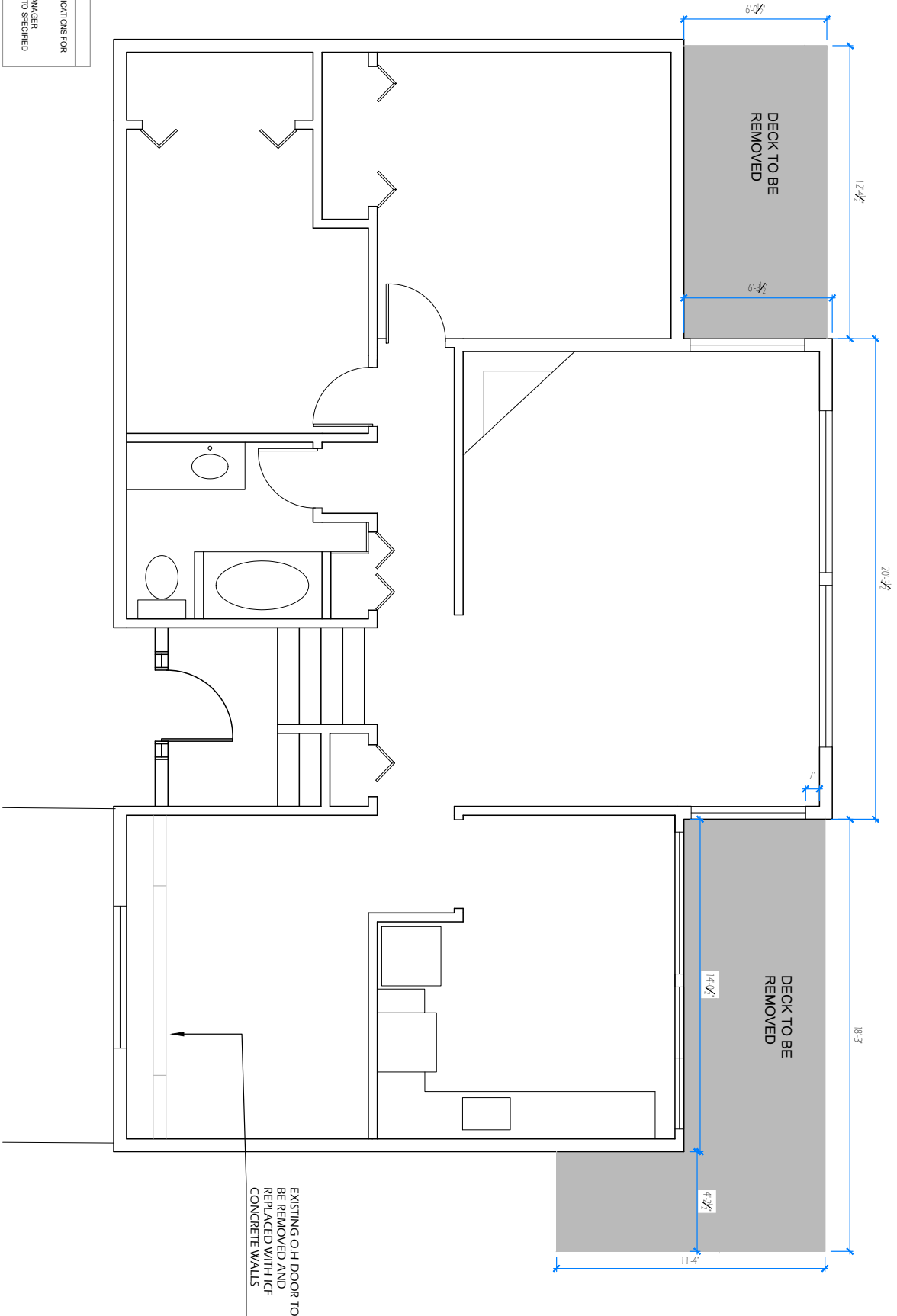
# Appendix A

PROJECT INFORMATION:  
 CIVIC ADDRESS: 1567 IMPERIAL LANE  
 LOT 1, DISTRICT LOT 282, CLAVOQUOT DISTRICT, PLAN EPP124154  
 DECK ALTERATION RENOVATION & GARAGE WALL RENOVATION  
 LOT DIMENSIONS ARE DERIVED FROM REGISTERED PLANS - STANDARD IRON POST FOUND  
 LOT SIZE: 8993 SQ FT  
 BUILDING AREA:  
 - BUILDING AREA: 1033 SQ FT  
 - DECKS: 547 SQ FT  
 SITE COVERAGE:  
 - ALLOWED (R-1): 35% = 3,148 SQ FT  
 - ACTUAL: 175% = 1,580 SQ FT  
 ZONING:  
 REZONED TO C5-1 BUT EXISTING RESIDENCE PERMITTED TO REMAIN AS R-1  
 SET BACKS




<b>A.01</b>	DATE: 6/19/23	DRAWING NAME:	PROJECT:	PROJECT DRAWINGS BY:		NO.	DRAWING	BY	DATE (MIDY)
	SCALE: 1/16" = 1'-0"	SITE PLAN	S WHITTAKER UCLUELET RESIDENCE	MOMENTUM DESIGN BUILD B-2345 DELINEA PL NANAIMO, BC V9S 5L9					
	DRAWN BY: JL								

# Appendix A DEMO PLAN - UPPER FLOOR



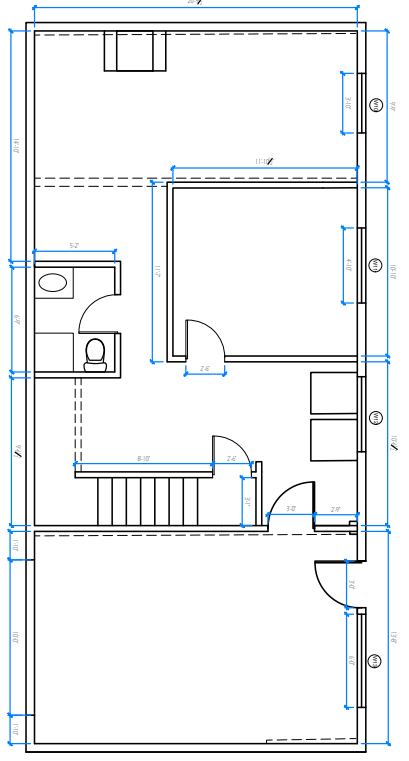
NOTES:  
 REFER TO PROJECT SPECIFICATIONS FOR MORE INFORMATION.  
 CONSULT WITH PROJECT MANAGER FOR ANY QUESTIONS OR SPECIFIED DESIGN OR PRODUCTS.

<b>A.02</b>	DATE: 6/19/23	DRAWING NAME:	PROJECT:	PROJECT DRAWINGS BY:		NO.	DRAWING	BY	DATE (MID/Y)
	SCALE: 1/4" = 1'-0"	DEMO PLAN	S WHITTAKER UCLUELET RESIDENCE	MOMENTUM DESIGN BUILD B-2345 DELINEA PL NANAIMO, BC V9S 5L9					
	DRAWN BY: J.L								

NOTES:  
 REFER TO PROJECT SPECIFICATIONS FOR MORE INFORMATION.  
 CONFIRM WITH PROJECT MANAGER BEFORE MAKING ANY CHANGES TO SPECIFIED DESIGNS OR PRODUCTS.

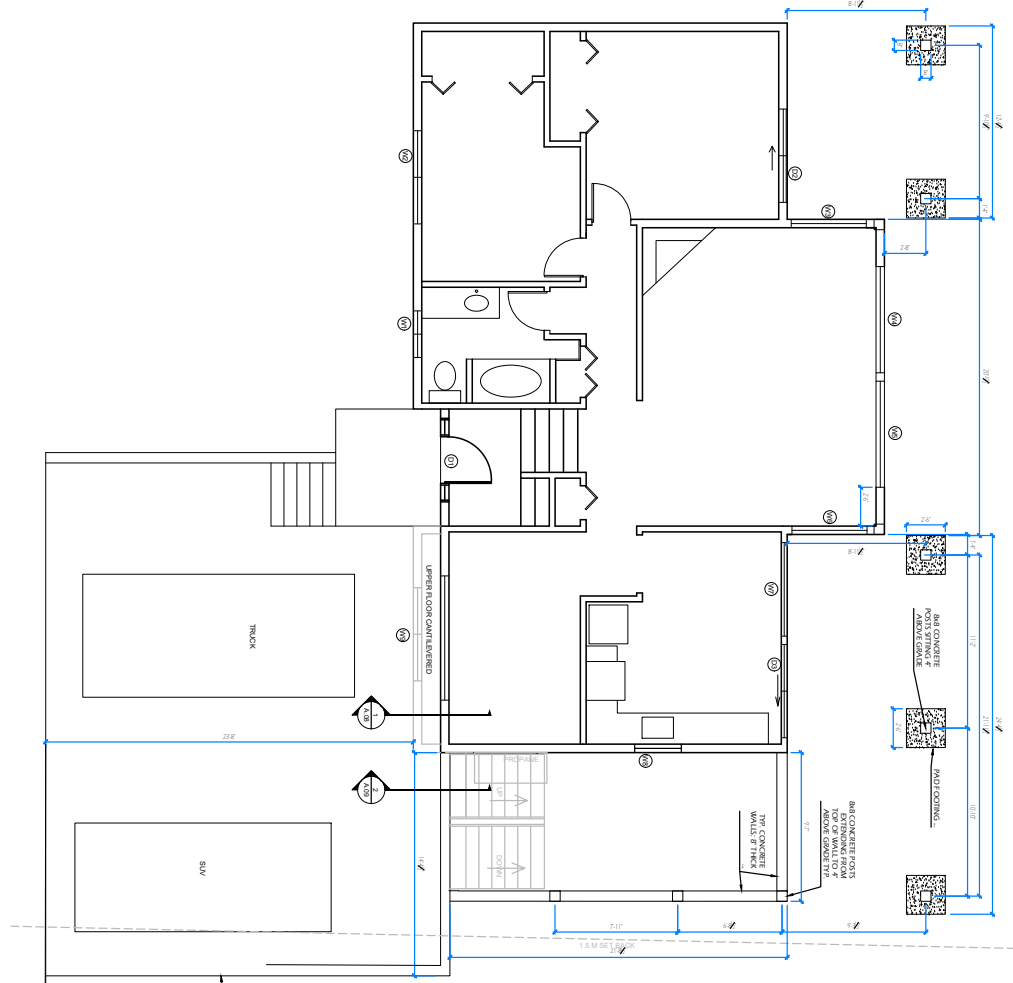
# Appendix A


WINDOW AND DOOR SCHEDULE	NUMBER	UNIT SIZE (WxH)	OPERATION	MATERIAL	NOTES
	W1	35 1/2" X 35 1/2"	HORIZ. SLIDER	VINYL	BATH WINDOW
	W2	71 1/2" X 35 1/2"	HORIZ. SLIDER	VINYL	2ND BEDROOM WINDOW
	W3	59 1/2" X 83 1/2"	PICTURE	VINYL	LIVING WINDOW 4
	W4	83 1/2" X 83 1/2"	PICTURE	VINYL	LIVING WINDOW 1
	W5	83 1/2" X 83 1/2"	PICTURE	VINYL	LIVING WINDOW 2
	W6	59 1/2" X 83 1/2"	PICTURE	VINYL	LIVING WINDOW 3
	W7	71 1/2" X 47 1/2"	HORIZ. SLIDER	VINYL	KITCHEN WINDOW 1
	W8	71 1/2" X 35 1/2"	HORIZ. SLIDER	VINYL	KITCHEN WINDOW 2
	W9	71 1/2" X 47 1/2"	HORIZ. SLIDER	VINYL	3RD BEDROOM WINDOW
	W10	71 1/2" X 47 1/2"	HORIZ. SLIDER	VINYL	BASEMENT WINDOW 1
	W11	59 1/2" X 35 1/2"	HORIZ. SLIDER	VINYL	BASEMENT WINDOW 2
	W12	59 1/2" X 35 1/2"	HORIZ. SLIDER	VINYL	BASEMENT LAUNDRY WINDOW
	W13	71 1/2" X 79 1/2"	HORIZ. SLIDER	VINYL	BASEMENT GARAGE WINDOW
	D1	3' X 5'8"	RH	WOOD	FRONT DOOR
	D2	7'1" X 8'0"	LEFT SLIDING	VINYL	PRIMARY BED SLIDING DOOR
	D3	7'1 1/2" X 7'9 1/2"	RIGHT SLIDING	VINYL	KITCHEN SLIDING DOOR



## BOTTOM FLOOR

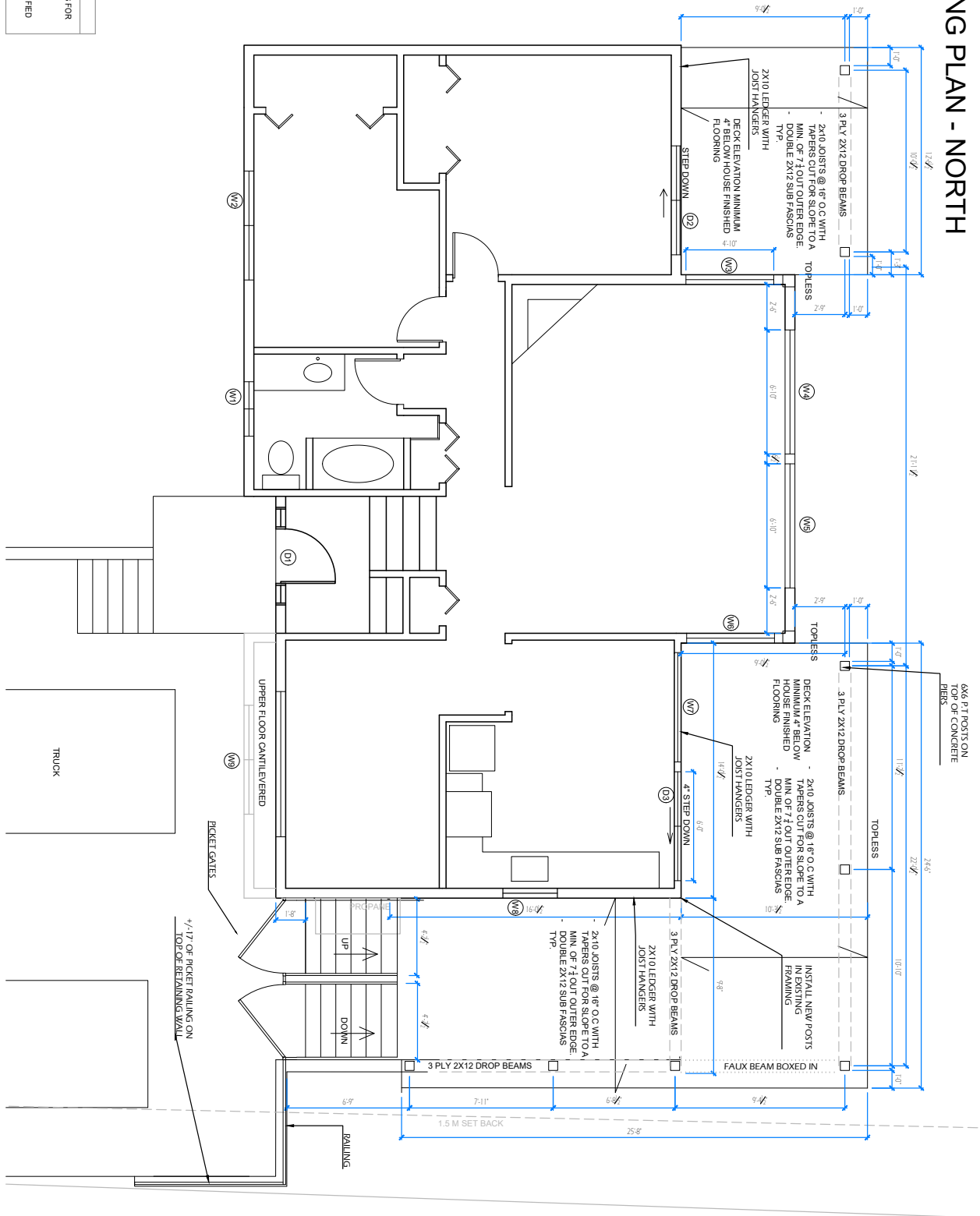
## FOUNDATION PLAN TOP FLOOR VIEW



A.03	DATE:	DRAWING NAME:	PROJECT:	PROJECT DRAWINGS BY:		NO.	DRAWING	BY	DATE (M/D/Y)
	6/14/23	FOUNDATION PLAN AND LOWER LEVEL	S WHITTAKER UCLUELET RESIDENCE	MOMENTUM DESIGN BUILD B-2345 DELINEA PL NANAIMO, BC V9S 5L9					
	SCALE: 1/8" = 1'-0"								

DRAWN BY: JL

# Appendix A FRAMING PLAN - NORTH

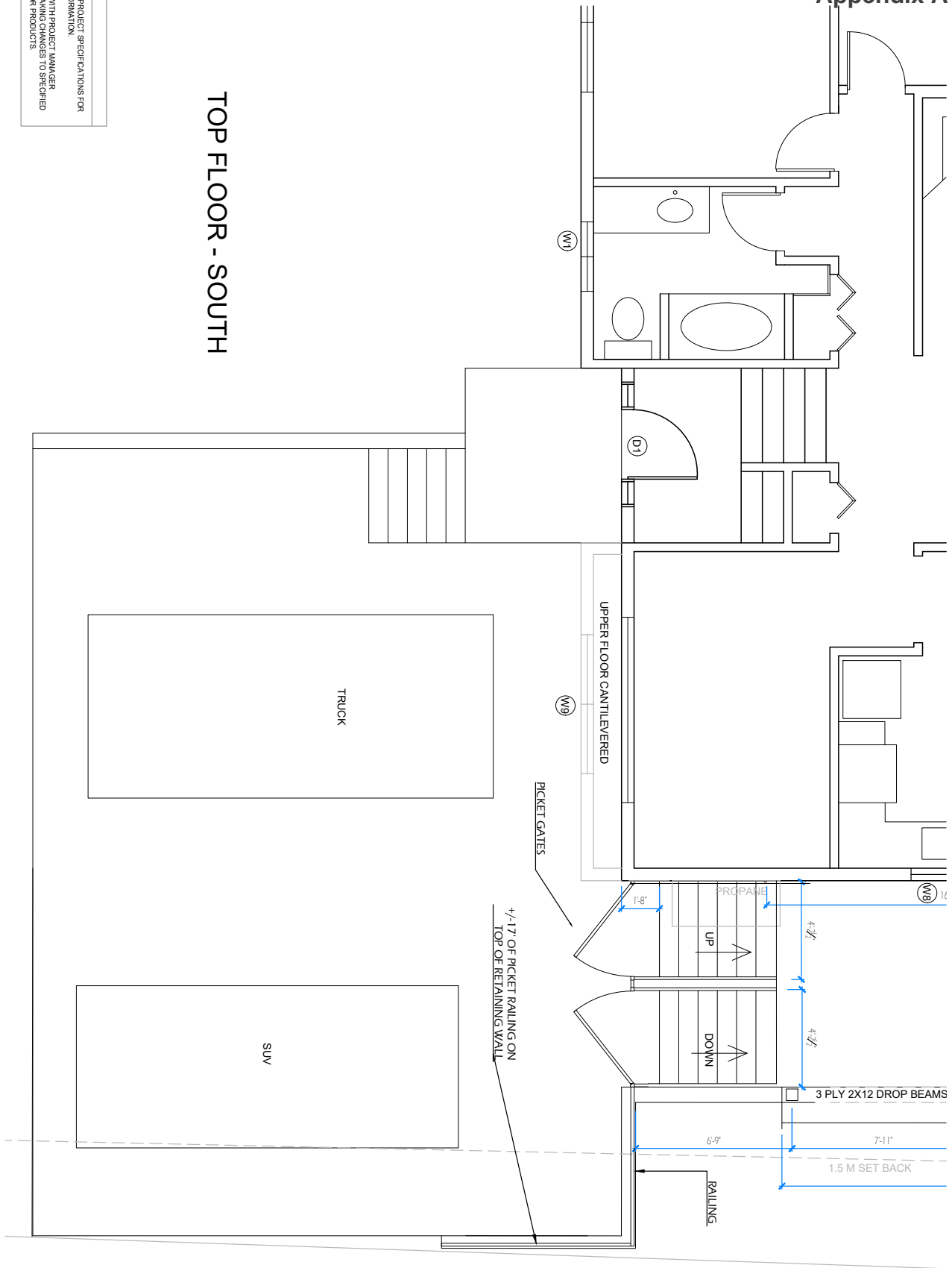


NOTES:  
 REFER TO PROJECT SPECIFICATIONS FOR MORE INFORMATION.  
 CONFORM WITH PROJECT MANAGER SPECIFICATIONS TO SPECIFIED DESIGNS OR PRODUCTS.

A.04	DATE:	DRAWING NAME:	PROJECT:	PROJECT DRAWINGS BY:	NO.	DRAWING	BY	DATE (M/D/Y)
	6/14/23	FRAMING PLAN	S WHITTAKER UCLUELET RESIDENCE	MOMENTUM DESIGN BUILD B-2345 DELINEA PL NANAIMO, BC V9S 5L9				
	SCALE: 1/4" = 1'-0"							
	DRAWN BY: J.L							







TOP FLOOR - SOUTH

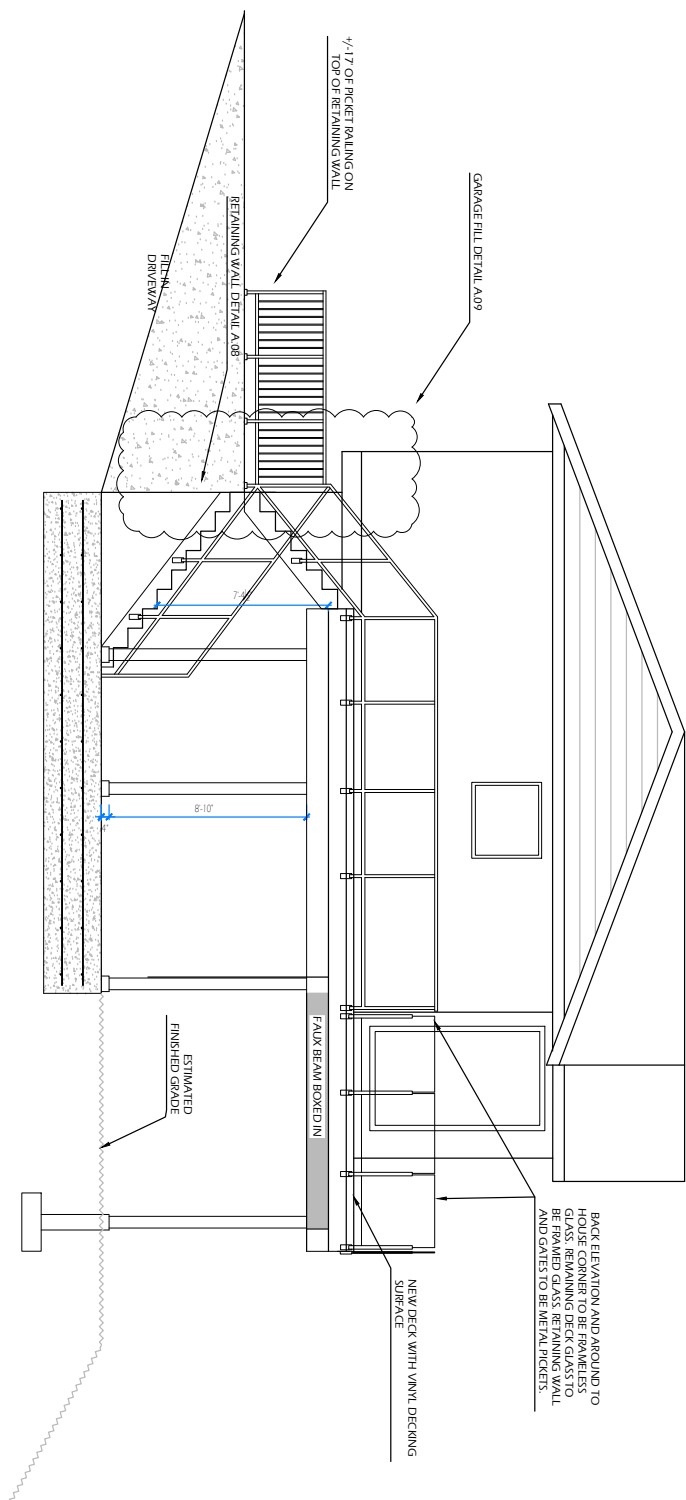
NOTES:  
 REFER TO PROJECT SPECIFICATIONS FOR MORE INFORMATION.  
 CONSULT WITH PROJECT MANAGER FOR ANY CHANGES TO SPECIFIED DESIGNS OR PRODUCTS.


<b>A.05</b>	DATE: 6/14/23	DRAWING NAME:	PROJECT:	PROJECT DRAWINGS BY:		NO.	DRAWING	BY	DATE (M/D/Y)
	SCALE: 3/16" = 1'-0"	DRIVEWAY	S WHITTAKER UCLUELET RESIDENCE	MOMENTUM DESIGN BUILD B-2345 DELINEA PL NANAIMO, BC V9S 5L9					
	DRAWN BY: JL								

NOTES:  
 SUBJECT SPECIFICATIONS FOR  
 MORE INFORMATION,  
 CONSULT PROJECT MANAGER  
 OR ARCHITECT FOR SPECIFIED  
 DESIGN CONDITIONS

# Appendix A

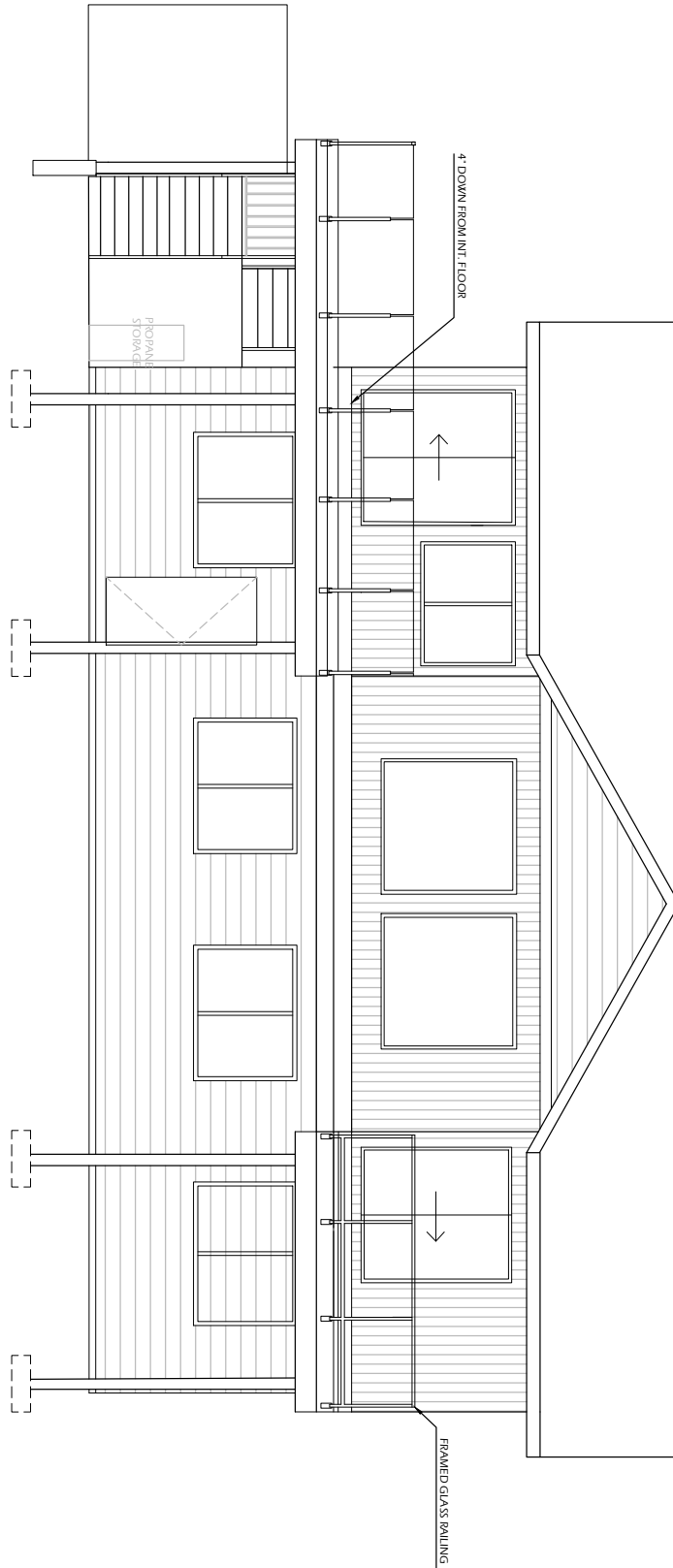
## SIDE ELEVATION




A.06	DATE:	DRAWING NAME:	PROJECT:	PROJECT DRAWINGS BY:		NO.	DRAWING	BY	DATE (MID/Y)
	DATE: 6/14/23 SCALE: 3/16" = 1'-0" DRAWN BY: J.L.	SIDE ELEVATION	S WHITTAKER UCLUELET RESIDENCE	MOMENTUM DESIGN BUILD B-2345 DELINEA PL NANAIMO, BC V9S 5L9					

# Appendix A

NOTES:  
 REFER TO SUBJECT SPECIFICATIONS FOR  
 MORE INFORMATION.  
 CONFIRM WITH PROJECT MANAGER  
 BEFORE MAKING CHANGES TO SPECIFIED  
 DESIGN OR MATERIALS.



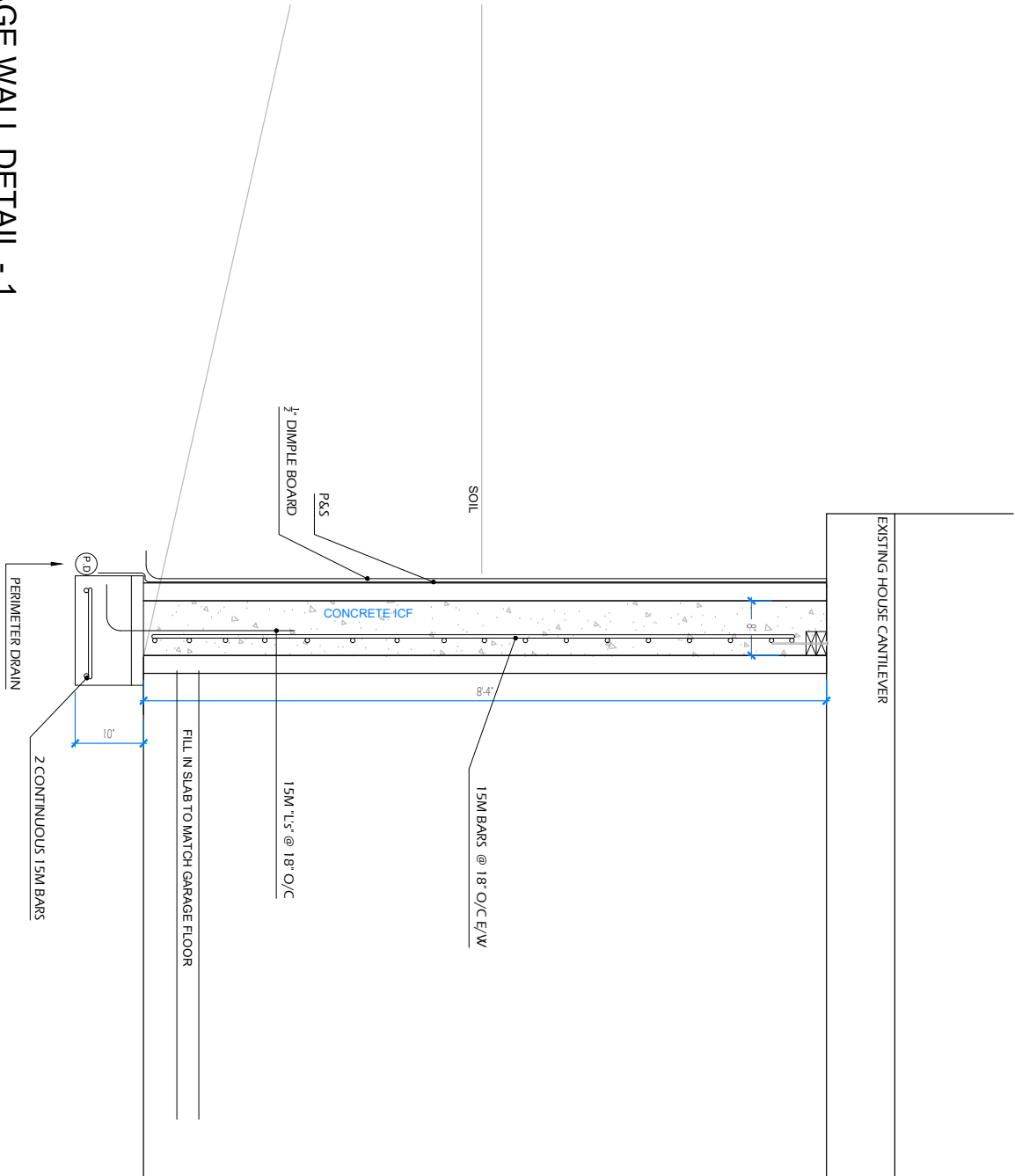
## BACK ELEVATION

<b>A.07</b>	DATE: 6/14/23	DRAWING NAME:	PROJECT:	PROJECT DRAWINGS BY:		NO.	DRAWING	BY	DATE (MID/Y)
	SCALE: 3/16" = 1'-0"	BACK ELEVATION	S WHITTAKER UCLUELET RESIDENCE	MOMENTUM DESIGN BUILD B-2345 DELINEA PL NANAIMO, BC V9S 5L9					
	DRAWN BY: JL								

NOTES:  
 SUBJECT SPECIFICATIONS FOR  
 REFER TO PROJECT  
 MORE INFORMATION  
 CONSULT WITH PROJECT MANAGER  
 BEFORE MAKING CHANGES TO SPECIFIED  
 DESIGNS OR PRODUCTS

# Appendix A

## GARAGE WALL DETAIL - 1

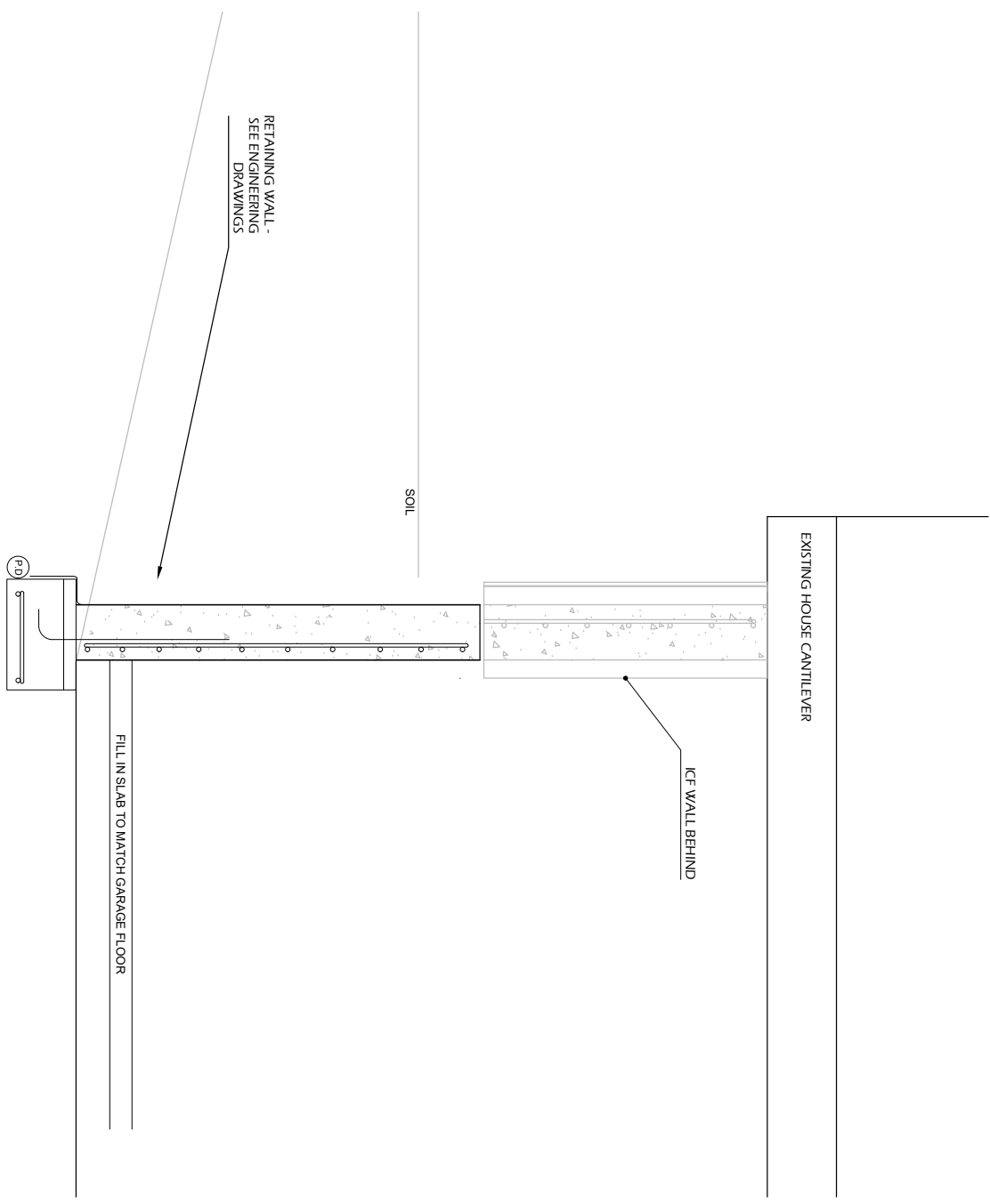


A.08	DATE:	DRAWING NAME:	PROJECT:	PROJECT DRAWINGS BY:	NO.	DRAWING	BY	DATE (M/D/Y)
	6/14/23	GARAGE WALL DETAIL	S WHITTAKER UCLUELET RESIDENCE	MOMENTUM DESIGN BUILD B-2345 DELINEA PL NANAIMO, BC V9S 5L9				
	SCALE: 3/4" = 1'-0"							
	DRAWN BY: JL							




NOTES  
 REFER TO PROJECT SPECIFICATIONS FOR MORE INFORMATION.  
 APPROVED BY PROJECT MANAGER BEFORE MAKING CHANGES TO SPECIFIED DESIGNS OR PRODUCTS.

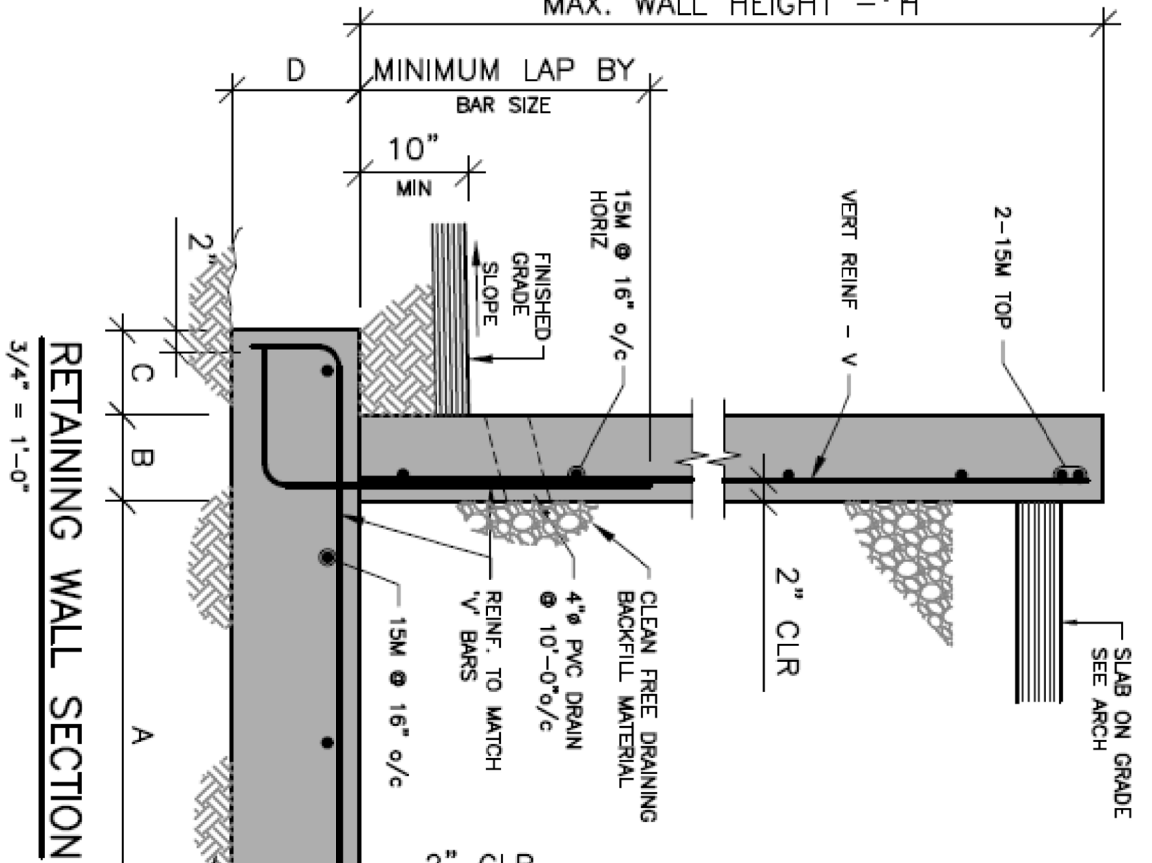
Appendix A



RETAINING WALL DETAIL - 2

<b>A.09</b>	DATE: 6/14/23	DRAWING NAME:	PROJECT:	PROJECT DRAWINGS BY:		NO.	DRAWING	BY	DATE (MID/Y)
	SCALE: 3/4" = 1'-0"	RETAINING WALL DETAIL	S WHITTAKER UCLUELET RESIDENCE	MOMENTUM DESIGN BUILD B-2345 DELINEA PL NANAIMO, BC V9S 5L9					
	DRAWN BY: JL								

MAX. WALL HEIGHT - H



MAX WALL HEIGHT H	VERT REINF V	WALL DIMENSIONS			
		A	B	C	D
4'-0"	15M @ 20"	26"	8"	8"	10"
5'-0"	15M @ 20"	38"	8"	8"	10"
6'-0"	15M @ 10"	50"	8"	8"	10"
7'-0"	15M @ 6"	64"	8"	8"	12"
8'-0"	20M @ 6"	78"	8"	8"	12"
9'-0"	20M @ 6"	84"	10"	8"	12"
10'-0"	20M @ 4 1/2"	96"	10"	8"	14"
11'-0"	20M @ 4"	106"	12"	8"	14"
12'-0"	20M @ 4"	114"	14"	8"	16"

SLAB ON GRADE  
SEE ARCH

MINIMUM LAP BY  
BAR SIZE

10"  
MIN

15M @ 16" o/c  
HORIZ

2-15M TOP

VERT REINF - V

2" CLR

CLEAN FREE DRAINING  
BACKFILL MATERIAL  
4" PVC DRAIN  
@ 10'-0" o/c  
REINF. TO MATCH  
V BARS

15M @ 16" o/c

2" CLR

PERIMETER DRAIN  
SEE ARCH/CIVIL  
DWGS

APPROVED BEARING

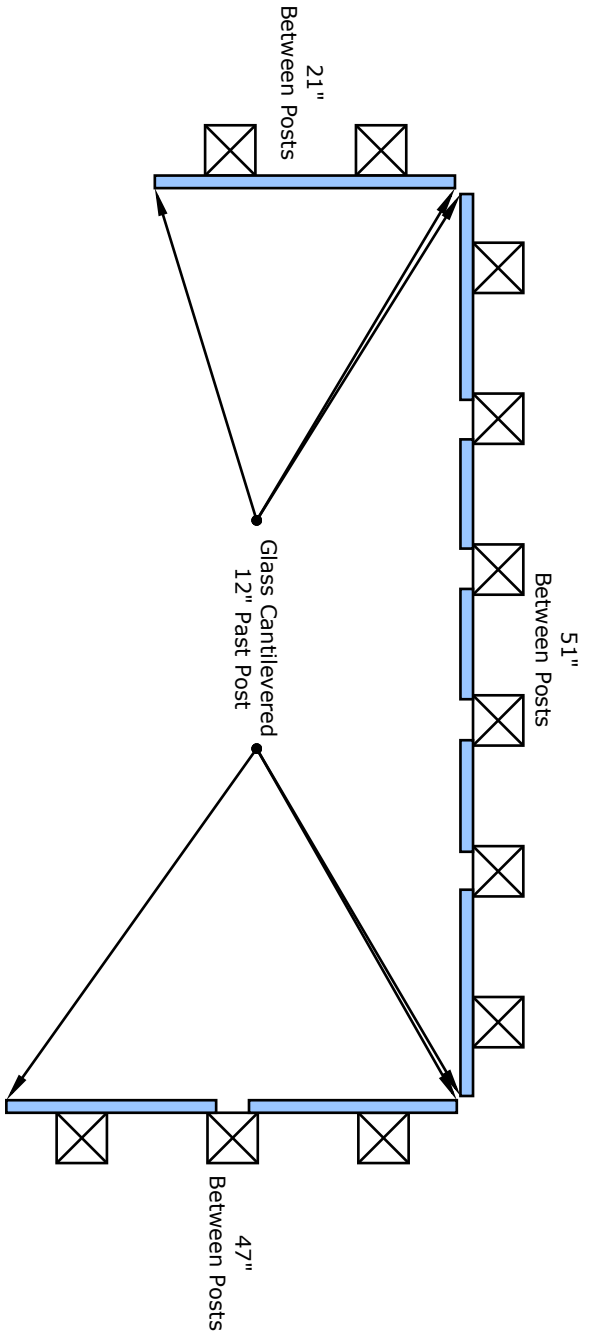
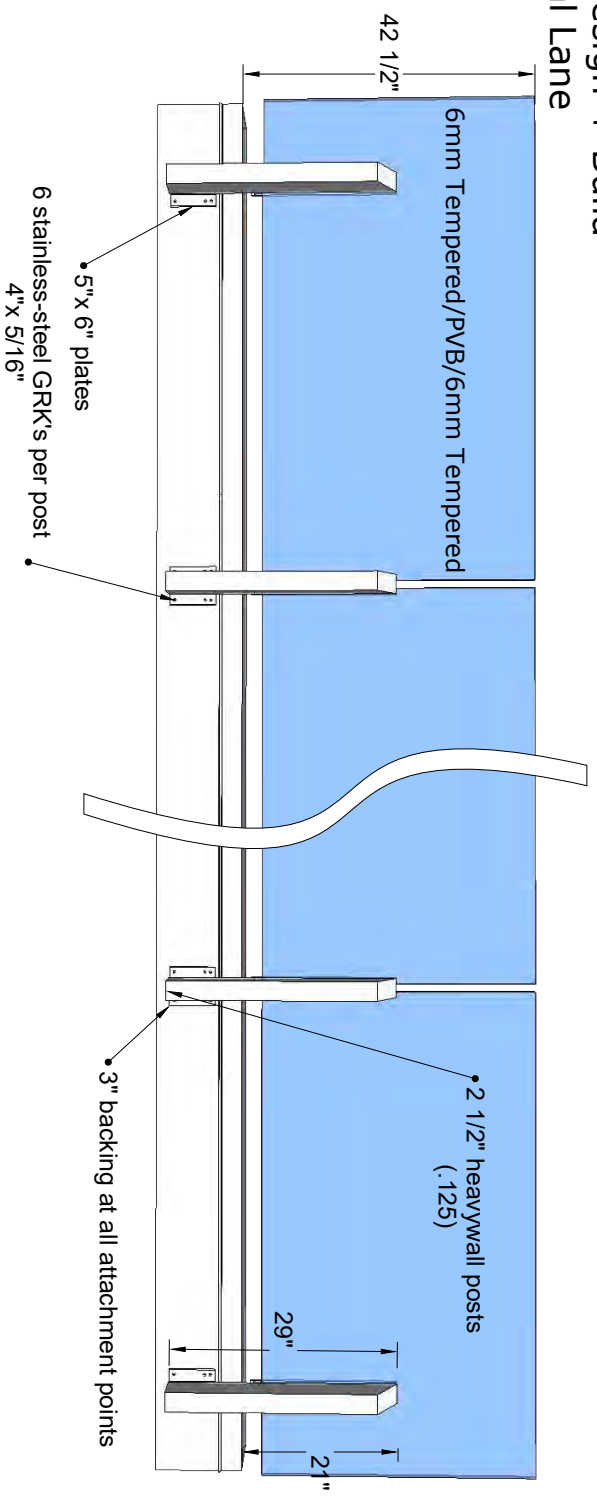
RETAINING WALL SECTION

3/4" = 1'-0"



Momentum Design + Build  
 1567 Imperial Lane  
 Ucuquet B.C.

Appendix

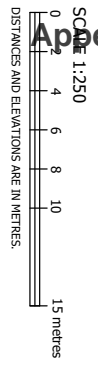


Dwg. #1	Dwg. by N.N.	Not to scale	July 12, 2023
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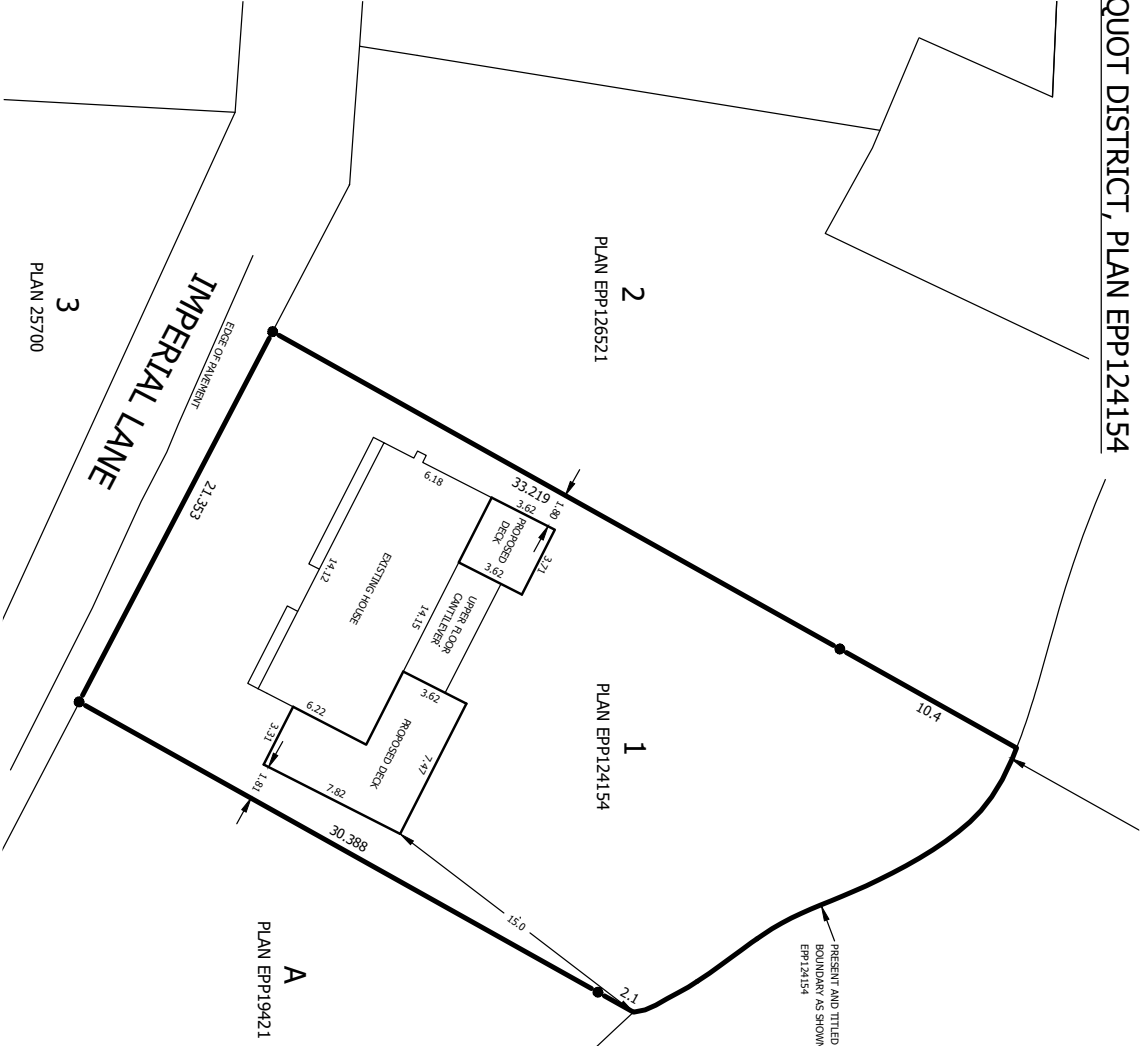


**Appendix A**  
 SITE PLAN SHOWING PROPOSED DECK LOCATED ON:  
**LOT 1, DISTRICT LOT 282, CLAYOQUOT DISTRICT, PLAN EPP124154**



- NOTES:
- CIVIC ADDRESS: 1567 IMPERIAL LANE
  - LOT DIMENSIONS ARE DERIVED FROM REGISTERED PLANS.
  - STANDARD IRON POST FOUND.

THIS PLAN PURPORTS TO POSITION ONLY THE ACTUAL AND/OR PROPOSED IMPROVEMENT(S) SHOWN RELATIVE TO ONLY THE BOUNDARIES SHOWN OF OR APPURTENANT TO THE ABOVE DESCRIBED PARCEL(S).  
 THIS PLAN PROVIDES NO WARRANTY OR REPRESENTATION WHATSOEVER WITH RESPECT TO THE LOCATION OF ANY OTHER ACTUAL OR PROPOSED IMPROVEMENT(S) RELATIVE TO ANY BOUNDARY OF OR APPURTENANT TO THE ABOVE DESCRIBED PARCEL(S).  
 THIS PLAN IS NOT TO BE USED TO RE-ESTABLISH BOUNDARY LINES.



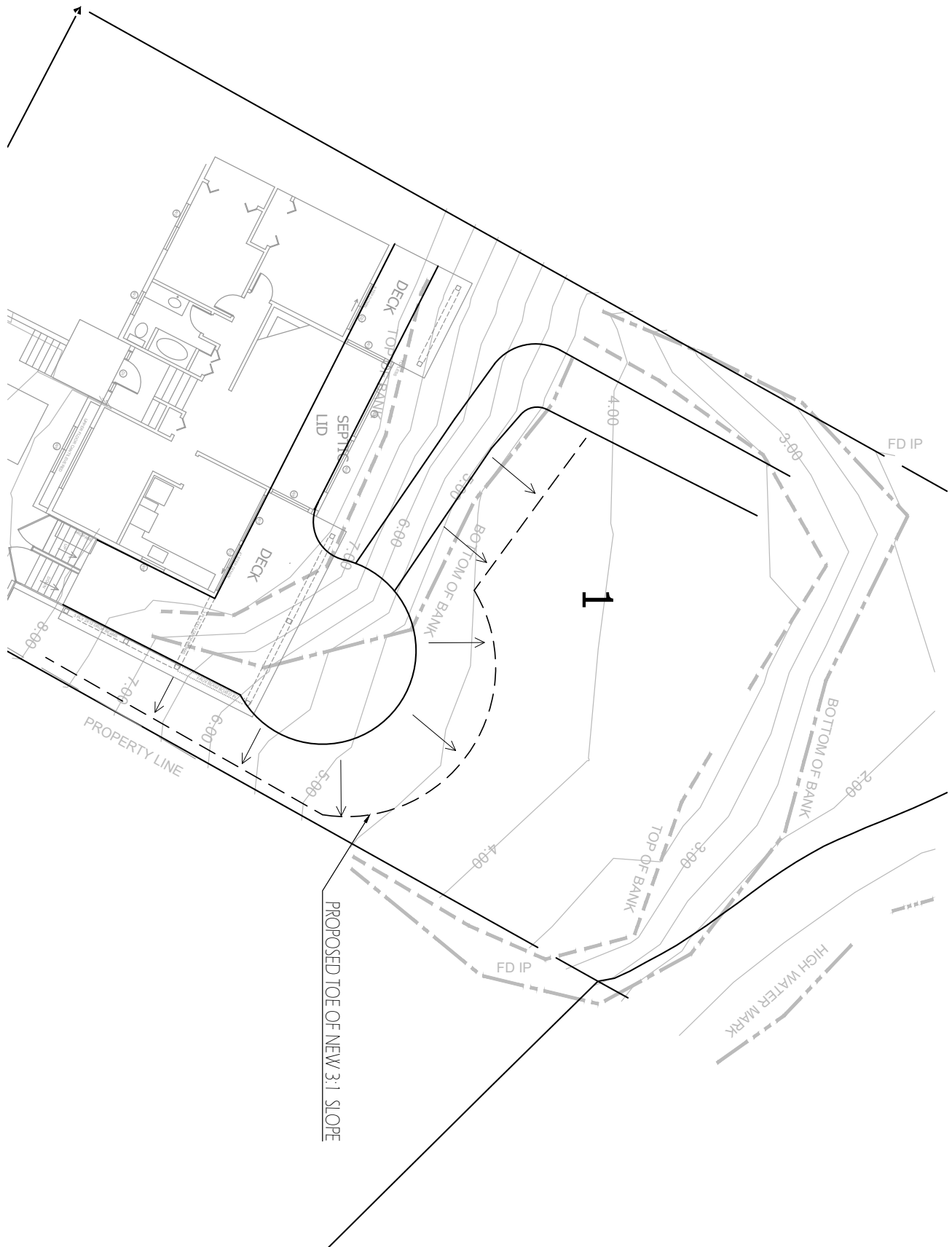
**WILLIAMSON & ASSOCIATES**  
 PROFESSIONAL SURVEYORS © 2024  
 3088 BARONS ROAD NANAIMO B.C. V9T 4B5  
 PHONE: 250-756-7723 FAX: 250-756-7724  
 EMAIL: WMS@WBSLSCA  
 FILE: 202404-02 SITE PLAN DECK (BASE PLAN 22018)


THIS BUILDING LOCATION CERTIFICATE HAS BEEN PREPARED IN ACCORDANCE WITH THE PROFESSIONAL REFERENCE MANUAL & IS CERTIFIED CORRECT THIS DATE OF: APRIL 2, 2024.

**Arne Hals**  
**8GLE8H**

Arne O. Hals, BCLS  
 THIS DOCUMENT IS NOT VALID UNLESS DIGITALLY SIGNED.

c=CA, cn=Arne Hals 8GLE8H,  
 o=BC Land Surveyor, ou=Verify  
 ID at www.juricert.com/  
 LKUP.cdnId=8GLE8H  
 2024.04.02 14:53:25 -07'00'



<b>L.01</b>	DATE: 2/1/24	DRAWING NAME:	PROJECT:	PROJECT DRAWINGS BY:		NO.	DRAWING	BY	DATE (M/D/Y)
	SCALE: 3/32" = 1'-0"	SITE PLAN & LANDSCAPE CONCEPT	S WHITTAKER UCLUELET RESIDENCE	MOMENTUM DESIGN BUILD B-2345 DELINEA PL NANAIMO, BC V9S 5L9					
	DRAWN BY: JL								

**DISTRICT OF UCLUELET**

**Zoning Amendment Bylaw No. 1342, 2024**

A bylaw to amend the “District of Ucluelet Zoning Bylaw No. 1160, 2013”.  
(1567 Imperial Lane)

---

**WHEREAS** the District of Ucluelet Council by Bylaw No. 1160, 2013, adopted the Zoning Bylaw and now deems it appropriate to amend the Zoning Bylaw;

**NOW THEREFORE** the Council of the District of Ucluelet, in open meeting assembled, enacts as follows:

**1. Text Amendment:**

Schedule B of the *District of Ucluelet Zoning Bylaw No. 1160, 2013*, as amended, is hereby further amended by:

- A. adding the following subsection (10) to section CS-1.1.4 in alphanumerical order, as follows:

“(10) PID: 031-828-345, Lot 1, District Lot 282, Clayoquot Land District, Plan EPP124154”

**2. Citation:**

This bylaw may be cited as “District of Ucluelet Zoning Amendment Bylaw No. 1342, 2024”.

**FIRST NOTIFICATION OF FIRST READING** published this    day of            , **2024.**

**SECOND NOTIFICATION OF FIRST READING** published this    day of            , **2024.**

**READ A FIRST TIME** this    day of            , **2024.**

**READ A SECOND TIME** this    day of            , **2024.**

**READ A THIRD TIME** this    day of            , **2024.**

**ADOPTED** this    day of            , **2024.**

**CERTIFIED CORRECT:** “District of Ucluelet Zoning Amendment Bylaw No. 1342, 2023.”

\_\_\_\_\_  
Marilyn McEwen  
Mayor

\_\_\_\_\_  
Duane Lawrence  
Corporate Officer

**THE CORPORATE SEAL** of the  
District of Ucluelet was hereto  
affixed in the presence of:

\_\_\_\_\_  
Duane Lawrence  
Corporate Officer

**DEVELOPMENT PERMIT DP24-03**

---

Pursuant to section 488 of the Local Government Act, R.S.B.C 2015 C.1 as amended:

1. This Development Permit is issued to:

*SIDNEY WHITTAKER; SUSAN WHITTAKER* (The “**Owner**”)

2. This Development Permit applies to, and only to, those lands within the District of Ucluelet described below, and the buildings, structures, and other development thereon:

*1567 Imperial Lane; PID 031828345, Lot 1, Plan EPP124154, District Lot 282, Clayoquot Land District* (The “**Lands**”).

3. This Permit authorizes the exterior renovations, associated landscaping, and hardscaping works.
4. These improvements apply only in the locations indicated, and otherwise in accordance with, the drawings and specifications attached to this Permit as **Schedule 1**.
5. The permit holder, as a condition of issuance of this Permit, agrees to comply with the terms and conditions of **Schedule 2** which is attached hereto and forms part of this permit.
6. In addition to compliance with the terms and conditions listed in Schedule 2, the permit holder must adhere to all conditions of the Qualified Environmental Professional report in **Schedule 3** which is attached hereto and forms part of this permit.
7. The work authorized by this Permit may only be carried out in compliance with all federal, provincial, and municipal statutes, regulations, and bylaws. The Owner is responsible for ensuring that the timing of the work and any required permits or notifications by other agencies are obtained as required to comply with all applicable regulations.
8. Notice shall be filed in the Land Title Office under Section 503 of the Local Government Act, and upon such filing, the terms of this Permit or any amendment hereto shall be binding upon all persons who acquire an interest in the land affected by this Permit.
9. The Owner shall substantially commence the development within 24 months of the date of issuance, after which this permit shall be null and void.
10. This Permit is NOT a Building Permit.
11. The Municipality’s Chief Administrative Officer is hereby authorized to approve minor amendments to the plans provided that such amendments are consistent with the overall character and intent of the original plans.

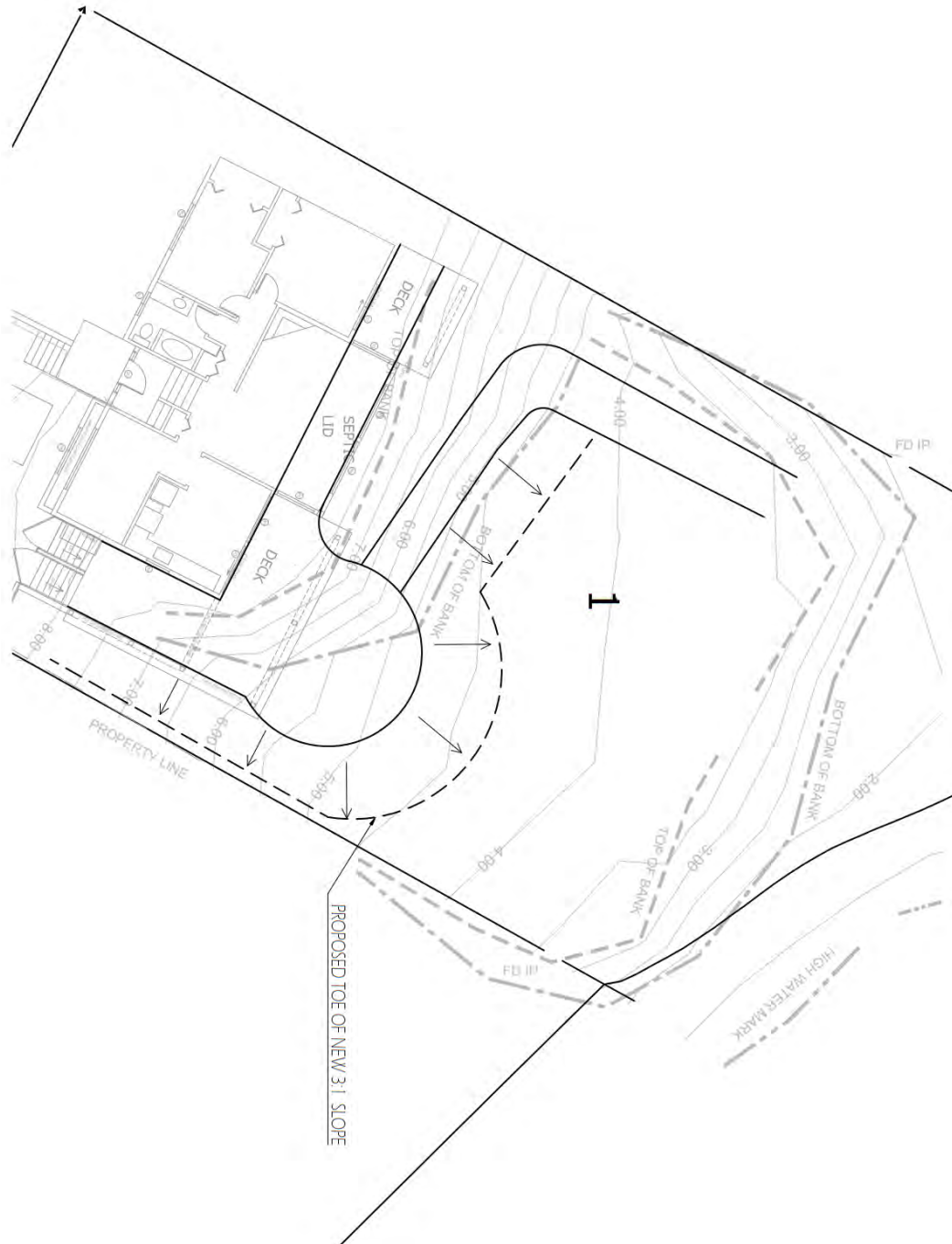
**AUTHORIZING RESOLUTION** passed by the Municipal Council on the       <sup>th</sup> day of       , 2024.

**ISSUED** the       <sup>th</sup> day of       , 2024.

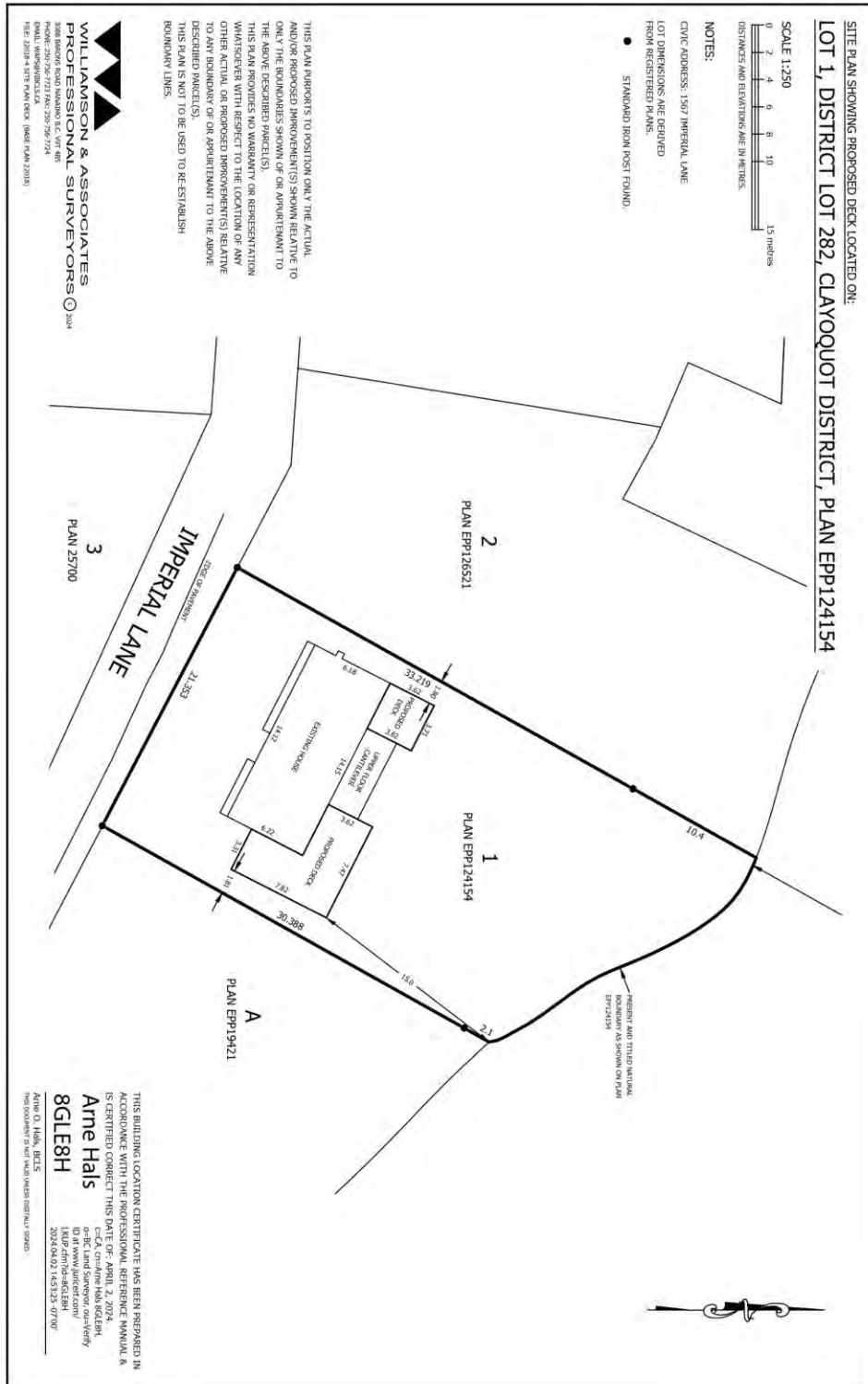
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Bruce Greig  
Director of Community Planning

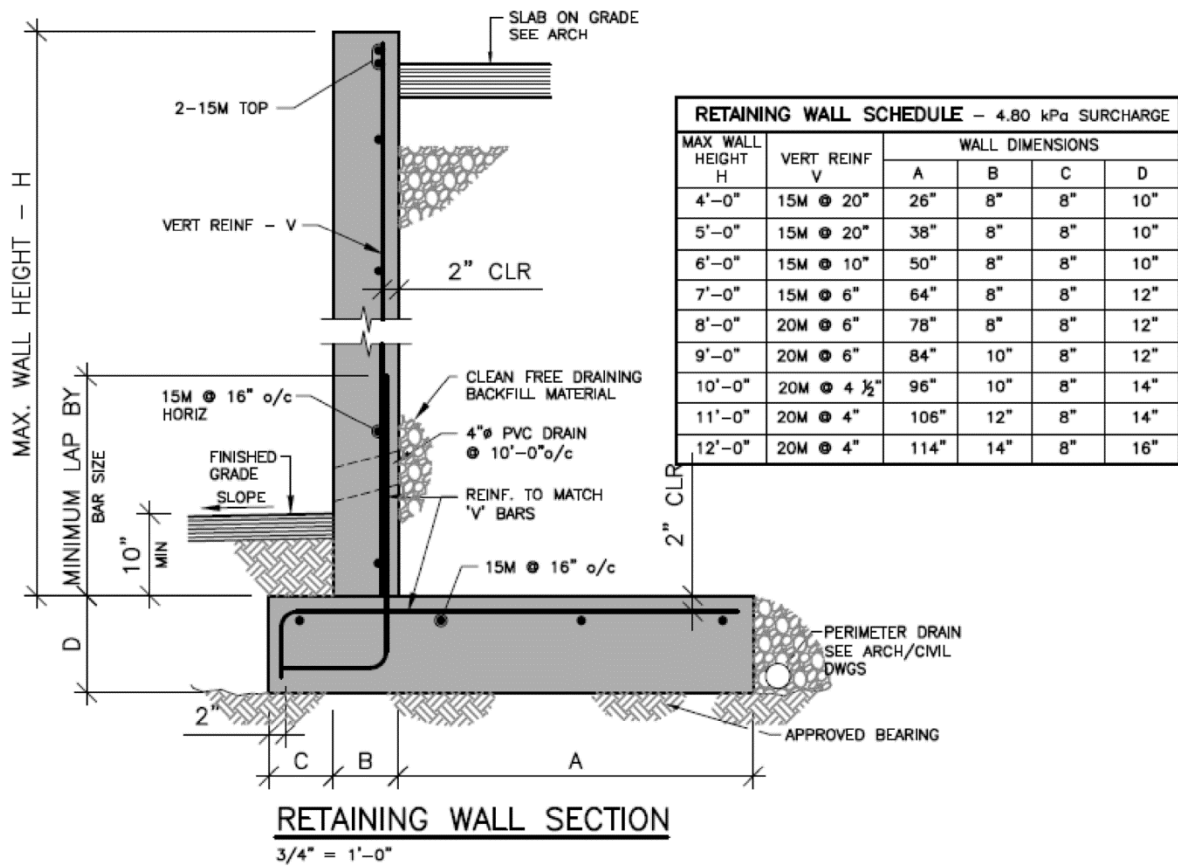
Schedule 1 (1 of 7)



Schedule 1 (2 of 7)

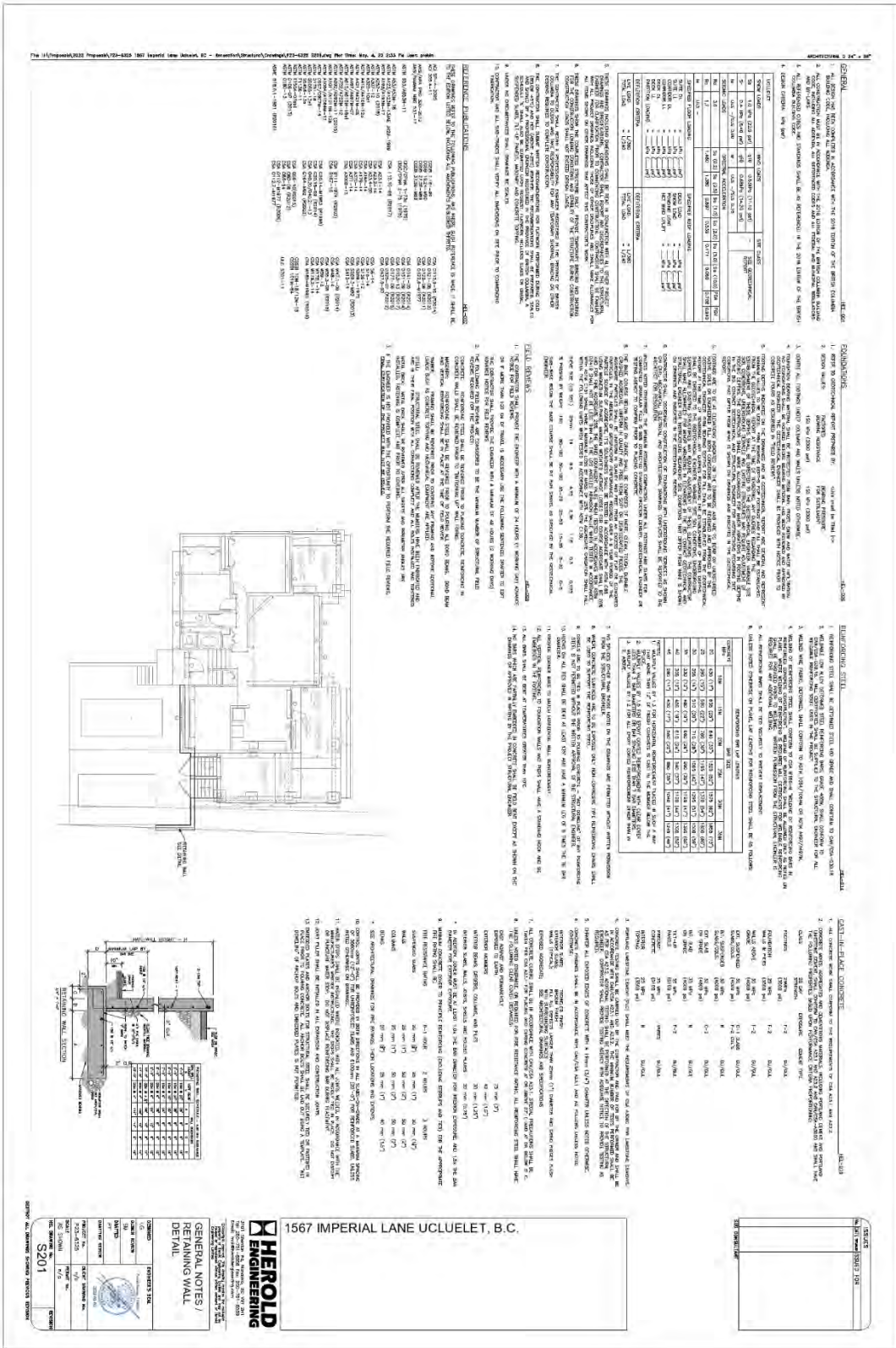


Schedule 1 (3 of 7)





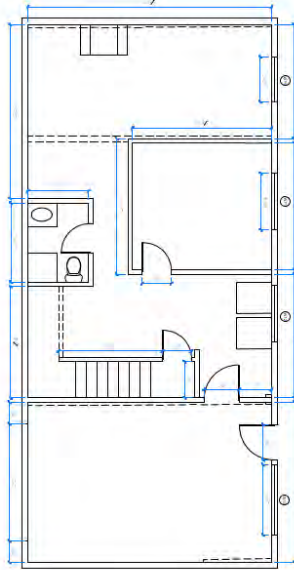
Schedule 1 (4 of 7)



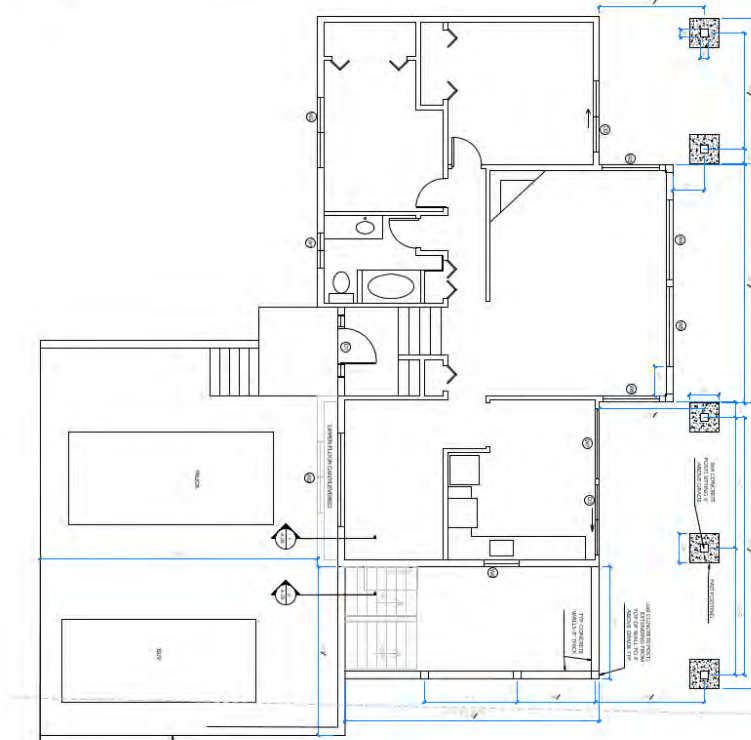
Schedule 1 (5 of 7)

NOTES:  
REFER TO PRODUCT SPECIFICATIONS FOR  
FRAME INFORMATION.  
COORDINATE WITH PROJECT MANAGER  
DESIGN OF PRODUCTS.

NUMBER	UNIT SIZE (WxH)	OPERATION	MATERIAL	NOTES
W1	35" X 35"	HORIZ SLIDER	VINYL	BATH WINDOW
W2	71" X 35"	HORIZ SLIDER	VINYL	2ND BEDROOM WINDOW
W3	89" X 83"	PICTURE	VINYL	LIVING WINDOW 4
W4	89" X 83"	PICTURE	VINYL	LIVING WINDOW 1
W5	89" X 83"	PICTURE	VINYL	LIVING WINDOW 2
W6	89" X 83"	PICTURE	VINYL	LIVING WINDOW 3
W7	71" X 47"	HORIZ SLIDER	VINYL	KITCHEN WINDOW 1
W8	71" X 35"	HORIZ SLIDER	VINYL	KITCHEN WINDOW 2
W9	71" X 47"	HORIZ SLIDER	VINYL	3RD BEDROOM WINDOW
W10	71" X 47"	HORIZ SLIDER	VINYL	BASINENT WINDOW 1
W11	89" X 35"	HORIZ SLIDER	VINYL	BASINENT BED WINDOW
W12	89" X 35"	HORIZ SLIDER	VINYL	BASINENT LAUNDRY WINDOW
W13	71" X 79"	HORIZ SLIDER	VINYL	BASINENT GARAGE WINDOW
D1	3' X 68"	RH	WOOD	FRONT DOOR
D2	77" X 88"	LEFT SLIDING	VINYL	PRIMARY BED SLIDING DOOR
D3	71" X 79"	RIGHT SLIDING	VINYL	KITCHEN SLIDING DOOR



BOTTOM FLOOR



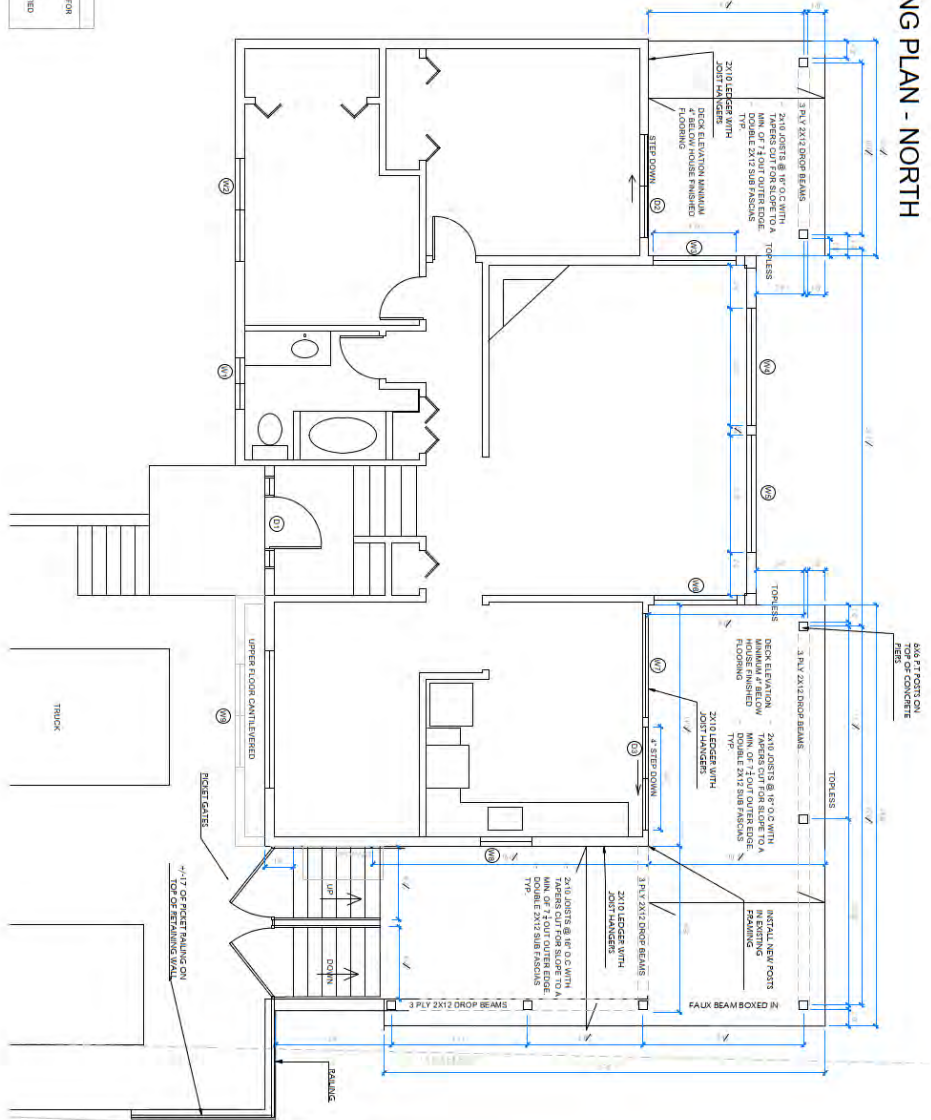
FOUNDATION PLAN  
TOP FLOOR VIEW

<b>A.03</b>	DATE: 6/14/23	DRAWING NAME:	PROJECT:	PROJECT DRAWINGS BY:		NO.	DRAWING	BY	DATE (MM/YY)
	SCALE: 1/8" = 1'-0"	FOUNDATION PLAN AND LOWER LEVEL	S WHITTAKER UCLUELET RESIDENCE	MOMENTUM DESIGN BUILD B-2345 DELINEA PL NANAIMO, BC V9S 5L9					
	DRAWN BY: JL								

Schedule 1 (6 of 7)


FRAMING PLAN - NORTH

NOTES:  
 1. REFER TO PROJECT SPECIFICATIONS FOR  
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 3. REFER TO PROJECT SPECIFICATIONS FOR  
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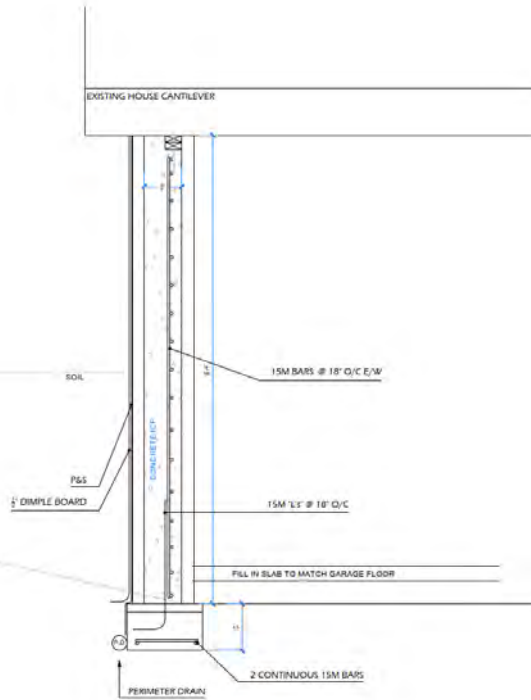
NO.	DRAWING	BY	DATE (MDY)

<b>A.04</b>	DATE: 6/14/23	DRAWING NAME:	PROJECT:	PROJECT DRAWINGS BY:	 <b>MOMENTUM</b> DESIGN   BUILD
	SCALE: 1/4" = 1'-0"	FRAMING PLAN	S WHITTAKER UCLUELET RESIDENCE	MOMENTUM DESIGN BUILD 5-2345 DELFINA PL NANAIMO, BC V9S 5L9	
	DRAWN BY: JL				

Schedule 1 (7 of 7)

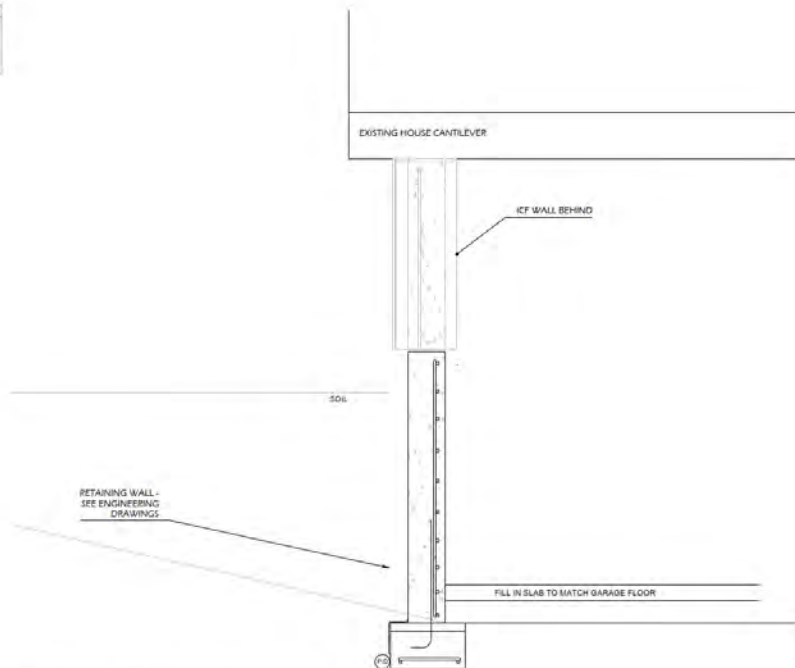
NOTES  
REFER TO PROJECT SPECIFICATIONS FOR  
ADDITIONAL INFORMATION  
CONFIRM WITH PROJECT MANAGER  
BEFORE MAKING CHANGES TO SPECIFIED  
DESIGNS OR PRODUCTS



GARAGE WALL DETAIL - 1

NO.	DRAWING	BY	DATE (MM/DD)
			
PROJECT DRAWINGS BY: MOMENTUM DESIGN BUILD 30-34156 A6A PL. NANAIMO, BC V9S 1J3			
PROJECT: 5 WHITTAKER GARAGE WALL DETAIL RESIDENCE			
DRAWING NAME: GARAGE WALL DETAIL			
DATE: 8/14/23	SCALE: 3/4" = 1'-0"	DRAWN BY: A.	
<b>A.08</b>			

NOTES  
REFER TO PROJECT SPECIFICATIONS FOR  
ADDITIONAL INFORMATION  
CONFIRM WITH PROJECT MANAGER  
BEFORE MAKING CHANGES TO SPECIFIED  
DESIGNS OR PRODUCTS



RETAINING WALL DETAIL - 2

NO.	DRAWING	BY	DATE (MM/DD)
			
PROJECT DRAWINGS BY: MOMENTUM DESIGN BUILD 30-34156 A6A PL. NANAIMO, BC V9S 1J3			
PROJECT: 5 WHITTAKER RETAINING WALL DETAIL RESIDENCE			
DRAWING NAME: RETAINING WALL DETAIL			
DATE: 8/14/23	SCALE: 3/4" = 1'-0"	DRAWN BY: A.	
<b>A.09</b>			

## Schedule 2 (1 of 1)

**Terms and Conditions**

As a condition of the issuance of this Permit, the Permittee representing the Lands hereby to comply with all following Impact Reductions and Mitigation Measures, determined by Qualified Environmental Professional (QEP) as necessary to avoid negative impacts to environmental habitats within and adjacent to the Property.

The following mitigation measures are recommended during construction:

- 1) A construction environmental monitoring plan (CEMP) must be developed and implemented prior to the commencement of the proposed development. The CEMP should include applicable mitigation measures such as:
  - a. Sedimentation and erosion control measures (e.g. Silt fencing)
  - b. Contamination prevention plan
  - c. Prevention of encroachment into the foreshore area by machinery
  - d. Reducing clearing and grubbing of vegetation to the minimum feasible area
  - e. Invasive species management
  - f. Emergency spill response plan
- 2) A revegetation plan should be developed prior to the commencement of the proposed development. The revegetation plan should include:
  - a. The replacement of any shrubs removed at a 3:1 ratio (new shrubs planted should exceed the number of old shrubs).
- 3) Run off from new structures to the ocean should be limited as much as possible:
  - a. The replacement of permeable surfaces with impermeable surfaces should be limited as much as possible. Where impermeable surfaces are created, landscaping should direct water to municipal sewers or French drains.
  - b. The driveway surfaces should be:
    - i. permeable (e.g. gravel), or
    - ii. sloped towards municipal sewers, or
    - iii. an oil/water separator should be installed (District of Ucluelet, OCP E.VII.11.).

Schedule 3 (1 of 13)

Environmental Impact Assessment – 1567 Imperial Lane, Ucluelet




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To: Sid Whittaker	Date: March 22, 2024
From: Warren Fleenor, R.P. Bio	Project: 4 0 2 3
Stephan Boraks, P. Bio	Pages: 13

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RE: Environmental Impact Assessment – 1567 Imperial Lane, Ucluelet BC.

This letter report prepared by Current Environmental Ltd. describes the outcomes of a reconnaissance-level survey to determine potential environmental effects of a renovation proposed at 1567 Imperial Lane in Ucluelet, BC. The proposed development plans for this property are the replacement of a deck, driveway and the construction of a patio area. Specifically, this report satisfies the reporting requirements laid out in *District of Ucluelet Official Community Plan Bylaw No. 1236, 2020<sup>1</sup>*, DPA-VII Environmental Development Permit Areas as the proposed works are within 30 m of the shoreline.

This report is divided into the following categories:

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<sup>1</sup> District of Ucluelet. (2020). Bylaw No. 1236. District of Ucluelet Official Community Plan Bylaw. DPA VII – Environmental Development Permit Areas. pp.131

Schedule 3 (2 of 13)

*Environmental Impact Assessment – 1567 Imperial Lane, Ucluelet*



**1.0 INTRODUCTION**

The property owner at 1567 Imperial Lane in Ucluelet, BC is proposing to renovate and expand a deck and driveway, as well as construct a patio area and path on their lot within 30 m of the shoreline. As per the *District of Ucluelet Official Community Plan Bylaw No. 1236, 2020*<sup>2</sup>, a Qualified Environmental Professional must complete an Assessment Report for any development proposed within 30 m of the shoreline (Development Permit Area VII – Marine Shoreline). This report, completed by Current Environmental Ltd., is intended to satisfy those requirements by identifying how the proposed development may affect aquatic resources and recommend measures to mitigate potential negative impacts.

**1.1 STUDY AREA**

The subject property is located at 1567 Imperial Lane in Ucluelet, BC (PID: 031-828-345). The latitude/longitude coordinates at the center of the property are 48°94'21.9"N 125°54'45.2"W (Figure 1) and the property is approximately 835 m<sup>2</sup> in size. The subject property is bordered by ocean to the north, residential development to the east, commercial development to the south, and undeveloped land to the west. The property is zoned as CS-1 (Commercial Services -1/Village Square Commercial) and was recently purchased by the proponent. Existing developments on the subject property include a residential dwelling, a recently constructed dock, and a gravel driveway (Photos 1-3). Overall, the project location is situated within a modified shoreline area with a prevalence of shorefront development, docks and wharves.



Figure 1. Location of the subject property outlined in red (District of Ucluelet mapping, accessed Nov. 16, 2023)

<sup>2</sup> District of Ucluelet. (2020). Bylaw No. 1236. District of Ucluelet Official Community Plan Bylaw. DPA VII – Environmental Development Permit Areas. pp.131

**Schedule 3 (3 of 13)**

*Environmental Impact Assessment – 1567 Imperial Lane, Ucluelet*



**1.2 PROPOSED DEVELOPMENT**

Proposed development on the subject property includes the replacement and expansion of a deck and driveway, as well as the construction of a path and patio area within 30 m of the shoreline.

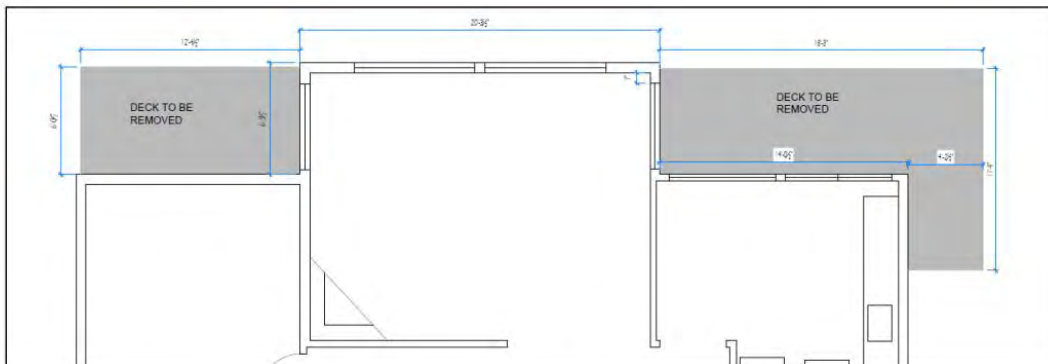
**1.2.1 Second Story Deck Replacement**

The replacement of the deck will involve removal of the old deck, excavation and construction of concrete footing and a load bearing concrete wall, and an increase in the footprint of the deck. The residential building currently has two cantilevered decks that extend off the house into the backyard. The deck on the north-east side of the building wraps around exterior of the building. Both decks have vinyl surfaces and glass railings.



**Photo 1. A photo of the back (north) of the house at 1567 Imperial Lane, with the existing deck.**

The proposed development will involve the removal of the existing decks (Figure 1) followed by installation of new foundations. The foundations will consist of concrete footings to the north of the building, and a concrete wall to the east of the building (Figure 2.).



**Figure 2. Aerial view of the proposed demolition of the existing decks. Drawings provided by Momentum Design Build.**



Schedule 3 (4 of 13)

Environmental Impact Assessment – 1567 Imperial Lane, Ucluelet



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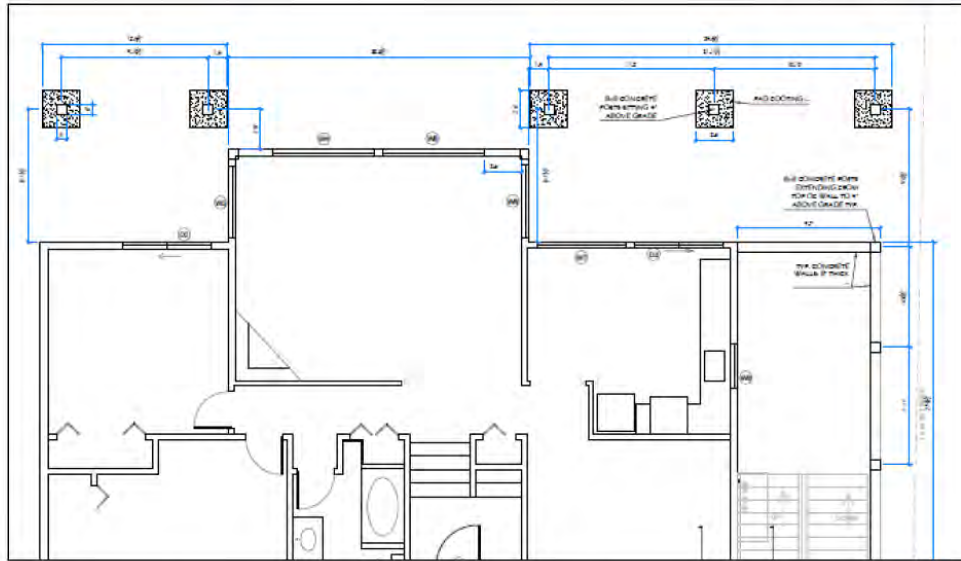


Figure 3. Aerial view of the proposed locations of concrete footings (north) and concrete wall (east) for the foundation. Drawings provided by Momentum Design Build.

The new deck will have a similar footprint on the back of the house, and a new section of deck on the east side of the building. The deck expansion will include a landing and staircase which will connect the deck to the driveway (Figure 4).



Figure 4. Side view of the building and proposed deck expansion. Drawings provided by Momentum Design Build.

**Schedule 3 (5 of 13)**

*Environmental Impact Assessment – 1567 Imperial Lane, Ucluelet*

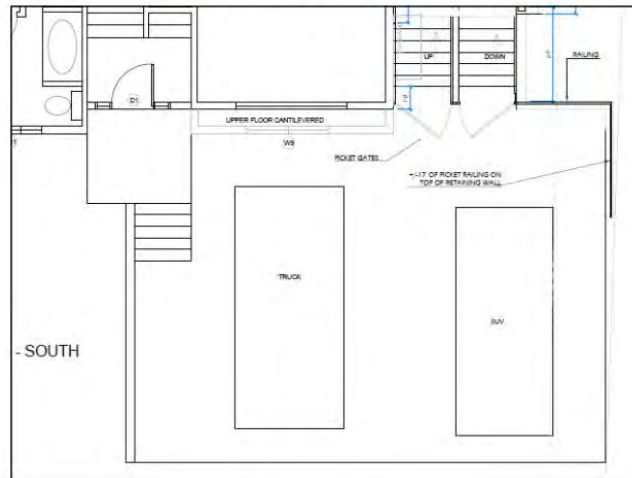
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**1.2.2 Driveway Upgrades**

The existing driveway at 1567 Imperial Lane consists of a sloped (>10%) asphalt lane that leads to a garage door and an adjacent level gravel pad (Photo 2). The proposed development of the driveway includes the removal of the garage door and replacement with a retaining wall. The existing sloped driveway will be filled to be level with Imperial Lane, with no slope towards the home. The driveway is to be finished with a permeable material (likely gravel) and gently sloped towards Imperial Lane (Figure 5).



**Photo 2. A photo of the front of the house at 1567 Imperial Lane, with the existing drive.**



**Figure 5. An arial view of the south of the residence with the footprint of the proposed driveway. Drawings provided by Momentum Design Build.**

**Schedule 3 (6 of 13)**

*Environmental Impact Assessment – 1567 Imperial Lane, Ucluelet*



**1.2.3 Construction of patio and path**

The construction of a patio area and path is planned immediately north of the home, below and adjacent to the proposed second story deck (Figure 6). The proposed patio area is to be approximately 35 m<sup>2</sup> in size and the path to the dock will be approximately 37 m<sup>2</sup>. The patio area and path will require excavation and landscaping of the backyard, including significant alteration to an existing vegetated berm/slope. Both the patio area and path are proposed to remain as permeable surfaces (gravel).



**Figure 6. Proposed gravel patio, path, and deck plans at 1567 Imperial Lane.**

## Schedule 3 (7 of 13)

Environmental Impact Assessment – 1567 Imperial Lane, Ucluelet



## 2.0 RESULTS

A desktop review using online mapping databases was completed and a site visit to the subject property was completed on November 16, 2023. The site visit was conducted by a Qualified Environmental Professional from Current Environmental Ltd.

### 2.3 DESKTOP REVIEW

A desktop review was conducted to identify sensitive species, habitat, or development permit areas relevant to the subject property. A search was conducted for mapped watercourses and wetlands on or near the subject property using the District of Ucluelet Mapping Database (Online GIS Portal), and iMap BC (Data BC). No freshwater water courses or wetlands were identified on or near the subject property.

The Conservation Data Center's iMap was used to search for sensitive species that have been detected near the subject property. Tall woolly-heads (*Psilocarphus elatior*) are a rare and red-listed species of aster that grow in moist meadows and along the sides of paths in the lowland zone. Tall woolly-heads have been detected in Ucluelet with the closest occurrence being approximately 1,100 m from the subject property. Additionally, the northern red-legged frog (*Rana aurora*) is a blue listed amphibian that has been observed as close as 500 m from the subject property.

As per Appendix E (Feb 17, 2021) of the *District of Ucluelet Official Community Plan Bylaw No. 1236, 2020* the proposed works fall within the Shoreline Development Permit Area (Figure 7).

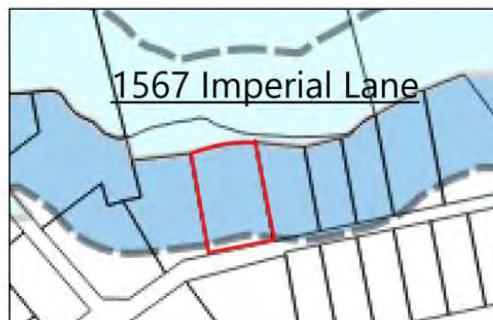


Figure 7. Location of the subject property outlined in red, with the shoreline DPA visualized as a blue polygon extending 30 m from the shoreline (retrieved and adapted from Appendix E, Ucluelet Official Community Plan)

### 2.4 SITE SURVEY

A site survey was conducted by Current Environmental Ltd. (CEL) on November 16, 2023. Existing developments on the subject property include a residential dwelling, a recently installed dock, and a gravel driveway (Photos 1-8). A narrow footpath leads from the existing deck through the shoreline on the eastern edge of the lot.

## Schedule 3 (8 of 13)

Environmental Impact Assessment – 1567 Imperial Lane, Ucluelet



The plant community on the subject property can be divided into two communities: foreshore and upland/backshore. Vegetation in the foreshore consists of patches of slough sedge (*Carex obnupta*), beach dune grass (*Leymus mollis*), and sea asparagus (*Salicornia sp.*) (Photo 6). The lots front the Ucluelet Harbour in an area that has historical and current commercial and industrial use for marine activities. The greater Ucluelet Harbour is known to support dense, productive eelgrass (*Zostera marina*) beds. The upland area between the house and the beach is primarily a maintained lawn and ornamental plants (Photos 4-6). Douglas fir (*Pseudotsuga menziesii*), red cedar (*Thuja plicata*), and red alder (*Alnus rubra*) were identified growing along in the backshore area, as well as a large common juniper (*Juniperus communis*) and a large ornamental rhododendron (Photos 6-8).

Tall woolly-heads and potential amphibian habitat were not found on the subject lot at the time of the assessment.

### 3.0 POTENTIAL IMPACTS

All of the proposed developments are located within the 30-meter Marine Shoreline Development Permit Area. Primary sources of potential harm, during or following construction, to sensitive species and ecosystems within the foreshore and subtidal areas include the following:

- 1) Physical disturbance from construction equipment
- 2) Release of deleterious substances into the aquatic environment (i.e., fuel).
- 3) General impacts to water quality, most likely through increased turbidity (construction).
- 4) Destruction of riparian, shoreline vegetation (access during construction)

### 4.0 MITIGATION MEASURES

The following mitigation measures must be implemented during dock construction:

- 1) A construction environmental monitoring plan (CEMP) must be developed and implemented prior to the commencement of the proposed development. The CEMP should include applicable mitigation measures such as:
  - a) Sedimentation and erosion control measures (e.g. Silt fencing)
  - b) Contamination prevention plan
  - c) Prevention of encroachment into the foreshore area by machinery
  - d) Reducing clearing and grubbing of vegetation to the minimum feasible area
  - e) Invasive species management
  - f) Emergency spill response plan
- 2) A revegetation plan should be developed prior to the commencement of the proposed development. The revegetation plan should include:
  - a) The replacement of any shrubs removed at a 3:1 ratio (new shrubs planted should exceed the number of old shrubs) .
- 3) Run off from new structures to the ocean should be limited as much as possible:

Schedule 3 (9 of 13)

*Environmental Impact Assessment – 1567 Imperial Lane, Ucluelet*



- a) The replacement of permeable surfaces with impermeable surfaces should be limited as much as possible. Where impermeable surfaces are created, landscaping should direct water to municipal sewers or French drains.
- b) The driveway surfaces should be:
  - i) permeable (e.g. gravel), or
  - ii) sloped towards municipal sewers, or
  - iii) an oil/water separator should be installed (District of Ucluelet, OCP E.VII.11.).

**5.0 CONCLUSIONS**

A desktop review and site visit found that no sensitive species or communities exist in the riparian area of the subject lot. As well, the subject property fronts a highly developed and disturbed section of the marine shoreline. Most of the property is encompassed by the shoreline DPA. Given that the subject property is highly modified, and the proposed development is of relatively low impact, the proposed development is unlikely to cause significant harm to the shoreline ecosystems.

A CEMP which addresses the environmental risks of the construction project should be developed and implemented prior to the start of construction. New construction should have permeable surfaces wherever possible to reduce surficial runoff into the ocean. Wherever possible, drainage should be directed to the municipal sewers or French drains. Vegetation that is removed during construction should be replaced prior to the completion of the proposed development.

**6.0 CLOSURE**

We trust this assessment has satisfied your requirements. Please contact the undersigned if you have any queries.



Warren Fleenor, R.P.Bio.



Stephan Boraks P. Bio. &

**7.0 DISCLAIMER**

This report was prepared exclusively for Sid Whittaker. The quality of information, conclusions and estimates contained herein is consistent with the level of effort expended and is based on: i) information available at the time of preparation; ii) data collected by the authors and/or supplied by outside sources; and iii) the assumptions, conditions and qualifications set forth in this report. This report is intended to be used by Sid Whittaker and regulators only; subject to the terms and conditions of their contract or understanding with Current Environmental. Other use or reliance on this report by any third party is at that party's sole risk.

Schedule 3 (10 of 13)

*Environmental Impact Assessment – 1567 Imperial Lane, Ucluelet*

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**8.0 PHOTOS**



**Photo 3.** Photo of 1567 Imperial Lane showing the east side of the residence. (November 16, 2023)

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*Environmental Impact Assessment – 1567 Imperial Lane, Ucluelet*

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**Photo 4.** Photo of 1567 Imperial Lane showing the north-east side of the residence and the backyard, (November 16, 2023)



**Photo 5.** Photo of 1567 Imperial Lane showing the north side of the residence and the backyard, (November 16, 2023)



Schedule 3 (12 of 13)

*Environmental Impact Assessment – 1567 Imperial Lane, Ucluelet*

*current*  
ENVIRONMENTAL 

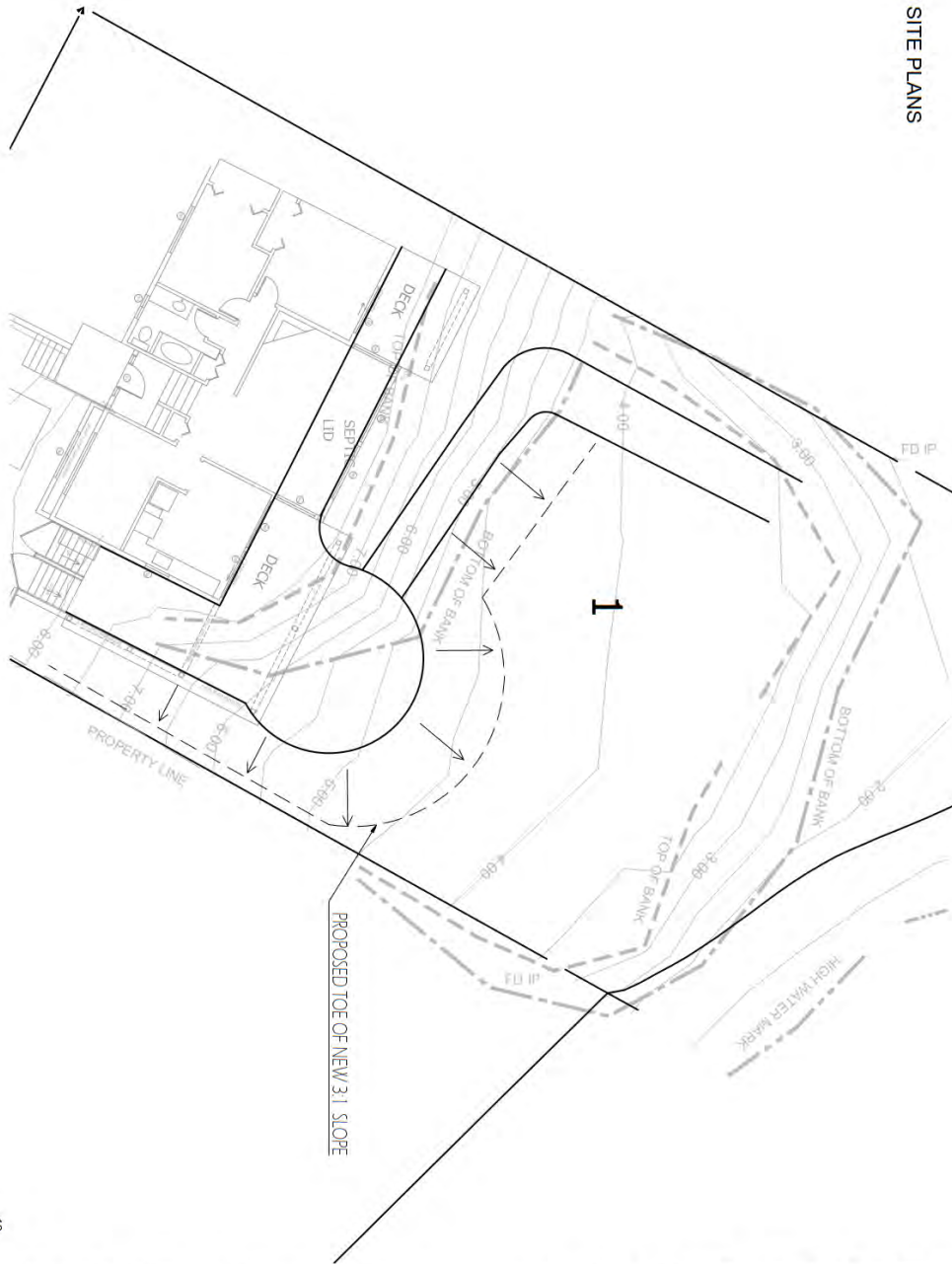
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**Photo 6.** Photo of the foreshore of 1567 Imperial Lane showing beach dune grass and sea asparagus. Red alder, red cedar and Douglas-fir are shown growing along the shoreline. The north side of the residence can be seen in the distance. (November 16, 2023)

**Schedule 3 (13 of 13)**

**9.0 SITE PLANS**



13

<b>L.01</b>	DATE: 2/1/24	DRAWING NAME:	PROJECT:	PROJECT DRAWINGS BY:		NO.	DRAWING	BY	DATE (MO/Y)
	SCALE: 3/32" = 1'-0"	SITE PLAN & LANDSCAPE CONCEPT	S WHITTAKER UCLUELET RESIDENCE	MOMENTUM DESIGN BUILD B-2345 DELINEA PL NANAIMO, BC V9S 5L9					
	DRAWN BY: JL								

## DEVELOPMENT VARIANCE PERMIT DVP24-02

Pursuant to section 498 of the Local Government Act, R.S.B.C 2015 C.1 as amended:

1. This Development Variance Permit is issued to:

**Sidney Whittaker and Susan Whittaker, 1567 Imperial Lane, Ucluelet, BC, V0R 3A0**  
(the "Owner")

2. This Development Variance Permit applies to, and only to, those lands within the District of Ucluelet described below, and the buildings, structures, and other development thereon:

**1567 Imperial Lane; PID 031828345, Lot 1, Plan EPP124154, District Lot 282, Clayoquot Land District** (the "Land")

3. The work authorized by this Permit may only be carried out:
  - a. in compliance with the requirements of the *District of Ucluelet Zoning Bylaw No. 1160, 2013*, except where specifically varied or supplemented by this development variance permit; and
  - b. in compliance with all federal, provincial, and municipal statutes, regulations, and bylaws.
4. This permit authorizes the following variances to *District of Ucluelet Zoning Bylaw No. 1160, 2013*, specific to the plans and elevations attached as **Schedule A**:

- 1. A Side Yard Setback of 0m whereas section R-1.6.1(1)(c) of the zoning bylaw indicates a minimum of 1.5m.**

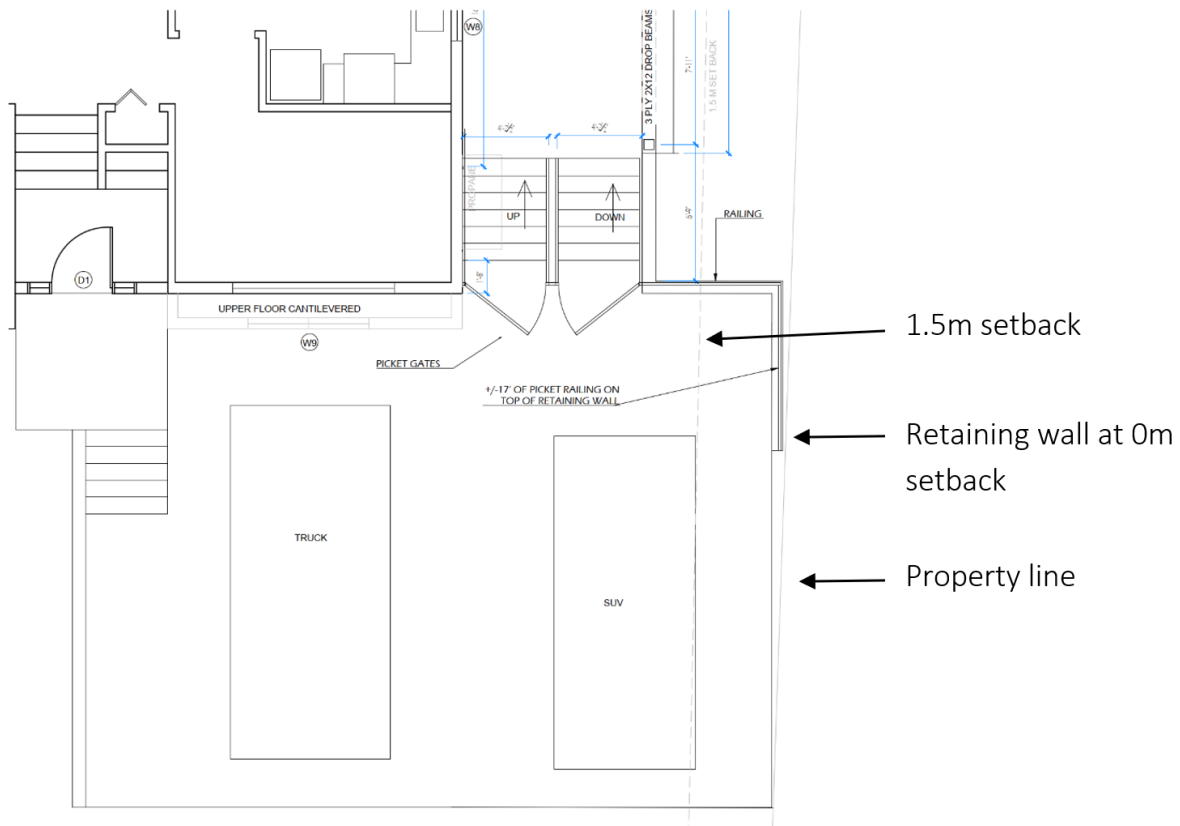
5. The above variances are granted for the proposed addition to the existing single-family dwelling as shown on **Schedule A**.
6. The above variance is granted for the proposed structures and use of the land as shown on **Schedule A**. Should the buildings be later removed or destroyed, this Development Variance Permit shall cease to apply and the zoning bylaw requirements in effect at the time shall apply.
7. The Owner shall substantially commence the development within 24 months of the date of issuance, after which this permit shall be null and void.
8. Notice shall be filed in the Land Title Office under Section 503 of the Local Government Act, and upon such filing, the terms of this Permit or any amendment hereto shall be binding upon all persons who acquire an interest in the land affected by this Permit.
9. This Permit is NOT a Building Permit.

**AUTHORIZING RESOLUTION** passed by the Municipal Council on the <sup>th</sup> day of , 2024.

**ISSUED** the <sup>th</sup> day of , 2024.

\_\_\_\_\_  
 Bruce Greig  
 Director of Community Planning

**SCHEDULE A**



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To: Sid Whittaker  
From: Warren Fleenor, R.P. Bio  
Stephan Boraks, P. Bio

Date: March 22, 2024  
Project: 4 0 2 3  
Pages: 13

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RE: Environmental Impact Assessment – 1567 Imperial Lane, Ucluelet BC.

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<sup>1</sup> District of Ucluelet. (2020). Bylaw No. 1236. District of Ucluelet Official Community Plan Bylaw. DPA VII – Environmental Development Permit Areas. pp.131

## 1.0 INTRODUCTION

The property owner at 1567 Imperial Lane in Ucluelet, BC is proposing to renovate and expand a deck and driveway, as well as construct a patio area and path on their lot within 30 m of the shoreline. As per the *District of Ucluelet Official Community Plan Bylaw No. 1236, 2020*<sup>2</sup>, a Qualified Environmental Professional must complete an Assessment Report for any development proposed within 30 m of the shoreline (Development Permit Area VII – Marine Shoreline). This report, completed by Current Environmental Ltd., is intended to satisfy those requirements by identifying how the proposed development may affect aquatic resources and recommend measures to mitigate potential negative impacts.

### 1.1 STUDY AREA

The subject property is located at 1567 Imperial Lane in Ucluelet, BC (PID: 031-828-345). The latitude/longitude coordinates at the center of the property are 48°94'21.9"N 125°54'45.2"W (Figure 1) and the property is approximately 835 m<sup>2</sup> in size. The subject property is bordered by ocean to the north, residential development to the east, commercial development to the south, and undeveloped land to the west. The property is zoned as CS-1 (Commercial Services -1/Village Square Commercial) and was recently purchased by the proponent. Existing developments on the subject property include a residential dwelling, a recently constructed dock, and a gravel driveway (Photos 1-3). Overall, the project location is situated within a modified shoreline area with a prevalence of shorefront development, docks and wharves.



Figure 1. Location of the subject property outlined in red (District of Ucluelet mapping, accessed Nov. 16, 2023)

<sup>2</sup> District of Ucluelet. (2020). Bylaw No. 1236. District of Ucluelet Official Community Plan Bylaw. DPA VII – Environmental Development Permit Areas. pp.131

## 1.2 PROPOSED DEVELOPMENT

Proposed development on the subject property includes the replacement and expansion of a deck and driveway, as well as the construction of a path and patio area within 30 m of the shoreline.

### 1.2.1 Second Story Deck Replacement

The replacement of the deck will involve removal of the old deck, excavation and construction of concrete footing and a load bearing concrete wall, and an increase in the footprint of the deck. The residential building currently has two cantilevered decks that extend off the house into the backyard. The deck on the north-east side of the building wraps around exterior of the building. Both decks have vinyl surfaces and glass railings.



Photo 1. A photo of the back (north) of the house at 1567 Imperial Lane, with the existing deck.

The proposed development will involve the removal of the existing decks (Figure 1) followed by installation of new foundations. The foundations will consist of concrete footings to the north of the building, and a concrete wall to the east of the building (Figure 2.).

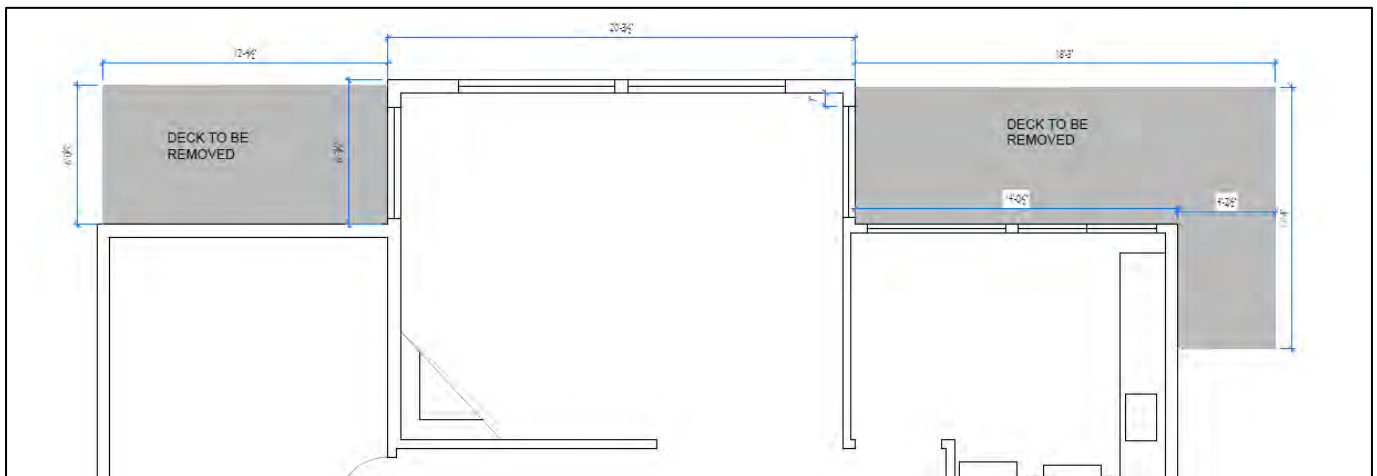
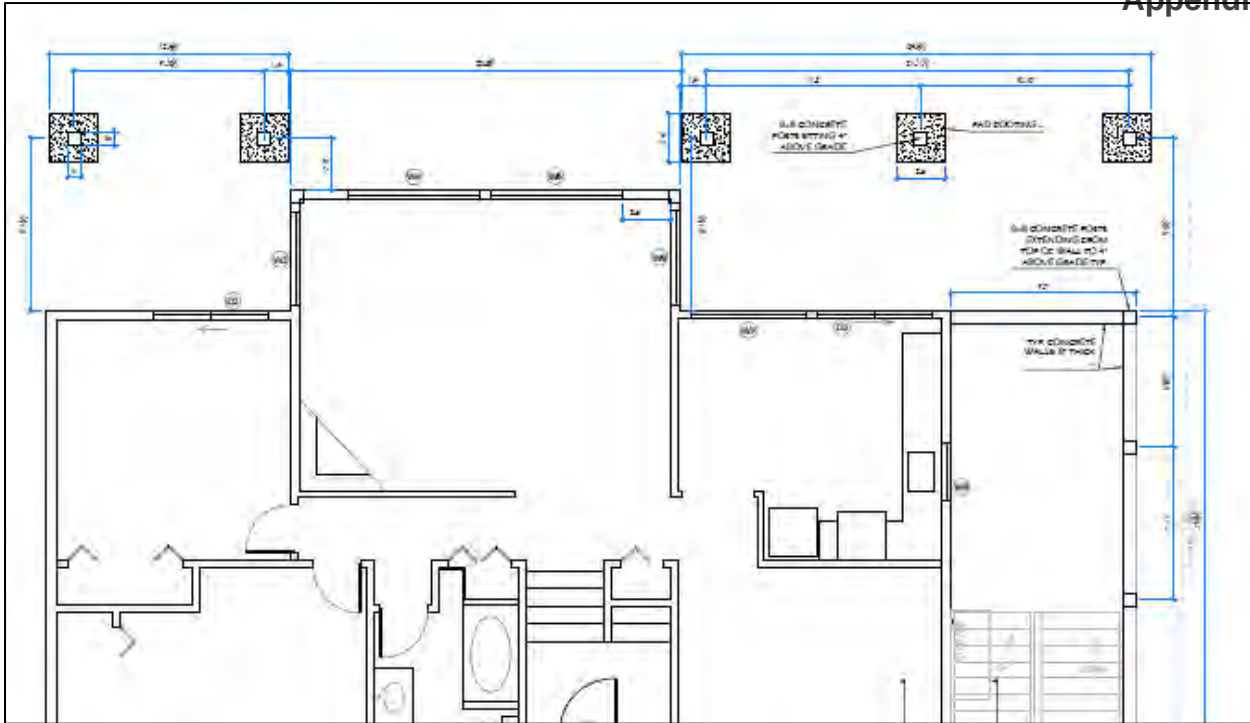


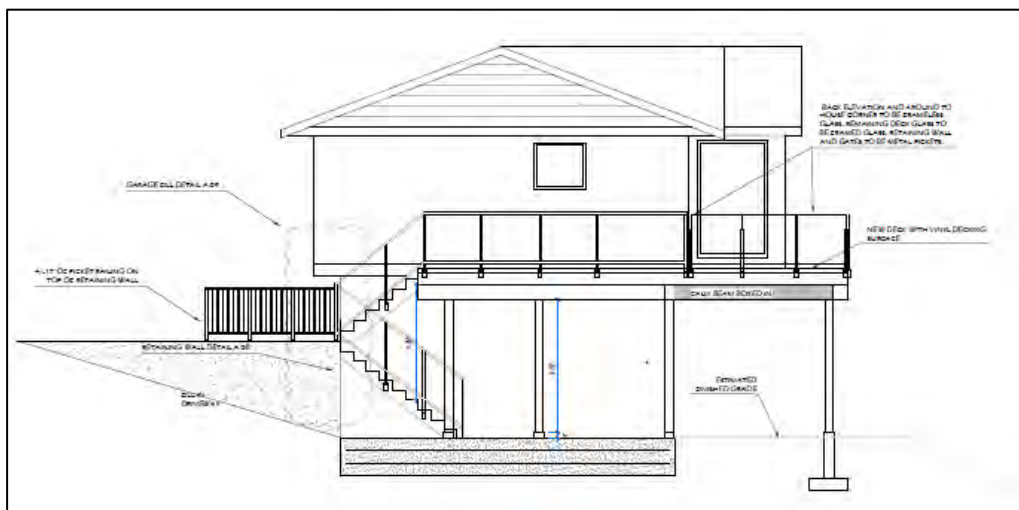
Figure 2. Aerial view of the proposed demolition of the existing decks. Drawings provided by Momentum Design Build.

**Appendix E**



**Figure 3. Aerial view of the proposed locations of concrete footings (north) and concrete wall (east) for the foundation. Drawings provided by Momentum Design Build.**

The new deck will have a similar footprint on the back of the house, and a new section of deck on the east side of the building. The deck expansion will include a landing and staircase which will connect the deck to the driveway (Figure 4).



**Figure 4. Side view of the building and proposed deck expansion. Drawings provided by Momentum Design Build.**



### 1.2.2 Driveway Upgrades

The existing driveway at 1567 Imperial Lane consists of a sloped (>10%) asphalt lane that leads to a garage door and an adjacent level gravel pad (Photo 2). The proposed development of the driveway includes the removal of the garage door and replacement with a retaining wall. The existing sloped driveway will be filled to be level with Imperial Lane, with no slope towards the home. The driveway is to be finished with a permeable material (likely gravel) and gently sloped towards Imperial Lane (Figure 5).



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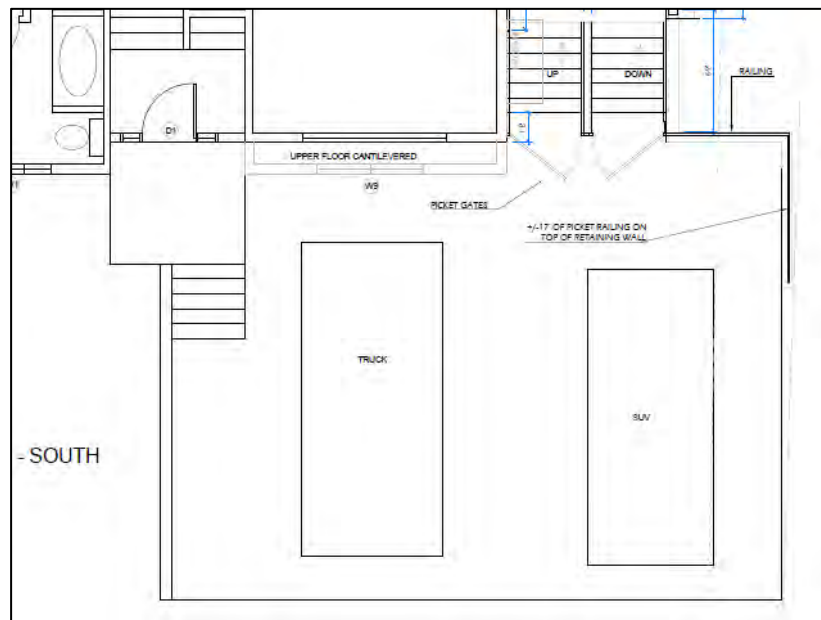
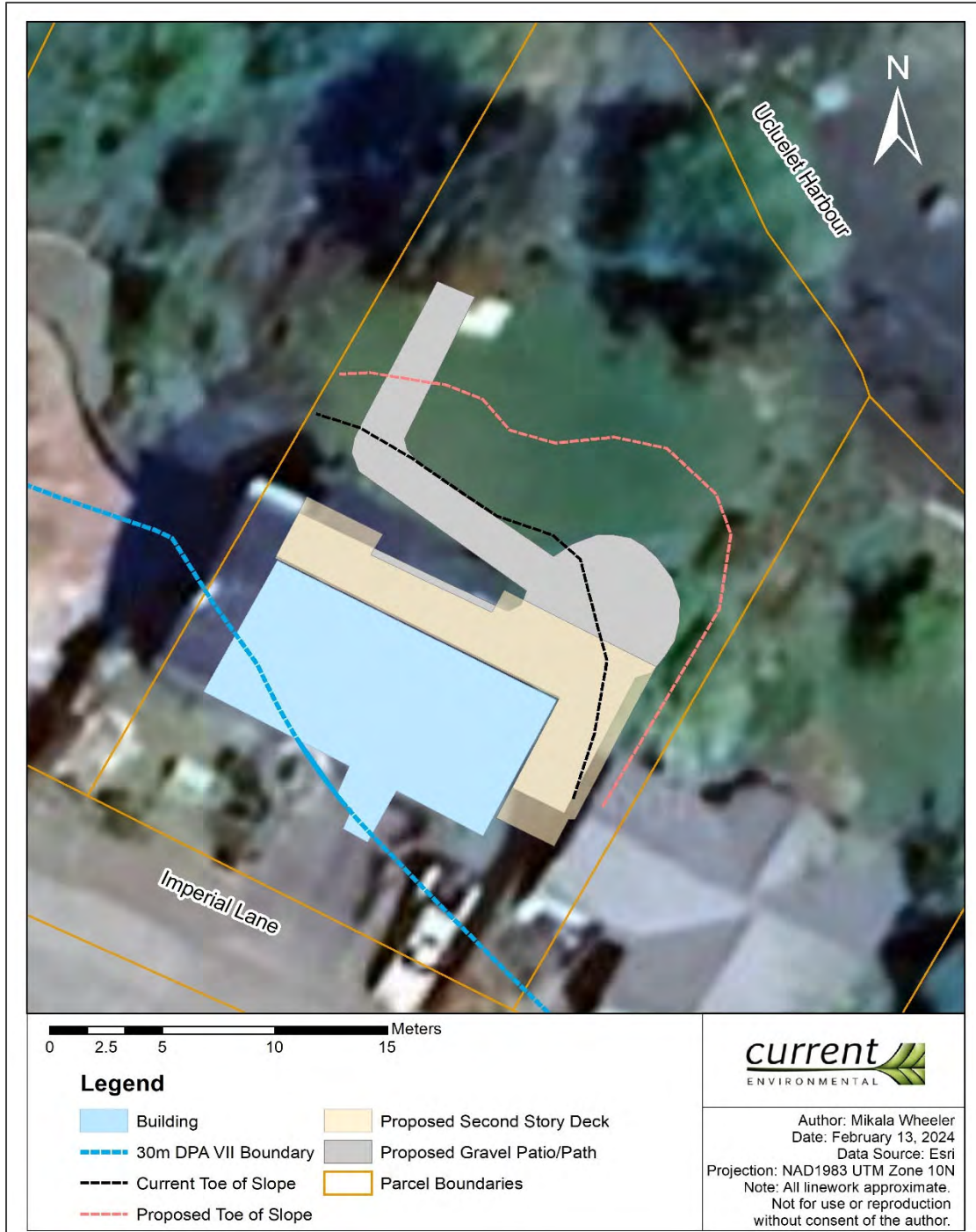


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**Figure 6. Proposed gravel patio, path, and deck plans at 1567 Imperial Lane.**

## 2.0 RESULTS

A desktop review using online mapping databases was completed and a site visit to the subject property was completed on November 16, 2023. The site visit was conducted by a Qualified Environmental Professional from Current Environmental Ltd.

### 2.3 DESKTOP REVIEW

A desktop review was conducted to identify sensitive species, habitat, or development permit areas relevant to the subject property. A search was conducted for mapped watercourses and wetlands on or near the subject property using the District of Ucluelet Mapping Database (Online GIS Portal), and iMap BC (Data BC). No freshwater water courses or wetlands were identified on or near the subject property.

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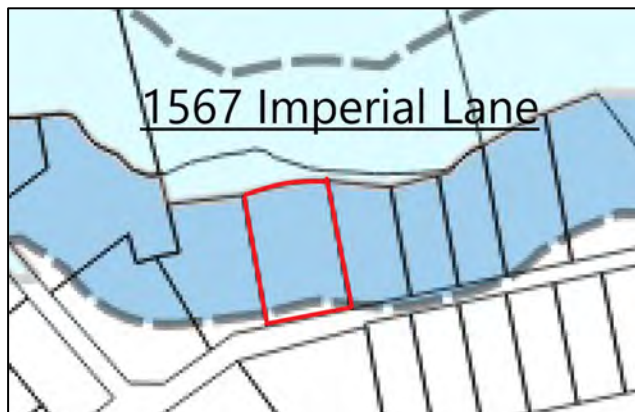


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### 2.4 SITE SURVEY

A site survey was conducted by Current Environmental Ltd. (CEL) on November 16, 2023. Existing developments on the subject property include a residential dwelling, a recently installed dock, and a gravel driveway (Photos 1-8). A narrow footpath leads from the existing deck through the shoreline on the eastern edge of the lot.

The plant community on the subject property can be divided into two communities: foreshore and upland/backshore. Vegetation in the foreshore consists of patches of slough sedge (*Carex obnupta*), beach dune grass (*Leymus mollis*), and sea asparagus (*Salicornia sp.*) (Photo 6). The lots front the Ucluelet Harbour in an area that has historical and current commercial and industrial use for marine activities. The greater Ucluelet Harbour is known to support dense, productive eelgrass (*Zostera marina*) beds. The upland area between the house and the beach is primarily a maintained lawn and ornamental plants (Photos 4-6). Douglas fir (*Pseudotsuga menziesii*), red cedar (*Thuja plicata*), and red alder (*Alnus rubra*) were identified growing along in the backshore area, as well as a large common juniper (*Juniperus communis*) and a large ornamental rhododendron (Photos 6-8).

Tall woolly-heads and potential amphibian habitat were not found on the subject lot at the time of the assessment.

### 3.0 POTENTIAL IMPACTS

All of the proposed developments are located within the 30-meter Marine Shoreline Development Permit Area. Primary sources of potential harm, during or following construction, to sensitive species and ecosystems within the foreshore and subtidal areas include the following:

- 1) Physical disturbance from construction equipment
- 2) Release of deleterious substances into the aquatic environment (i.e., fuel).
- 3) General impacts to water quality, most likely through increased turbidity (construction).
- 4) Destruction of riparian, shoreline vegetation (access during construction)

### 4.0 MITIGATION MEASURES

The following mitigation measures must be implemented during dock construction:

- 1) A construction environmental monitoring plan (CEMP) must be developed and implemented prior to the commencement of the proposed development. The CEMP should include applicable mitigation measures such as:
  - a) Sedimentation and erosion control measures (e.g. Silt fencing)
  - b) Contamination prevention plan
  - c) Prevention of encroachment into the foreshore area by machinery
  - d) Reducing clearing and grubbing of vegetation to the minimum feasible area
  - e) Invasive species management
  - f) Emergency spill response plan
- 2) A revegetation plan should be developed prior to the commencement of the proposed development. The revegetation plan should include:
  - a) The replacement of any shrubs removed at a 3:1 ratio (new shrubs planted should exceed the number of old shrubs) .
- 3) Run off from new structures to the ocean should be limited as much as possible:

- a) The replacement of permeable surfaces with impermeable surfaces should be limited as much as possible. Where impermeable surfaces are created, landscaping should direct water to municipal sewers or French drains.
- b) The driveway surfaces should be:
  - i) permeable (e.g. gravel), or
  - ii) sloped towards municipal sewers, or
  - iii) an oil/water separator should be installed (District of Ucluelet, OCP E.VII.11.).

## 5.0 CONCLUSIONS

A desktop review and site visit found that no sensitive species or communities exist in the riparian area of the subject lot. As well, the subject property fronts a highly developed and disturbed section of the marine shoreline. Most of the property is encompassed by the shoreline DPA. Given that the subject property is highly modified, and the proposed development is of relatively low impact, the proposed development is unlikely to cause significant harm to the shoreline ecosystems.

A CEMP which addresses the environmental risks of the construction project should be developed and implemented prior to the start of construction. New construction should have permeable surfaces wherever possible to reduce surficial runoff into the ocean. Wherever possible, drainage should be directed to the municipal sewers or French drains. Vegetation that is removed during construction should be replaced prior to the completion of the proposed development.

## 6.0 CLOSURE

We trust this assessment has satisfied your requirements. Please contact the undersigned if you have any queries.



Warren Fleenor, R.P.Bio.

A handwritten signature in black ink, appearing to read "Stephan Boraks".

Stephan Boraks P. Bio. &

## 7.0 DISCLAIMER

This report was prepared exclusively for Sid Whittaker. The quality of information, conclusions and estimates contained herein is consistent with the level of effort expended and is based on: i) information available at the time of preparation; ii) data collected by the authors and/or supplied by outside sources; and iii) the assumptions, conditions and qualifications set forth in this report. This report is intended to be used by Sid Whittaker and regulators only; subject to the terms and conditions of their contract or understanding with Current Environmental. Other use or reliance on this report by any third party is at that party's sole risk.

**8.0 PHOTOS**



**Photo 3.** Photo of 1567 Imperial Lane showing the east side of the residence. (November 16, 2023)



**Photo 4.** Photo of 1567 Imperial Lane showing the north-east side of the residence and the backyard, (November 16, 2023)



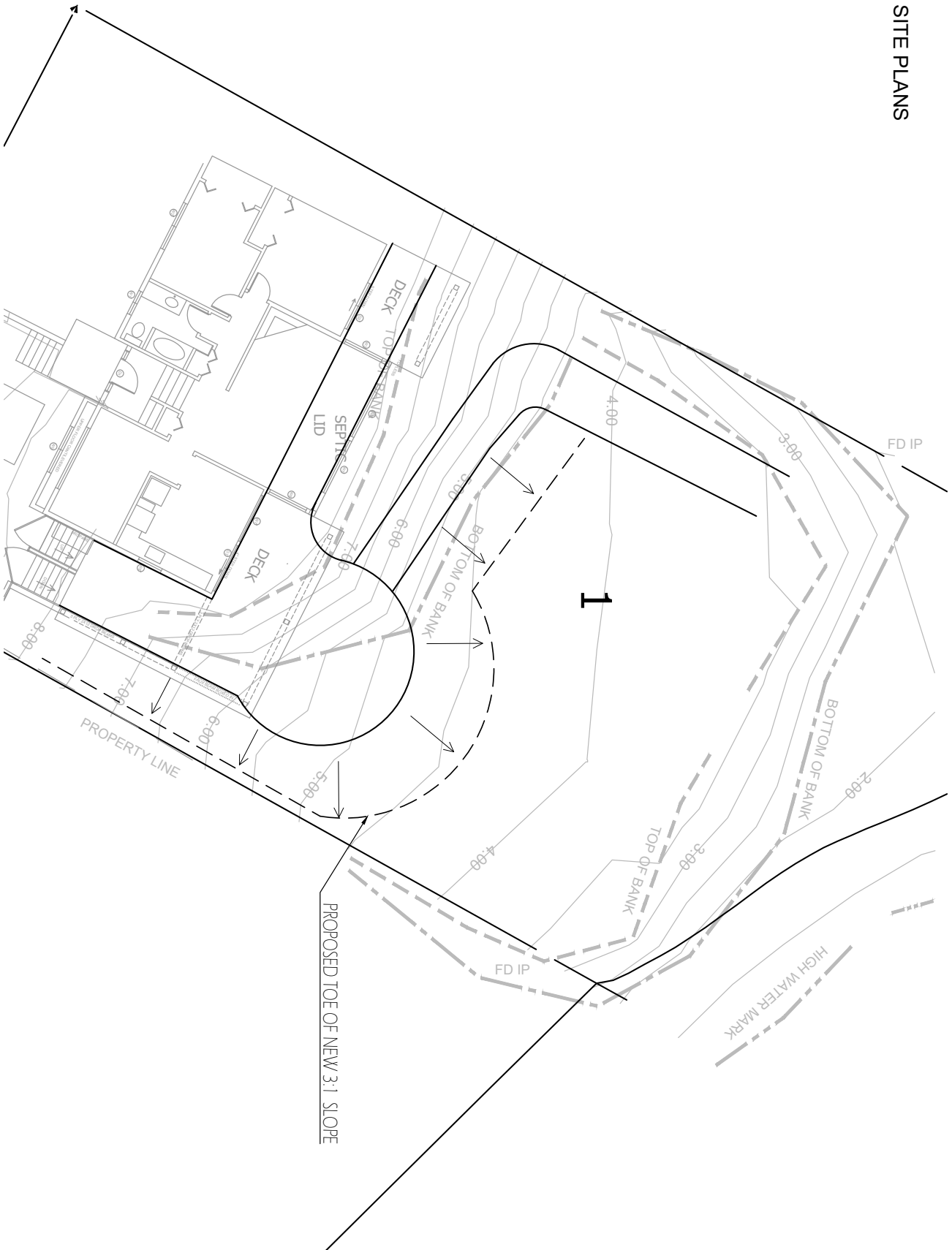
**Photo 5.** Photo of 1567 Imperial Lane showing the north side of the residence and the backyard, (November 16, 2023)




**Photo 6.** Photo of the foreshore of 1567 Imperial Lane showing beach dune grass and sea asparagus. Red alder, red cedar and Douglas-fir are shown growing along the shoreline. The north side of the residence can be seen in the distance. (November 16, 2023)



Appendix E  
9.0 SITE PLANS



<b>L.01</b>	DATE: 2/1/24	DRAWING NAME:	PROJECT:	PROJECT DRAWINGS BY:		NO.	DRAWING	BY	DATE (MIDYY)
	SCALE: 3/32" = 1'-0"	SITE PLAN & LANDSCAPE CONCEPT	S WHITTAKER UCLUELET RESIDENCE	MOMENTUM DESIGN BUILD B-2345 DELINEA PL NANAIMO, BC V9S 5L9					
	DRAWN BY: JL								

**RYZUK GEOTECHNICAL**  
Engineering & Materials Testing

#6-40 Cadillac Ave, Victoria, BC, V8Z 1T2 Tel: 250-475-3131 E-mail: mail@ryzuk.com www.ryzuk.com

Date: March 20, 2024  
File No: 12004-1

Sid Whittaker - Hazelwood Group  
202-572 Stewart Ave  
Nanaimo, BC  
V9S 5T5

Attn: Hazen Fowler (By E-mail: hazen.fowler@hazelwood.ca)

Re: Geotechnical Assessment  
1567 Imperial Lane – Ucluelet, BC

As requested, we attended the referenced site on February 16, 2024, to assess the geotechnical conditions as they relate to the safe use of the property. This report supersedes our previously submitted report of March 8, 2024. The site is designated as a Development Permit Area (DPA) VIII – Natural Hazard Areas Protection (Steep Slopes) in accordance with the District of Ucluelet Official Community Plan (OCP). We understand that a permit exemption may be granted for development within a steep slope area if a geotechnical report has been received in conjunction with an application for a building permit or subdivision approval. Our associated observations, comments, and recommendations in this regard are contained herein. Our work has been carried out in accordance with, and is subject to, the previously accepted Terms of Engagement.

### Existing Conditions

The waterfront site is located in a mixed-use area of Ucluelet, BC, and is bounded by the foreshore of Ucluelet Inlet to the north, single-family residential lots to the east, Imperial Lane to the south, and a vacant lot to the west. Topographically, the site generally slopes downward from Imperial Lane in the south towards the foreshore in the north, with a total vertical relief of up to 10 m across the site. Based on the provided survey drawings and field observations, the site is generally inclined at 10 to 15 degrees below horizontal, with locally steeper areas/benches inclined at 25 to 35 degrees, adjacent to the residence along the north and west sides. The site is vegetated with a few mature trees near the foreshore and some landscaped areas surrounding the residence, as well as a paved parking area in the south.

We understand that it is intended to complete minor renovations to the existing property, including replacing the deck structure of the existing residence, constructing a small concrete retaining wall to the west of the residence, replacing and expanding the parking area, as well as minor terrain levelling and adding some hard- and landscaped areas to the north and west of the residence. We further understand that the existing interior floor areas will not be expanded or raised/lowered. We anticipate that the new deck structure and retaining wall will be supported by conventional shallow concrete spread footings. See the attached Site Plan, prepared by Momentum Design Build, for reference.

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## Geotechnical Assessment and Recommendations

During our site attendance, we advanced 5 shallow test holes across the site using a hand auger to depths of up to 0.5 m. Three holes were advanced into native soils; two within the lower lawn area below the residence (near the foreshore) and one in the upper lawn area above the residence (near Imperial Lane). Two holes were also located within the steeper embankment immediately to the north of the residence. The subsurface stratigraphy noted within the former three holes generally consisted of up to 50 mm of organic/topsoil material, atop native dense to very dense brown sand and gravel. The stratigraphy within the latter two holes consisted of up to 0.1 m of non-select fills and organics, atop compact to dense silty/sandy gravel (inferred fill). The native soils encountered within our test holes are generally consistent with geological mapping and our historical file information of the surrounding area.

No indications of seepage were observed within the general site area, and no ponded water was observed in any of the test holes. While bedrock was not encountered within any of the test holes, bedrock outcrops were observed locally within the foreshore area and near the northern property line, as well as near the southwest corner of the site. We would anticipate bedrock to exist at relatively shallow depths beneath the site.

No indications of previous soil sloughing or creep were noted across the site, and there was no evidence of past shallow instability apart from minor erosion/sloughing of surficial soils. Such erosion typically occurs near areas of high foot traffic and during saturated conditions, where organic and weathered soils displace from upslope areas. No indication of deep-seated slope instability was apparent in the assessed areas at the time of our visit. As such, and given the general geological conditions of the assessed area – that being gentle to moderate sloping terrain generally comprising dense sand and gravels atop inferred shallow bedrock – we consider the site to be globally stable.

During our visual assessment, we did not note any significant ponding or watercourses in or around the site, and we do not anticipate the proposed development to be at a significant risk of flooding due to overland flow.

We expect that the proposed retaining wall and new deck structure will be founded upon the observed native dense brown sand and gravel or exposed bedrock. Topsoil or fill materials are not considered suitable for support of new foundation elements, and all organic soils, non-select fills, or disturbed soils should be removed prior to placing footings or before recovering grade with engineered fill.

Engineered fill should comprise approved, well-graded free-draining select granular material, and should be placed in maximum 300 mm lifts and compacted to at least 95% of the Standard Proctor Maximum Dry Density (SPMDD) value. Engineered fill placed beneath foundations must have a footprint that extends horizontally beyond the footings at a distance equal to the thickness of the engineered fill to provide adequate splay for foundation loads and must be laterally confined to prevent particle migration. Engineered fill, if/where required, must be placed upon approved, native subgrade. Note that subgrade bearing conditions and placement/compaction of engineered fill should be reviewed by a qualified geotechnical professional at the time of construction.

For preliminary design purposes, based on the observed and expected soil conditions at foundation depths, footings can be dimensioned based on Serviceability Limit State (SLS) and Ultimate Limit State (ULS) bearing resistances of 100 kPa and 150 kPa, respectively. The noted Limit State Design

(LSD) values use a geotechnical resistance factor of 0.5 as per the current CFEM guidelines. We recommend minimum footing widths of 400 mm and 600 mm for strip and pad footings, respectively, and all foundations should be placed at least 450 mm below the finished grade to provide adequate frost protection.

Gravel or other permeable surfacing is expected to be the preferred option for the new parking area of the residence. For general light traffic and parking areas, a driving structure consisting of at least 150 mm of 19 mm minus crushed base course overlying at least 300 mm of 75 mm minus crushed rock subbase is recommended, properly placed and compacted atop approved subgrade. Prior to driveway construction, any deleterious or unsuitable soils should be removed from the area.

The final grade at the site should be sloped to direct surface water away from the building and foundation areas. Furthermore, we consider that all surface vegetation, including all trees, shrubs, and grass, can be removed from building areas without causing undue erosion, provided that any permanent sloping areas are revegetated following building construction.

We expect that surface runoff volumes from landscaped areas would generally be maintained, being similar to the existing conditions. Construction should be carried out with care to minimize disturbance to soils within sloping areas. Excavation and/or trucking activities during heavy rain should be avoided, and frequent street cleaning may be necessary to remove any substantial accumulation of soils within the road surface during off-site removal of waste soils. Temporary dewatering may be required during construction, and care should be taken to ensure that sediment-laden water is diverted to a filtration area and treated to remove sediment prior to disposal. Disposed water should not be diverted in a concentrated manner towards sloping terrain or the foreshore.

#### Closure

In summary, and provided the above recommendations are followed, we consider the development, as proposed, to be feasible from a geotechnical perspective, while maintaining conformance with the OCP. We also confirm that the land may be used safely for the use intended, as described above, pursuant to Section 56 of the BC *Community Charter*. Our assessment considers a design seismic occurrence with a 2% probability of exceedance in 50 years. Finally, Ryzuk Geotechnical acknowledges that the District may review this report prior to making land development decisions.

We trust the preceding is suitable for your purposes at present. If you have any questions with respect to the above, please contact our office.

Sincerely,  
Ryzuk Geotechnical  
PTPN: 1002996



Remy Kennedy-Kuiper, EIT  
Advanced Junior Engineer



Shane Moore, P. Geo.  
Senior Geoscientist  
President

Attachments: Momentum Site Plan