



**REGULAR MEETING OF COUNCIL  
Tuesday, July 18, 2023 @ 4:00 PM  
Ucluelet Community Centre  
500 Matterson Drive, Ucluelet**

**AGENDA**

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1. CALL TO ORDER	
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1.2 NOTICE OF VIDEO RECORDING Audience members and delegates are advised that this proceeding is being video recorded and broadcast on YouTube and Zoom, which may store data on foreign servers.	
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11.4	Councillor Mark Maftei <i>Deputy Mayor, October 1 - December 31, 2023</i>	
11.5	Mayor Marilyn McEwen	

12. QUESTION PERIOD

13. ADJOURNMENT



**DISTRICT OF UCLUELET**  
**MINUTES OF THE COMMITTEE OF THE WHOLE MEETING**  
**HELD IN THE UCLUELET COMMUNITY CENTRE, 500 MATTERSON DRIVE**  
**Tuesday, June 20, 2023 at 4:00 PM**

Present:      **Chair:**            Mayor McEwen  
                  **Council:**        Councillors Hoar, Kennington, and Maftei  
                  **Staff:**                Duane Lawrence, Chief Administrative Officer  
                                     Samantha McCullough, Executive Assistant

Regrets:        Councillor Anderson

**1. CALL TO ORDER**

The June 20, 2023 Committee of the Whole Meeting was called to order at 4:01 PM.

**1.1 ACKNOWLEDGEMENT OF THE YUULU?IŁ?ATH**  
**Council acknowledged the Yuulu?ił?ath, on whose traditional territories the District of Ucluelet operates.**

**1.2 NOTICE OF VIDEO RECORDING**  
**Audience members and delegates were advised that this proceeding was being video recorded and broadcast on YouTube and Zoom, which may store data on foreign servers.**

**2. LATE ITEMS**

There were no late items.

**3. APPROVAL OF THE AGENDA**

**3.1 June 20, 2023 Committee of the Whole - Societies Agenda**

2023.2024.COW      *It was moved and seconded **THAT** the June 20, 2023 Committee of the Whole Meeting Agenda be approved as presented.*

CARRIED.

**4. DELEGATIONS**

**4.1 Westcoast Inland Search and Rescue**  
***Marcie Dewitt, President and Search Manager***

Ms. Dewitt described the spring season for Westcoast Inland Search and Rescue. WISR is conducting a new intake of volunteers this summer and fall, including a 90 hour training program. There are approximately 10-15 active members.

**4.2 Alberni Clayoquot Health Network**

***Marcie Dewitt, Coordinator***

Ms. Dewitt provided an overview of the Health Network's regional programs such as their transportation initiatives, poverty reduction work, and funding advocacy. The Health Network plans to conduct a needs assessment for medical transportation to services outside the Tofino/Ucluelet region.

**4.3 Coastal Family Resource Coalition Presentation**  
***Faye Missar***

The upcoming Coastal Family Resource Coalition meeting will be held in-person in September. Ms. Missar outlined the Coalition's Holistic Healing Centre Project and noted the need for letters. The Coalition is reviewing the need for a substance checking centre in Tofino.

The Committee discussed the Substance Use Research Centre at the University of Victoria.

**4.4 Westcoast Community Resources Society Presentation**  
***Jill McQuaid, Housing Manager***

Ms. McQuaid described the Society's programming and noted grant funding received from Clayoquot Biosphere Trust to provide critical incident stress debriefing training. Ms. McQuaid also discussed the Society's involvement in the the District's rapid housing initiative.

**4.5 CARE Network Presentation**  
***James Rodgers, Executive Director***

The CARE Network did not present.

**4.6 Wild Pacific Trail Society Presentation**  
***Joshua McCullough, Trail Naturalist***

Mr. McCullough described programming offered by the Society and outlined ongoing partnerships with other organizations. The Wild Pacific Trail Society will be attending Ukee Days.

**4.7 Ucluelet Children's Centre**  
***Kathy de Vries, Daycare Manager***

The Ucluelet and Area Child Care Society did not present.

**4.8 Tourism Ucluelet**  
***Denise Stys-Norman, Executive Director***

Ms. Stys-Norman described Tourism Ucluelet's Visitors Services Task Force, Sustainability Committee, and their work to reduce tourism impacts including marketing changes and stakeholder supports.

Ms. Stys-Norman noted advocacy related to the Highway 4 closures and encouraged impacted businesses to contact Tourism Ucluelet and participate in the Chamber of Commerce survey.

**4.9 Food Bank on the Edge Society**  
***Food Bank Representative***

Cris Martin thanked Council for their contribution to the Food Bank relocation project. The Food Bank has been able to run without many issues during the Highway 4 closure. They are currently working on their building project/land lease.

**4.10 Surfrider Pacific Rim**  
***Sophie Peters, Chapter Coordinator***

Ms. Peters provide a comprehensive overview of Surfrider Pacific Rim programming. Surfrider wishes to collaborate with the District on their 'Hold Onto Your Butts' campaign and find a location for cigarette butt drop off in Ucluelet.

**4.11 Redd Fish Restoration Society**  
***Megan Francis, General Manager***

The Redd Fish Restoration Society, formerly known as Central West Coast Society, employs 30 staff members focused on habitat restoration and protection of water sheds. Ms. Francis noted the Society's work on many projects including but not limited to landslide stabilization in Hesquiaht Harbour, emergency fish salvages, environmental monitoring for local BC Hydro projects and the Society's summer night program which consists of workshops and music at their shop in Ucluelet.

**4.12 Pacific Rim Rotary Club**  
***Pacific Rim Rotary Club representative Laurie Gehrke***

There are 24 active members in the Club, which conducts a variety of events and projects in collaboration with other community groups. Ms. Gehrke noted a soft opening of the Frisbee Golf Course in October.

**4.13 Ucluelet and Area Historical Society**  
***Barb Gudbranson, President***

Ms. Gudbranson provided an overview of the Japanese Legacy Fund and the design for the proposed Japanese Pavilion. She noted that the

Society is seeking storage option for historical items. The Society will attend Ukee Days.

#### **4.14 Call for other Representatives from Local Community Groups**

##### Ucluelet Chamber of Commerce

*Josh Jenkins, Executive Director*

- Mr. Jenkins introduced himself and outlined plans to reinvigorate Chamber initiatives and community involvement.

##### Pacific Rim Arts Society

*Kelly Deakin, Executive Director*

- Ms. Deakin noted the Pacific Rim Arts Society Summer Festival takes place annually between July 1st and 21st. This festival consists of music and art.
- Ms. Deakin noted decreases in grant funding, upcoming events, and an upcoming callout for new board members.

##### Toastmasters

*Marilyn McEwen*

- Mayor McEwen noted Toastmaster open houses on September 11th and 25th. Leadership and public speaking training will be provided.

#### **5. QUESTION PERIOD**

There were no questions.

#### **6. ADJOURNMENT**

The Committee of the Whole meeting was adjourned at 5:06 PM.

**CERTIFIED CORRECT:** Minutes of the Committee of the Whole Meeting held on Tuesday, June 20, 2023 at 4:00 pm in the Ucluelet Community Centre, 500 Matterson Road, Ucluelet, BC.

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Duane Lawrence, Corporate Officer

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Marilyn McEwen, Mayor

**DISTRICT OF UCLUELET**  
**MINUTES OF THE REGULAR COUNCIL MEETING**  
**HELD IN THE UCLUELET COMMUNITY CENTRE, 500 MATTERSON DRIVE**  
**Tuesday, June 27, 2023 at 4:00 PM**

Present:      **Chair:**            Mayor McEwen  
                  **Council:**        Councillors Hoar, Kennington, and Maftai (via Zoom)  
                  **Staff:**             Duane Lawrence, Chief Administrative Officer  
                                 Bruce Greig, Director of Community Planning  
                                 Abby Fortune, Director of Parks and Recreation  
                                 James MacIntosh, Director of Engineering Services  
                                 Joseph Rotenberg, Manager of Corporate Services  
                                 Monica Whitney-Brown, Planning Assistant  
                                 Samantha McCullough, Executive Assistant

Regrets:        Councillor Anderson

**1. CALL TO ORDER**

The meeting was called to order at 4:00 PM.

**1.1 ACKNOWLEDGEMENT OF THE YUULU?IŁ?ATH**

**Council acknowledged the Yuulu?ił?ath, on whose traditional territories the District of Ucluelet operates.**

**1.2 NOTICE OF VIDEO RECORDING**

**Audience members and delegates were advised that the proceeding was being video recorded and broadcast on YouTube and Zoom, which may store data on foreign servers.**

**2. CLOSED SESSION**

**2.1 Procedural Motion to Move In-Camera**

2023.2171.REGULAR *It was moved and seconded **THAT** the meeting be closed to the public in order to address agenda items under Section 90(1) (a) personal information about an identifiable individual who holds or is being considered for a position as an officer, employee or agent of the municipality or another position appointed by the municipality; and, (l) discussions with municipal officers and employees respecting municipal objectives, measures and progress reports for the purposes of preparing an annual report under section 98 [annual municipal report]) of the Community Charter.*

**CARRIED.**

The meeting was closed to the public at 4:06 PM. The meeting returned to open session at 4:34 PM.

### 3. LATE ITEMS

3.1 Correspondence related to DVP for Subdivision Servicing - Lot 16 Marine Drive/ 449 Drive

3.2 Correspondence related to LOT 16 - Request to Modify Restrictive Covenant CA9460685

### 4. APPROVAL OF THE AGENDA

#### 4.1 June 27, 2023 Regular Council Meeting Agenda

The Mayor noted the late correspondence items and the Staff request to remove item 8.10.

2023.2172.REGULAR *It was moved and seconded **THAT** the agenda be amended by deleting item 8.10.*

CARRIED.

2023.2173.REGULAR *It was moved and seconded **THAT** and the agenda be further amended by adding:*

1. *"Correspondence related to DVP for Subdivision Servicing - Lot 16 Marine Drive/ 449 Drive" as appendix "E" to report item 8.5; and,*
2. *"Correspondence related to LOT 16 - Request to Modify Restrictive Covenant CA9460685" as correspondence item 10.3.*

CARRIED.

2023.2174.REGULAR *It was moved and seconded **THAT** the June 27, 2023, Regular Council Meeting Agenda be approved as amended.*

CARRIED.

### 5. ADOPTION OF MINUTES

#### 5.1 June 8, 2023 Regular Council Meeting Minutes

2023.2175.REGULAR *It was moved and seconded **THAT** the June 8, 2023 Regular Council Meeting Minutes be adopted as presented.*

CARRIED.

### 6. PUBLIC INPUT & DELEGATIONS

#### 6.1 Delegations

##### **Ucluelet RCMP - Quarterly Policing Update** **Sgt. Marc Jones**

Sergeant Jones introduced Constable Jed Simcones. The Constable provided background about his experience with the RCMP.

Sergeant Jones presented the Monthly Policing Report. He noted crime rates are similar to previous years, with the exception of impaired driving offences which are up and prisoner numbers which are down. Sergeant Jones also noted that the RCMP are seeking community volunteers and addressed Council questions related to the guarding program, changing crime rates, the number of cells at the detachment, victim services referrals and restorative justice.

## 7. UNFINISHED BUSINESS

There was no unfinished business

## 8. REPORTS

### 8.1 Environmental and Development Variance Permit - 1567 Imperial Lane

***Bruce Greig, Director of Community Planning***

Mr. Greig presented this report.

The applicant was invited to address Council. He did not address Council.

Members of the public were invited to comment on the Development Variance Permit. There was no public input on this Development Variance Permit.

Council discussed the application and noted the importance of protecting the Eelgrass Beds in the affected intertidal zone.

2023.2176.REGULAR *It was moved and seconded **THAT** Council, with regard to the proposed dock and associated structural works proposed at 1567 Imperial Lane:*

- a. authorize the Director of Community Planning to execute and issue Development Variance Permit 23-04 for the construction of a dock and associated structures; and,*
- b. authorize the Director of Community Planning to execute and issue Development Permit 23-02 to allow a dock to be constructed in an Environmental Development Permit Area.*

CARRIED.

### 8.2 Environmental Development Permit/ Development Variance Permit 1656 Bay St

***Monica Whitney-Brown, Planning Assistant***

Ms. Whitney-Brown presented this report.

In response to Council questions, Ms. Whitney-Brown clarified that the land clearing completed on site was done without an environmental development permit.

The applicant, Mr. Hampel, addressed Council and explained that the land was cleared to remove danger trees caused by a winter storm and he was not aware that this clearing would impact the riparian zone.

Members of the public were invited to comment on the Development Variance Permit. There was no public input.

2023.2177.REGULAR *It was moved and seconded **THAT** Council authorize the Director of Community Planning to execute and issue Development Variance Permit DVP23-10 to allow the construction of an addition to a single-family dwelling 16 metres from the natural boundary of a watercourse.*

DEFEATED.

### **8.3 Development Variance Permit for 1333 Pine Road Monica Whitney- Brown, Planning Assistant**

Ms. Whitney-Brown presented this report.

The applicant was invited to address Council. The applicant, Andrea Wardrop, noted that the unit will be used to house visiting family members, provide long-term staff housing, and as a B&B.

Members of the public were invited to comment on the Development Variance Permit. There was no public input.

Council discussed the property, and noted the Development Variance Permit would require the removal of vegetation which the owners and residents in the area hope to retain.

2023.2178.REGULAR *It was moved and seconded **THAT** Council direct staff to give public notice for development variance permit 23-08 to eliminate parking requirements for a proposed B&B use at 1333 Pine Road.*

CARRIED.

### **8.4 DVP for Residential Addition at 272 Main Street John Towgood, Municipal Planner**

Mr. Greig presented this report.

In response to Council questions, Mr. Greig clarified the:

- the proposed project is an addition to the existing building;



- the residential unit in the existing building unit would be retained; and
- the addition may not be used for nightly rentals.

The applicant was invited to address Council. The applicant did not speak.

Members of the public were invited to comment on the Development Variance Permit.

- Patricia Sieber, resident, noted concerns with the height of the addition and impact on views from private properties on Peninsula Road. She also noted that an affected neighbour was unable to attend this meeting.
- Louis Madfiford, resident, noted that the addition is located near his home and concerns with the additions' height, impact on views and impact on his privacy.

In response to Council questions, Staff clarified that views from private property are not protected by the District's design guidelines established in the Official Community Plan and the addition does not require a variance for height.

2023.2179.REGULAR *It was moved and seconded **THAT** Council, in regard to the proposed residential addition at 272 Main Street (Lot 1, District Lot 282, Clayoquot District, Plan 12287):*

- authorize the Director of Community Planning to execute and issue Development Variance Permit 23-05 to allow a three-storey residential addition; and,*
- authorize the Director of Community Planning to execute and issue Development Permit 22-03 for Form and Character of the proposed three-storey residential addition.*

CARRIED.

2023.2180.REGULAR *It was moved and seconded **THAT** the meeting be recessed for five minutes.*

CARRIED.

The meeting was recessed at 5:30 PM. The meeting reconvened at 5:36 PM.

## **8.5 DVP for Subdivision Servicing - Lot 16 Marine Drive/ 449 Matterson Drive**

***Bruce Grieg, Director of Community Planning***

Mr. Greig presented this report.

In response to Council questions, Mr. Greig described the relationship between Development Variance Permit conditions and subdivision approval. He also provided detail about conditions related to the construction of proposed sidewalks in Lot 16 and traffic management in the proposed development.

The applicant was invited to address Council. The applicant's agent, Rod Milner, was available to respond to Council questions.

Members of the public were invited to comment on the Development Variance Permit.

- Mayco Noël, 1302 Victoria Road, objected to the road access to Lot 16 from Victoria Road. He noted concerns with increased traffic on Victoria Road, pedestrian safety, and the developer's traffic study.
- Mike Grandboise, 1328 Victoria Road, read excerpts from his letter which was included in the agenda package. He objected to the road access to Lot 16 from Victoria Road and noted concerns with increased traffic, pedestrian safety, the developer's traffic study, and the narrow width of Victoria Road. Mr. Grandboise also noted that more members of the public have objected to this project than supported it. He recommended that Council consider alternate road access options.
- Bailey Labrie, 406 Orca Crescent, spoke in support of the development. She noted the need for housing in general and the need for rental housing in particular. Ms. Labrie also highlighted the importance of infill development.
- Kim Clarke, 401 Marine Drive, requested clarification related to the placement of the access road to the development. Ms. Clark noted that Victoria Road residents were not aware that the location of the access roads had been approved.

Mr. Greig clarified the future location of the access roads to Lot 16 which are off of Victoria Road and Marine Drive. There is also access to the parking lot for the proposed apartment building from Matterson Drive. This access would connect with the development's interior roads. Mr. Greig outlined the rationale for the location of these access roads and noted that a condition of the rezoning of Lot 16 included a covenant, which among other things, required access from Victoria Road.

- Ms. Clarke advocated for the apartment to be constructed as the first phase of the development. She further noted concerns with the impact of the Victoria Road access road on local residents

and encouraged Council to seek additional public feedback. She raised concerns with the width of Victoria Road.

- The applicant's agent noted that it would be possible to proceed with the development without the variances related to road widths.
- Monique Copeland, 1309 Victoria Road, noted concerns with increased vehicle traffic on Victoria Road as well as increased density and the pace of growth in Ucluelet.
- Mayco Noël spoke a second time and raised issues with access off of Victoria Road and encouraged Council to consider alternate access routes off of Marine Drive.
- Kim Clarke, spoke for a second time in opposition to access off of Victoria Road.
- Myles Morrison, 1497 Victoria Road, noted concerns with access off of Victoria Road and advocated against the road width variance. Mr. Morrison also opposes the apartment building location.

Council discussed Option B presented in the report. They further discussed limiting the use of the Victoria Road access road to emergency purposes.

Mr. Greig outlined cost and procedural implications associated with changing the location of access roads to this development at this stage of the process. He further clarified that the proposed variances are not related to the location of the access roads.

2023.2181.REGULAR *It was moved and seconded **THAT** Council authorize the Director of Community Planning to execute and issue Development Variance Permit DVP23-03 for the road dedication and servicing of the proposed subdivision on the property at Lot 16 District Lot 281 Clayoquot District Plan VIP76214 Except part in plans VIP80735, VIP83067 and VIP86140 ("Lot 16"), subject to meeting the conditions listed in the permit prior to final subdivision approval.*

CARRIED.

2023.2182.REGULAR *It was moved and seconded **THAT** Council indicate acceptance that the proposed 5,381m<sup>2</sup> park land dedication shown on the proposed "Lot Layout Concept drawing by Williamson and Associates Professional Surveyors - revision 1" dated June 29, 2022, for the proposed subdivision of Lot 16 as fulfilling the developer's requirements under section 510 of the Local Government Act and as proposed by the developer and agreed under covenant CA9460685.*

CARRIED.

2023.2183.REGULAR

*It was moved and seconded **THAT** Council direct Staff to investigate transitioning the future road access point from Victoria Road into the Lot 16 development as an emergency access only.*

CARRIED.

### **8.6 Larch Road Multi-Use Path Design, Costs, and Next Steps** **James MacIntosh, Director of Engineering Services**

Mr. MacIntosh presented this report including the design proposal, construction options with corresponding costs, and funding possibilities.

Mr. MacIntosh addressed Council questions about alternate elements which could be eliminated from the project rather than path paving.

Council discussed not paving the path at this point in time and noted accessibility concerns and motorists impacts.

2023.2184.REGULAR *It was moved and seconded:*

- **THAT** Council direct staff to defer paving of the Larch Road multi-use path to a future year and prepare a tender for the construction of the project as presented in report No. 23-90; and further,
- **THAT** Council direct staff to include paving of the Larch Road multi-use path in the 2024 Five-Year Capital Plan for consideration.

DEFEATED.

2023.2185.REGULAR *It was moved and seconded **THAT** Council endorse the Larch Road Multi-Use Path design as presented in report 23- 90 and direct staff to prepare a tender for the construction of the project.*

CARRIED.

### **8.7 Flood Hazard Data Use and Sharing Agreement** **Joseph Rotenberg, Manager of Corporate Services**

Mr. Rotenberg presented this report.

2023.2186.REGULAR *It was moved and seconded **THAT** Council authorize the Mayor and Corporate Officer to execute an agreement with the Province of British Columbia known as the Flood Hazard Mapping Studies Data Use and Sharing Agreement.*

CARRIED.

### **8.8 LOT 16 - Request to Modify Restrictive Covenant CA9460685** **Bruce Greig, Director of Community Planning**

Mr. Greig presented this report.

The proponent's representative, Cody Dreiger, outlined the history of the development and the proponent's investment to date. He also

responded to concerns that were raised online, noted challenges with financing construction of the apartment in the first phase of the development, and explained that if the covenant is not modified the developer may be forced to choose between shelving the project or selling the property.

After moving option A, Council noted:

- that the proposed seven year window to construct the apartment building is too long;
- the apartment should be constructed within this Council's term;
- construction costs will only rise, so financing may continue to be an issue in the future;
- approval of the rezoning for this site hinged on construction of the rental apartment building in the first phase of development;
- \$500,000 contribution is not sufficient given the rising cost of land and construction;
- concerns with the message that modifying this restrictive covenant would send to the development community; and
- the need to seek additional public input on the matter if Council were to proceed with the requested covenant modification.

2023.2187.REGULAR *It was moved and seconded **THAT** Council direct staff to work with the owners of Lot 16 to provide a draft covenant modification to include a timeline and assurance in the form of land and/or monetary commitments to ensure the construction of the proposed rental apartment building, consistent with the intent of the 2021 rezoning approval.*

DEFEATED.

2023.2188.REGULAR *It was moved and seconded **THAT** the meeting be extended beyond three and a half hours.*

CARRIED.

The meeting was extended at 7:27 PM.

2023.2189.REGULAR *It was moved and seconded **THAT** Council maintain the restrictive covenant charge CA9460685 on the title of the Lot 16 property as previously agreed by the owner.*

CARRIED.

## 8.9 UBCM Minister Meetings

### *Duane Lawrence, CAO*

Mr. Lawrence presented this report.

2023.2190.REGULAR *It was moved and seconded **THAT** Council direct staff to submit ministerial meeting requests to the Ministry of Health regarding increased specialist care in rural municipalities and increased resident physician care to service increased visitor populations and the Ministry of Forests regarding tabular*

*stumpage rates for the 2023 Union of British Columbia Municipalities conference.*

CARRIED.

**9. NOTICE OF MOTION**

Councillor Maftai left the meeting at 7:37 PM.

There were no notices of motion.

**10. CORRESPONDENCE**

**10.1 Coalition of Child Care Advocates of BC  
*Sharon Gregson, Spokesperson \$10aDay***

Council discussed challenges with the \$10 a day daycare funding program.

**10.2 Province of British Columbia's Home for People Action Plan  
*Peter Jones, Mayor - District of North Saanich***

**10.3 Correspondence related to LOT 16 - Request to Modify Restrictive Covenant CA9460685**

**11. MAYOR'S ANNOUNCEMENTS AND COUNCIL COMMITTEE REPORTS**

**11.1 Councillor Shawn Anderson  
*Deputy Mayor, April 1 - June 30, 2023***

**11.2 Councillor Jennifer Hoar  
*Deputy Mayor, January 1 - March 31, 2023***

Councillor Hoar attended the Wild Pacific Trail Society Board meeting. She noted programming offered by the Society and its partnerships with other community groups.

Councillor Hoar also attended the June 20th Committee of the Whole meeting. At this meeting community groups updated Council on operations and projects.

**11.3 Councillor Ian Kennington  
*Deputy Mayor, July 1 - September 30, 2023***

**11.4 Councillor Mark Maftai  
*Deputy Mayor, October 1 - December 31, 2023***

**11.5 Mayor Marilyn McEwen**

The Mayor noted Canada Day celebrations planned for the Village Green on Saturday.

Mayor McEwen:

- met with the Lot 16 developers on June 9th;
- attended a banquet for Van Isle 360 on June 13th;
- attended Barkley Community Forest Board and Alberni-Clayoquot Regional (ACRD) District Board meetings on June 14th. The West Coast Transit Service contract was awarded at the ACRD meeting. Local transit service begins in January;
- participated in many interviews related to the road closure on June 15th and met with MLA Osborne to discuss this issue on June 16th;
- attended the June 20th Committee of the Whole meeting; and
- attended the Ucluelet Secondary School grand opening on June 21st as well as a Tourism Ucluelet Board meeting and a meeting with the owners of the Hyphocus property.

## 12. QUESTION PERIOD

- Kim Clarke, 401 Marine Drive, thanked Mayor and Council for their decision related to item 8.8.
- Margarett Morrison, 1497 Victoria Road, echoed Kim's comments.
- Myles Morrison noted interest in providing a delegation on restorative justice in the region.
- At the request of the Mayor, the Clerk read emails from Alexandra Amor and Jacqueline Holiday in opposition to the covenant modification requested under item 8.8. These emails were received after the late items which were added to this agenda were published.

## 13. ADJOURNMENT

The meeting was adjourned at 7:53 PM.

**CERTIFIED CORRECT:** Minutes of the Regular Council Meeting held on Tuesday, June 27, 2023 at 4:00 pm in the Ucluelet Community Centre 500 Matterson Road, Ucluelet, BC.

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Duane Lawrence, Corporate Officer

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Marilyn McEwen, Mayor







## REPORT TO COUNCIL

Council Meeting: June 27<sup>th</sup>, 2023

500 Matterson Drive, Ucluelet, BC V0R 3A0

**FROM:** MONICA WHITNEY-BROWN

**FILE No:** 3060-20/ 3090-20

**SUBJECT:** ENVIRONMENTAL DEVELOPMENT PERMIT /DEVELOPMENT VARIANCE PERMIT FOR 1656 BAY ST.

**REPORT NO:** 23- 94

**ATTACHMENT(S):** APPENDIX A – DEVELOPMENT VARIANCE PERMIT 23-10  
 APPENDIX B – DEVELOPMENT PERMIT 23-03  
 APPENDIX C – QEP REPORT

### RECOMMENDATION(S):

**THAT** Council authorize the Director of Community Planning to execute and issue Development Variance Permit DVP23-10 to allow the construction of an addition to a single-family dwelling 16 metres from the natural boundary of a watercourse.

**THAT** Council authorize the Director of Community Planning to execute and issue Environmental Development Permit DP23-03 to allow an addition in an environmental development permit area at 1656 Bay Street.

### BACKGROUND:

This environmental application was received on May 4<sup>th</sup> for the property located at 1656 Bay Street (PID 002407728, Lot 13, Plan VIP26711, District Lot 282, Clayoquot Land District). The applicant is planning a significant addition to the existing single-family dwelling on the property.

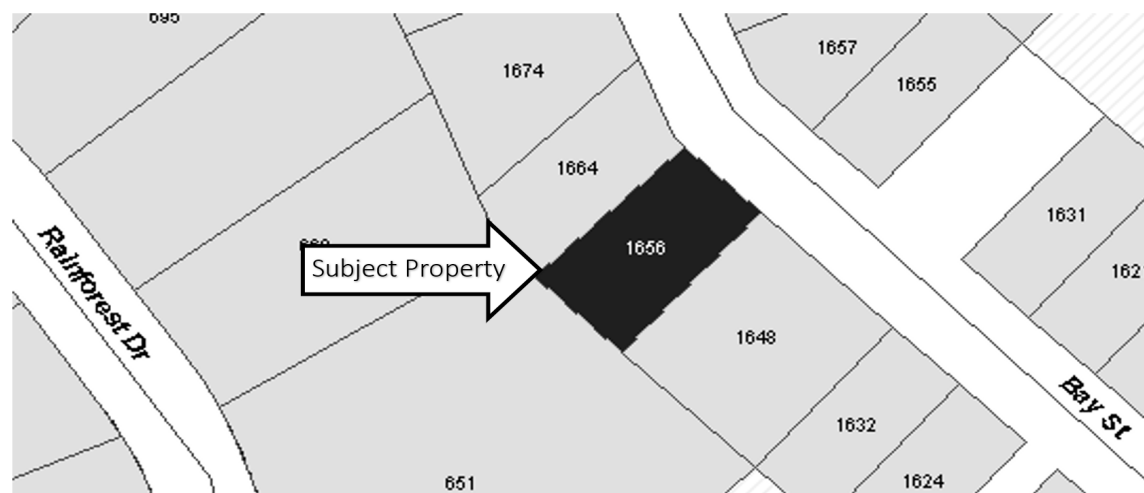


Figure 1- Subject Property

Development Permit Area VI (Streams and Riparian Areas)

The subject property falls within the Official Community Plan's "*Environmental Development Permit Areas*". Development Permit area is designated as all land within 30 metres on both sides of streams and watercourses.

DISCUSSION:

Environmental Development Permit:

The applicant is proposing a two-storey addition comprising of a new entry, a workshop, two-car garage and two short-term rental suites to the existing 2240 ft<sup>2</sup> single-family dwelling on the subject property. The lot is designated within the Streams and Riparian Areas Development Permit Area, under the Official Community Plan (fig.2).

Environmental Development Permit Areas are established to guide development and land use to ensure the most sensitive environmental features of a site are protected and ecological functions are not needlessly disturbed by development activities. For all land lying within an Environmental DP area, the applicant must submit a report prepared by a Qualified Environmental Professional (QEP) assessing the site, its natural features and the proposed development - establishing conditions to guide construction to protect and mitigate environmental impacts. Staff draft the associated development permit terms and conditions from the recommendations in the QEP report.

The area for the proposed addition has been cleared, leveled and compacted. The applicant completed these works, and Staff noted when they applied for an excavation permit that the clearing work had occurred improperly within a development permit area. As per Official Community Plan requirements, the applicant has since retained a Qualified Environmental Professional (QEP) to prepare a report on the environmental considerations of the site and develop recommendations to restore environmentally sensitive areas (Appendix C). The report states that "The proposed project, as currently projected, is not expected to have any adverse effects to wildlife or wildlife habitat".

Development Variance Permit:

In addition to the environmental development permit, the applicant is required to obtain a development variance permit to vary Section 306.2(b) of the District of Ucluelet Zoning Bylaw No. 1160, 2013 which states that "No building or structure may be placed, constructed, sunk into, erected, moved, sited, altered or enlarged within 30 m (98.5 ft) of the natural boundary of any natural watercourse or source of water supply". In line with the recommendations of the QEP report, this application is seeking to vary this requirement, from 30 m to 16 m on the subject property.

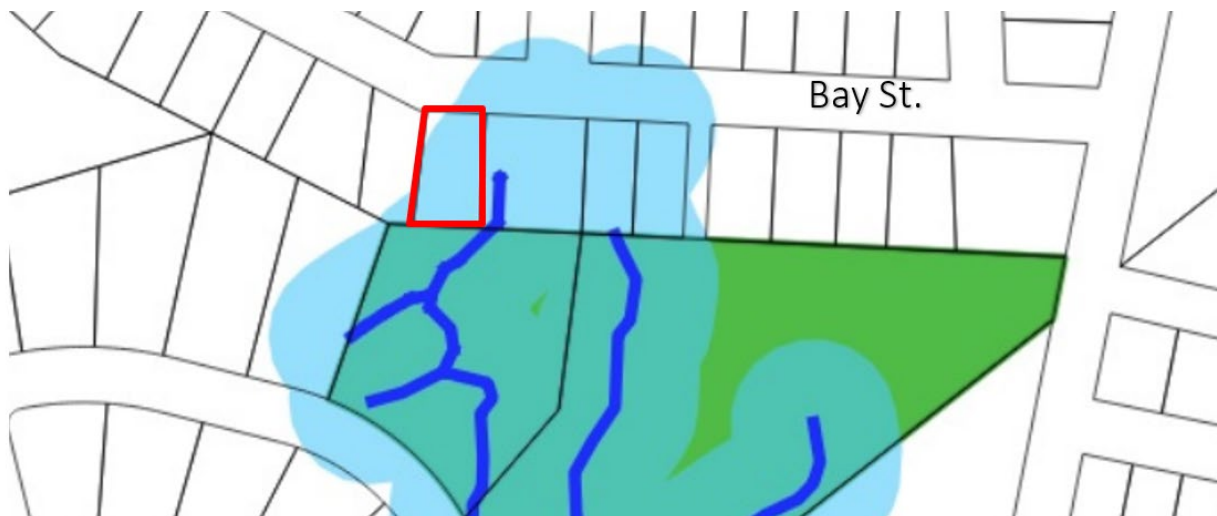


Figure 2 - Subject Property on Schedule E of the Official Community Plan

**ANALYSIS OF OPTIONS:**

<b>A</b>	Authorize the issuance of Development Permit 23-03 and Development Variance Permit 23-10	<b><u>Pros</u></b>	<ul style="list-style-type: none"> <li>Allows applicant’s development to proceed in a manner which a QEP has deemed consistent with the OCP development permit guidelines.</li> </ul>
		<b><u>Cons</u></b>	<ul style="list-style-type: none"> <li>Unknown</li> </ul>
		<b><u>Implications</u></b>	<ul style="list-style-type: none"> <li>Approval will require follow-up by Staff to ensure compliance with all conditions.</li> </ul>
<b>C</b>	Reject the application	<b><u>Pros</u></b>	<ul style="list-style-type: none"> <li>Unknown</li> </ul>
		<b><u>Cons</u></b>	<ul style="list-style-type: none"> <li>Does not allow applicant’s development to proceed in a manner which a QEP has deemed consistent with the OCP development permit guidelines.</li> <li>Staff would need direction from Council on how to apply the Environmental Development Permit guidelines established in the OCP bylaw and/or make amendments to the DP area guidelines.</li> </ul>
		<b><u>Implications</u></b>	<ul style="list-style-type: none"> <li>Additional staff time will be required to follow up with applicant and consultants.</li> <li>Council should provide reasoning for how the proposal does not meet DP guidelines.</li> </ul>
		<b><u>Suggested Motion</u></b>	No motion is required.

**POLICY OR LEGISLATIVE IMPACTS:**

This application is consistent with the Official Community Plan and the Local Government Act.

**NEXT STEPS:**

- If Council approves both permits, Staff would register the development permit and variance on LTSA, and the applicant would be able to apply for a building permit.
- The applicant will have to meet all conditions of the DP and DVP in order to proceed with their proposed addition.

**Respectfully submitted:** Monica Whitney-Brown, Planning Assistant  
Bruce Greig, Director of Community Planning  
Duane Lawrence, CAO



## DEVELOPMENT VARIANCE PERMIT DVP 23-10

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Pursuant to section 498 of the Local Government Act, R.S.B.C 2015 C.1 as amended:

1. This Development Permit is issued to:  
*Mason Hampel, 1656 Bay Street, Ucluelet BC, V0R3A0*  
(The “Owner”)
  
2. This Development Permit applies to, and only to, those lands within the District of Ucluelet described below, and the buildings, structures, and other development thereon:  
*1656 Bay Street, PID 002407728, Lot 13, Plan VIP26711, District Lot 282, Clayoquot Land District* (The “Lands”).
  
3. The work authorized by this Permit may only be carried out in compliance with the requirements of the District of Ucluelet Zoning Bylaw No. 1160, 2013, except where specifically varied or supplemented by this development variance permit and in compliance with all federal, provincial, and municipal statutes, regulations, and bylaws.
  
4. This permit authorizes the following variance specific to the plans and details attached as Schedule “A”:
  - a. Construction of an addition to a single-family dwelling 16 metres from the natural boundary of a watercourse whereas Section 306.2(b) of the District of Ucluelet Zoning Bylaw No. 1160, 2013 requires 30 metres.
  
5. The above variance is granted for the proposed structures and use of the land as shown on Schedule A. Should the buildings be later removed or destroyed, this Development Variance Permit shall cease to apply and the zoning bylaw requirements in effect at the time shall apply.
  
6. Notice shall be filed in the Land Title Office under Section 503 of the Local Government Act, and upon such filing, the terms of this Permit or any amendment hereto shall be binding upon all persons who acquire an interest in the land affected by this Permit.
  
7. This Permit is NOT a Building Permit.



**AUTHORIZING RESOLUTION** passed by the Municipal Council on the        of        , 2023.

**IN WITNESS WHEREOF** this Development Variance Permit is hereby executed and issued by the Municipality the        of        , 2023.

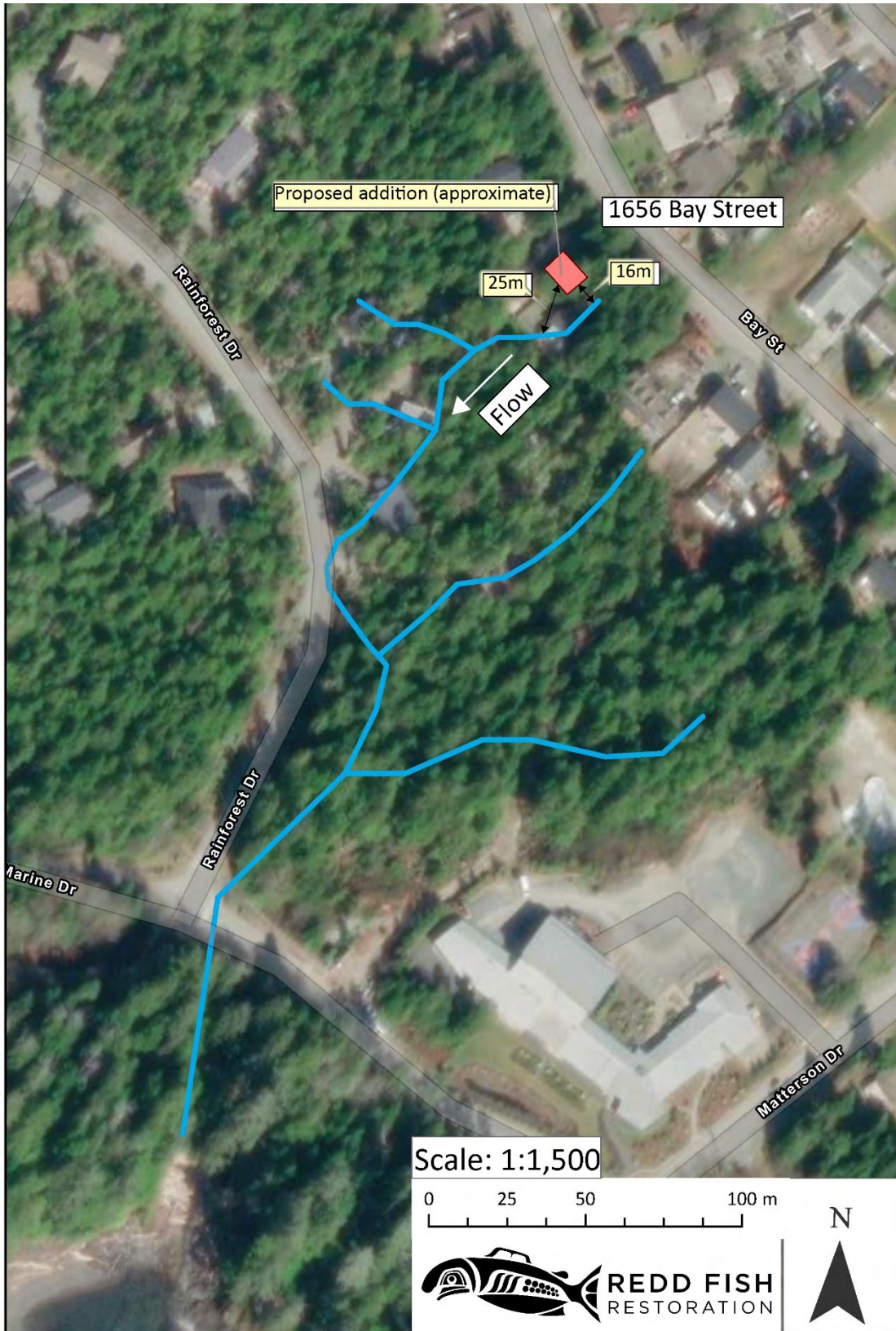
**ISSUED** the        day of        , 2023.

\_\_\_\_\_

Bruce Greig - Director of Community Planning



Schedule A







## DEVELOPMENT PERMIT DP23-03

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Pursuant to section 488 of the Local Government Act, R.S.B.C 2015 C.1 as amended:

1. This Development Permit is issued to:  
*Mason Hampel, 1656 Bay Street, Ucluelet BC, V0R3A0*  
(The “Owner”)
2. This Development Permit applies to, and only to, those lands within the District of Ucluelet described below, and the buildings, structures, and other development thereon:  
*1656 Bay Street, PID 002407728, Lot 13, Plan VIP26711, District Lot 282, Clayoquot Land District (The “Lands”).*
3. This Permit authorizes the following improvements on the Lands:
  - a) Construction of a single-family dwelling and associated landscape and hardscape works as shown in the attached site plan (Schedule 1)
4. The permit holder, as a condition of issuance of this Permit, agrees to comply with the requirements and conditions of Schedule 2 which is attached hereto and forms part of this permit.
5. In addition to compliance with the requirements of Schedule 2, the permit holder must adhere to all conditions of the Qualified Environmental Professional report in Schedule 3 which is attached hereto and forms part of this permit.
6. Prior to any site disturbance or contractor mobilization, the permit holder must erect sediment fencing as required by the Qualified Environmental Report and contact the District of Ucluelet to arrange a pre-construction inspection.
7. The work authorized by this Permit may only be carried out in compliance with all federal, provincial, and municipal statutes, regulations, and bylaws. The Owner is responsible for ensuring that the timing of the work and any required permits or notifications by other agencies are obtained as required to comply with all applicable regulations.
8. Notice shall be filed in the Land Title Office under Section 503 of the Local Government Act, and upon such filing, the terms of this Permit or any amendment hereto shall be binding upon all persons who acquire an interest in the land affected by this Permit.
9. The Owner shall substantially commence the development within 24 months of the date of issuance, after which this permit shall be null and void.
10. Upon completion of all proposed works, the Owner shall provide a letter from a QEP to the District of Ucluelet confirming that the work done under permit was completed meeting the conditions listed below, including the replanting of previously disturbed areas.

11. This Permit is NOT a Building Permit.

12. The Municipality's Chief Administrative Officer is hereby authorized to approve minor amendments to the plans provided that such amendments are consistent with the overall character and intent of the original plans.

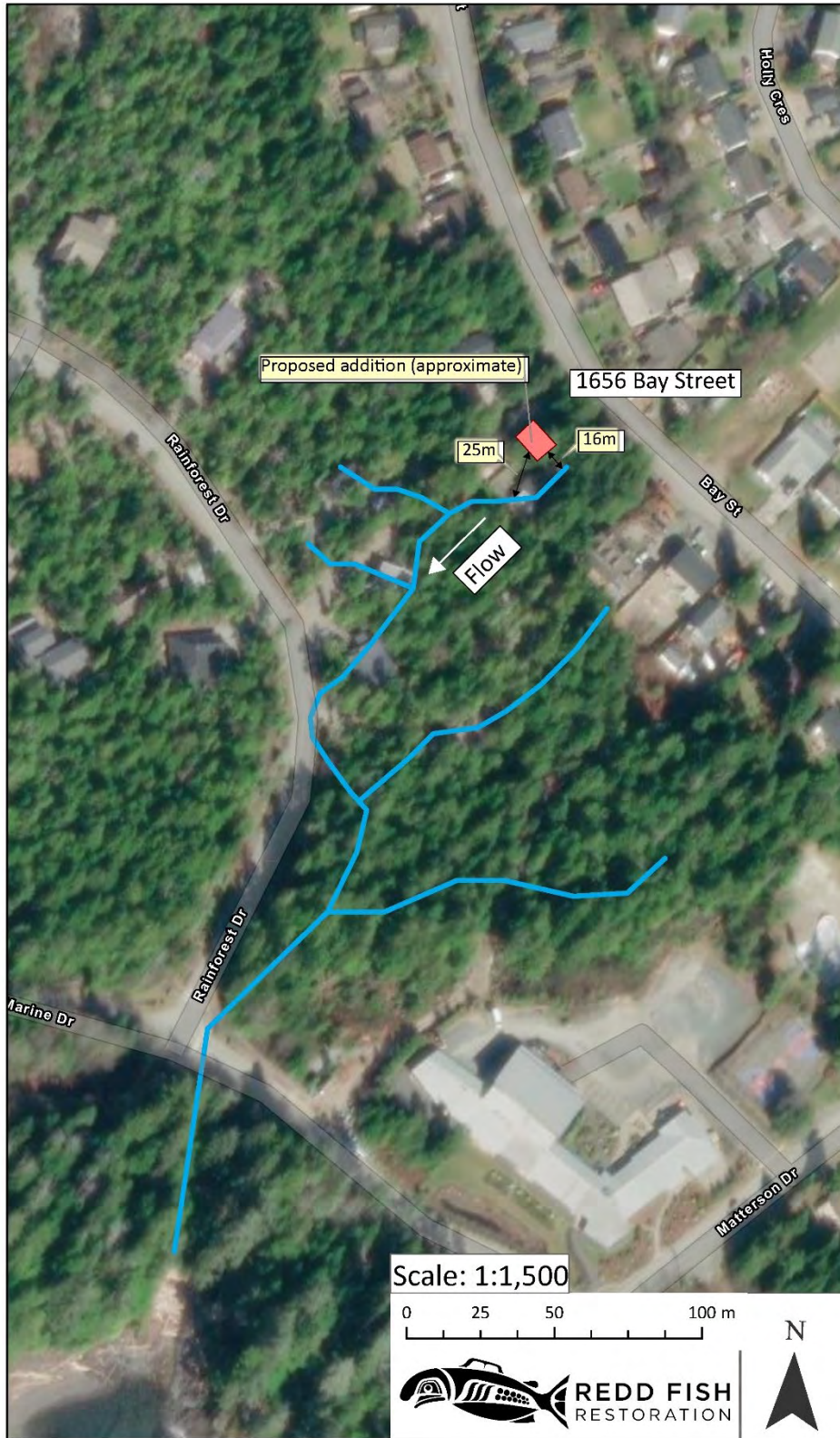
**AUTHORIZING RESOLUTION** passed by the Municipal Council on the            day of            , 2023.

**ISSUED** the            day of            , 2023.

---

Bruce Greig  
Director of Community Planning

Schedule 1



## Schedule 2 Conditions

As a condition of the issuance of this Permit, the Permittee representing the Lands hereby to comply with all following Impact Reductions and Mitigation Measures, determined by Qualified Environmental Professional (QEP) as necessary to avoid negative impacts to environmental habitats within and adjacent to the Property.

1. No further clearing is permitted in association with this development permit, and the remaining 11 m vegetated buffer between the addition and the stream must be maintained.
2. If further clearing is required, a Qualified Environmental Professional is required to update the report and provide the amended version to the District with any additional mitigation requirements prior to the clearing. Any vegetation clearing for the project must be conducted outside of the breeding bird nesting season which is March 26 to August 7 for forested ecosystems in the region (within the A1 Nesting Zone; Environment Canada 2021). If clearing within this window is unavoidable, a pre-clearing nesting bird survey must be conducted.
3. The owner must replant 15 western redcedar trees along the east edge of the property at one tree per 2 m<sup>2</sup> (one tree every 2 m) in two rows. A deposit of \$4000 required at issuance of this permit, which shall be returned after the District of Ucluelet has received confirmation from the QEP that the replanting has been inspected and this condition is met.
4. Care must be taken to not impact amphibians during construction. The site must be kept dry, avoiding creating pooling water during the late winter and spring months.
5. Sediment fencing must be installed on the east/southeast border of the property to provide a buffer between the proposed addition and the adjacent riparian area. If pumping of water is required it must be conveyed to a well vegetated area away from the watercourses for filtration.

### Schedule 3 QEP Report

As a condition of the issuance of this Permit, the Permittee representing the Lands hereby agrees to comply with all following conditions in the Environmental Assessment Report.





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250-726-2424  
info@reddfish.org  
reddfish.org

**June 6, 2023**

Mr. and Mrs. Hampel  
1656 Bay St.  
Ucluelet, BC  
V0R 3A0

**RE: BIOPHYSICAL ASSESSMENT TO SUPPORT A STREAMS AND RIPARIAN AREA (DPA – VI)  
DEVELOPMENT PERMIT APPLICATION OF A PROPOSED ADDITION TO AN EXISTING RESIDENCE AT  
1656 BAY STREET, UCLUELET, BC.**

Dear Mr. and Mrs. Hampel,

**Introduction**

Redd Fish Restoration (Redd Fish) was asked by Jennifer Price-Francis of Nectar Design to assess the location of a proposed 1,909sqft addition to an existing residence at 1656 Bay Street (Attachment 2), Lot 13, Plan VIP26711, District Lot 282, Clayoquot Land District (PID 002407728). This property is within the traditional territory of the Yuułuʔiłʔatḥ Nation.

The property is within the DPA – VI Streams and Riparian areas as shown on Schedule E of the District of Ucluelet Official Community Plan (2022). This assessment was conducted to address the requirements in Section 488(1)(a) of the District of Ucluelet Official Community Plan.

**Methods**

Readily available background information sources were reviewed, including:

- BC Conservation Data Center (iMap BC 2023);
- Habitat Wizard (2023); and,
- District of Ucluelet online mapping portal.

The provincial Ecosystems Explorer Database was queried for potential species occurrences in the region based on the following criteria:

- Red or Blue-listed OR SARA listed Animals OR Plants OR Ecosystem; AND 'Municipalities': Ucluelet

The results of this query (Attachment 3) produce some obscure results that included species well outside of their home ranges. This list was sorted into species with potential to occur and those that are considered very unlikely based on one or both of the following:

- Study area outside of known range for the species or species is not known in the area; and,
- No suitable habitat in the study area.



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Note that invertebrates identified in this query were beyond the scope of this assessment and were not assessed.

On April 12 and May 26, 2023 Chris Dolphin of Redd Fish visited the site to assess potential interactions with environmental resources and identify potential adverse effects or environmental regulatory conformance issues.

An approximately 30 m buffer around the site was assessed for wildlife habitat value and important wildlife features, within the constraints of adjacent private property. The proposed building site was searched more thoroughly for cavities, burrows or other important wildlife habitat features or environmental sensitivities (e.g., wetlands and watercourses). Conditions were documented with field notes and site photographs. A georeferenced PDF map uploaded to Avenza Maps™ on a GPS enabled handheld device was used to navigate the study area and georeferenced important habitat features. Distances from the proposed addition to the two streams were measured manually with an Eslon 50 m measuring tape.

## Results

The property is within the Southern Very Wet Hypermaritime Coastal Western Hemlock Variant (CWHvh1) biogeoclimatic zone (iMapBC 2021). This zone is characterized by a cool wet climate with very little snowfall where the Pacific Ocean moderates temperatures throughout the year (Green and Klinka 1994). Forests on zonal sites are dominated by western hemlock (*Tsuga heterophylla*) commonly mixed with amabilis fir (*Abies amabilis*) and western redcedar (*Thuja plicata*). Salal (*Gautheria shallon*), red huckleberry (*Vaccinium parvifolium*), evergreen huckleberry (*Vaccinium ovatum*), and deer fern (*Struthopteris spicant*) are common understory species. Typical bryophytes include *Rhytidiadelphus loreus* and *Hylocomium splendens* (step moss).

The existing residence is situated within a mowed grassy area bordered by western redcedar, Rhododendron sp. and Salal. The property is directly bordered by existing private residences to the north, east, south and west. The proposed addition will be constructed at the front of the home facing Bay Street. The area for the proposed addition has been cleared, leveled and compacted (Photo 1). Therefore, the pre-disturbance condition can only be inferred based on the adjacent vegetation. It is understood that no further clearing will be needed for the proposed addition.

The provincial Habitat Wizard (2023) does not indicate any streams within one kilometer of the study area. Schedule E of the District of Ucluelet Official Community Plan (2022) indicates one stream approximately 16 m south east of the property, identified as #29 with a channel width of 2.0 m and non-fish bearing status (Photo 2). An approximately 11 m vegetation buffer is between the proposed addition and this stream. There is also a small tributary to this unnamed stream located approximately 25 m





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west/southwest of the proposed addition shown on Schedule E. The width of this tributary is <1 m, as confirmed in the field.

Riparian Areas Protection Regulation (RAPR) assessment methodology would likely result in a Streamside Protection and Enhancement Area (SPEA) of six times the channel width (approximately 12 m and 6 m, respectively). Note that a RAPR assessment was not conducted; however, these features were assessed in the field. The background information was found to be correct. No impacts to these watercourses are anticipated as a result of the proposed addition, if the recommendations below are observed.

No large stick nests or cavities of Piliated Woodpecker (*Dryocopus pileatus*; now under specific protections within the Migratory Bird Regulations [2022]) were noted within the assessment area and the area does not host habitat suitable for tree-nesting seabirds whose nests are also now protected year-round (Migratory Bird Regulation 2022). Based on the downed wood in the area, it appears that approximately 10 maturing western redcedar and amabilis fir trees were removed. Approximately 6 of the trees were removed during the first week of September 2022. The remainder of the trees were removed during the middle of January 2023 as they were compromised due to strong winds and snowfall. (pers. Comm the land owner).

The BC Conservation Data Center (BC CDC) iMap application was queried for marked known occurrence records of species at risk (Attachment 3). Two occurrences overlap the site: tall woolly-heads (*Psilocarphus elatior*) and northern red-legged frog (*Rana aurora*). Tall woolly-heads is a provincially red-listed species and is federally listed as Endangered on Schedule 1 of the Species At Risk Act (SARA). This plant occurs in wet areas and vernal wetlands (Klinkenberg 2020).

Northern red-legged frogs are provincially blue-listed and listed as 'Special Concern' under the federal SARA. This species is locally common, however. No amphibians were noted during the field assessment.

There are records of California wax-myrtle (*Morella californica*) southeast of the site on the Ucluelet peninsula. This species is provincially blue-listed but is relatively common in the region. Two California wax-myrtle plants were noted in the southwest corner of the property.

**Table 1. Wildlife species at risk from the BC Ecosystems Explorer Query with potential of occurring on the site.**

Group	Common Name	Scientific Name	BC List	SARA Schedule	
				Schedule	Designation
amphibians	Northern Red-legged Frog	<i>Rana aurora</i>	Blue	1	Special Concern
amphibians	Wandering Salamander	<i>Aneides vagrans</i>	Blue	1	Special Concern



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amphibians	Western Toad	<i>Anaxyrus boreas</i>	Yellow	1	Special Concern
birds	Band-tailed Pigeon	<i>Patagioenas fasciata</i>	Blue	1	Special Concern
birds	Barn Swallow	<i>Hirundo rustica</i>	Yellow	1	Threatened
birds	Black Swift	<i>Cypseloides niger</i>	Blue	1	Endangered
birds	Black-throated Green Warbler	<i>Setophaga virens</i>	Blue	-	-
birds	Evening Grosbeak	<i>Coccothraustes vespertinus</i>	Yellow	1	Special Concern
birds	Great Blue Heron, <i>fannini</i> subspecies	<i>Ardea herodias fannini</i>	Blue	1	Special Concern
birds	Olive-sided Flycatcher	<i>Contopus cooperi</i>	Yellow	1	Threatened
birds	Western Screech-Owl, <i>kennicottii</i> subspecies	<i>Megascops kennicottii kennicottii</i>	Blue	1	Threatened
mammals	Little Brown Myotis	<i>Myotis lucifugus</i>	Blue	1	Endangered
SARA = Species at Risk Act					

The proposed project, as currently projected, is not expected to have any adverse effects to wildlife or wildlife habitat.

### Recommendations

In order to avoid potential impacts to breeding birds and subsequent contravention of the provincial *Wildlife Act* or the federal *Migratory Bird Convention Act*, vegetation clearing for the project should be conducted outside of the breeding bird nesting season which is March 26 to August 7 for forested ecosystems in the region (within the A1 Nesting Zone; Environment Canada 2021). If clearing within this window is unavoidable, a pre-clearing nesting bird survey should be conducted. Note that no further clearing is currently anticipated.

It is recommended that the owner replant approximately 10-15 western redcedar trees along the east edge of the property at one tree per 2m<sup>2</sup> (one tree every 2 m) in two rows.

Care should be taken to not impact amphibians during construction. Keep the site dry, avoid creating pooling water during the late winter and spring months and take care to not physically impact amphibians on the site, if they occur.



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The site is relatively level. Sediment fencing should be installed on the east/southeast border of the property to provide a buffer between the proposed addition and the adjacent riparian area. If pumping of water is required it must be conveyed to a well vegetated area away from the watercourses for filtration.

Note that conformance with building codes and other bylaws is not part of this assessment.

### Closure

We trust that the above meets your current requirements, if you have any questions please contact the undersigned.

Regards,

**Redd Fish Restoration**

**Prepared by:**

A handwritten signature in black ink, appearing to read "Chris Dolphin".

Chris Dolphin, B.Sc

**Reviewed by:**



Kim Poupard, R.P.Bio

- Attachments:**
1. Site Photos
  2. Design Drawings
  3. BC Conservation Data Center Query Results

### References:

Environment Canada. 2023. General Nesting Periods of Migratory Birds. Available online:  
<https://www.canada.ca/en/environment-climate-change/services/avoiding-harm-migratory-birds/general-nesting-periods/nesting-periods.html> (accessed April 13, 2023).

BC Conservation Data Center. Online mapping application maintained by the Province of British Columbia. Available at: <http://maps.gov.bc.ca/ess/hm/cdc/> (accessed April 13, 2023).



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BC Habitat Wizard. Online mapping application maintained by the Province of British Columbia.  
Available at: <https://maps.gov.bc.ca/ess/hm/habwiz/> (accessed April 13, 2023).

Klinkenberg, Brian. (Editor) 2020. E-Flora BC: Electronic Atlas of the Plants of British Columbia [eflora.bc.ca]. Lab for Advanced Spatial Analysis, Department of Geography, University of British Columbia, Vancouver.

#### **Acts and Regulations:**

Migratory Birds Regulations. 2022. Status update on the modernization of the Migratory Birds Regulations, 2022. Available online at: <https://www.canada.ca/en/environment-climate-change/services/migratory-game-bird-hunting/status-update-modernization-regulations.html> (accessed April 13, 2023).

District of Ucluelet. 2020. Official Community Plan. Bylaw No 1236 (2020). Adopted Jan 2022. Available online at: <https://ucluelet.ca/community/planning-building-bylaw/community-planning-and-zoning/official-community-plan> (accessed April 13, 2023).



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**Photo 1.** Showing area previously cleared, leveled and compacted for the proposed addition. It is understood no additional clearing is needed for the addition.





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**Photo 2.** Showing small stream approximately 16 m south east of the property.



**GENERAL NOTES:****NOTES TO CONTRACTOR:**

- ALL DIMENSIONS ARE APPROXIMATE AND ARE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY ALL QUALITIES, DIMENSIONS, SIZES, LOADS, ETC. PRIOR TO ANY CONSTRUCTION
- PLANS SUPPLIED ARE BASED ON A LEVEL LOT UNLESS OTHERWISE NOTED
- EXTERIOR DIMENSIONS ARE TO OUTSIDE OF FRAMING U.O.N.
- DIMENSIONS TAKE PRECEDENCE OVER SCALE
- IT IS THE RESPONSIBILITY OF THE PRODUCT SUPPLIER TO VERIFY EXACT SIZES, QUANTITIES AND DIMENSIONS PRIOR TO ANY MANUFACTURING.
- THE CONTRACTOR WILL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND INSURANCES.
- CONTRACTOR IS RESPONSIBLE FOR MAINTAINING A SAFE WORK SITE AT ALL TIMES.
- CONTRACTOR MUST COMPLY WITH WORKSAFE REGULATIONS.
- DESIGNER ASSUMES NO LIABILITY FOR ERRORS AND OMISSIONS

**GENERAL NOTES:**

- BUILDER/CONTRACTOR TO ENSURE ALL WORKMANSHIP AND MATERIALS CONFIRMS WITH MUNICIPAL CODE AND BC BUILDING CODE (BCBC) 2018
- ANY DISCREPANCIES BETWEEN THESE DRAWINGS AND BCBC 2018, THE BCBC 2018 SHALL TAKE PRECEDENT.
- ANY STRUCTURAL ASPECTS OF THIS PROJECT OUTSIDE OF SECTION 09 OF THE BCBC 2018 MUST BE PERFORMED BY A CERTIFIED STRUCTURAL ENGINEER
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND MATERIALS SHOWN ON DRAWINGS BEFORE PROCEEDING.
- CONTRACTOR SHALL CHECK ALL EXISTING GRADES AND LOCATIONS OF CITY SERVICES PRIOR TO CONSTRUCTION.
- DIMENSIONS TAKE PRECEDENCE OVER SCALE
- DESIGNER ASSUMES NO LIABILITY FOR ERRORS AND OMISSIONS
- CONTRACTOR MUST ADHERE TO ALL NEW REVISIONS OF THE BCBC

**GENERAL FRAMING NOTES:**

- ALL STRUCTURAL FRAMING TO BE SPF NO. 2 K.D U.O.N.
- ALL HEADERS 2-2X10 U.O.N.
- PROVIDE 2X10 FLOOR SOLID BLOCKING BEHIND FIXTURES ALONG PLUMBING WALLS.
- ALL 2X10 FLOOR JOIST SPANS TO HAVE 2X2 CROSS BRIDGING @ 7'-0" MAX. SPACING.
- PLACE DOUBLE JOISTS UNDER ALL PARALLEL PARTITIONS.
- INSTALL ALL FLOOR JOISTS CROWN UP.
- LINTELS IN BEARING WALLS SHALL BE 2 2X10 U.O.N
- SUPPLY AND INSTALL WOOD FRAMING TO MIN. GRADE AS FOLLOWS:

STUDS, RAFTERS AND POSTS: SPRUCE/PINE/FOR NO.2 OR BTR  
 FLOOR JOISTS: SPF NO.2 OR BTR  
 GENERAL FURRING AND BLOCKING: STD OR GROUP B SPECIES  
 B.U. BEAMS AND HEADERS: HEM. FIR NO.2 OR BTR

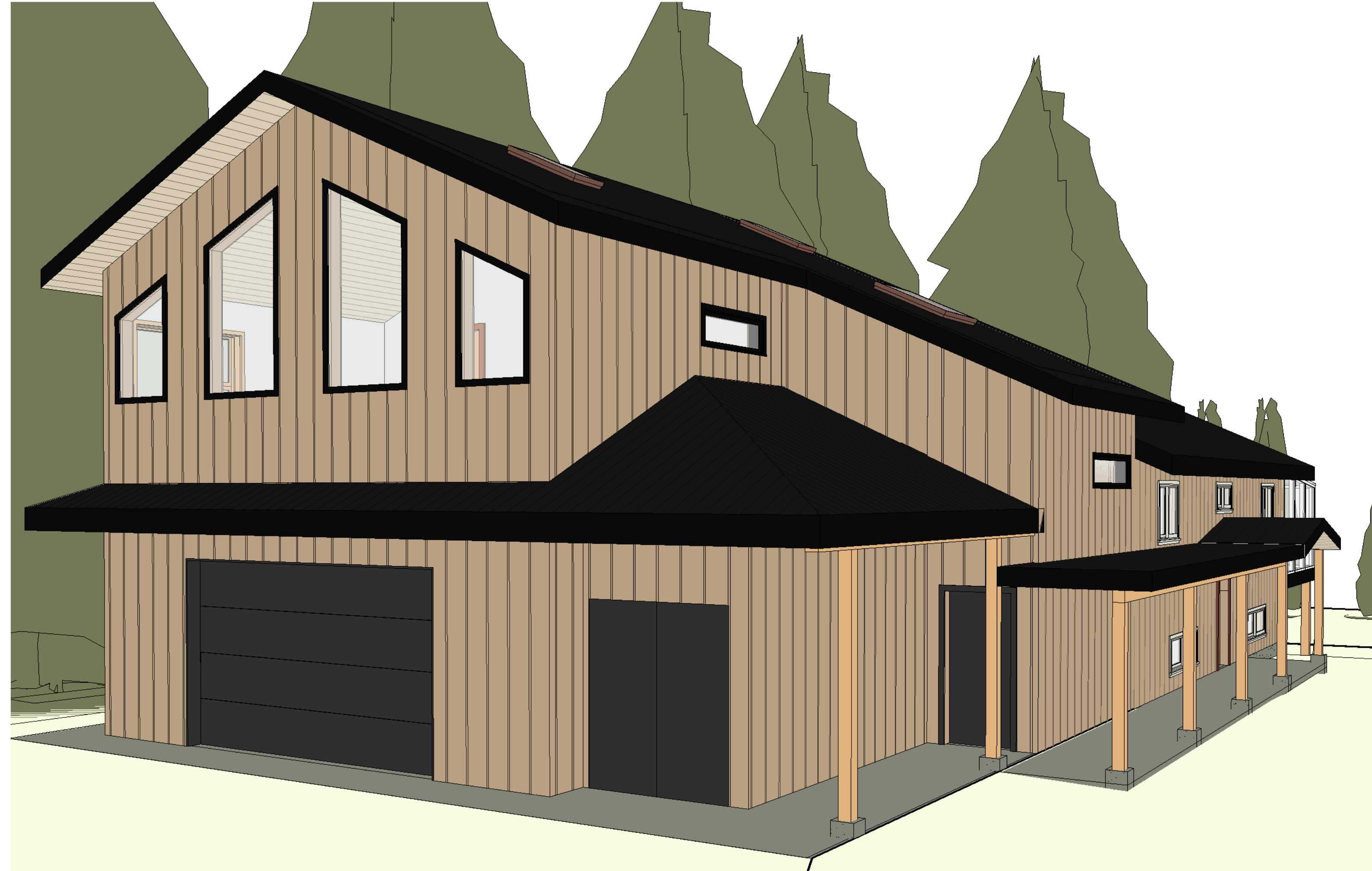
- FLOOR JOISTS SHALL HAVE BRIDGING ROWS @ 7'-0" MAX O.C.
- FLOOR AREAS TO BE FINISHED WITH SHEET VINYL OR CERAMIC TILES TO HAVE MIN. 1/4" PARTICLE BOARD APPLIED OVER SUBFLOOR
- FLOOR SHEATHING SHALL BE 5/8" D. FIR T&G PLYWOOD U.O.N.
- WALL SHEATHING SHALL BE 1/2 EXT. GRADE SPRUCE PLYWOOD
- WOOD FRAME CONSTRUCTION CLOSER THAN 8" TO THE GROUND MUST BE PRESSURE TREATED OR SEPARATED FROM THE CONCRETE WITH POLY TYPE 'S' ROLL TYPE ROOFING. ENDS AND SIDES OF BEAMS FRAMING INTO CONCRETE MUST BE PRESSURE TREATED OR A 1/2" AIRSPACE PROVIDED IF THE MEMBER IS BELOW GROUND LEVEL.
- ROOF SNOW BASED ON SS1.0kPa, SR 0.4kPa

**THERMAL AND MOISTURE PROTECTION:**

- FLASHING OVER ALL EXTERIOR OPENINGS.
- CAULK OVER AND AROUND ALL EXTERIOR OPENINGS USING NON-HARDENING CAULKING COMPOUND.
- FLASH ALL CHANGES IN MATERIALS ON EXTERIOR WALLS.
- ALL WOOD SIDING TO BE 8" MIN. ABOVE FINISHED GRADE.

# HAMPEL ADDITION FOR: PERMIT

1656 BAY ST  
 UCLUELET, BC VOR 3A0  
 DATE: MARCH 15TH, 2023

**BUILDING AND CODE INFORMATION:**

CIVIC ADDRESS: 1656 BAY ST, UCLUELET, BC, V0R 3A0  
 LEGAL DESCRIPTION: LOT 13, DISTRICT LOT 282, PLAN 26711  
 ZONING: R-1

<b>PROPERTY TOTALS:</b>	<b>PERMITTED:</b>	<b>PROPOSED:</b>
LOT AREA:		SQ M (10081sf)
FLOOR AREA COVERAGE:		SQ M(2892.83)
TOTAL LOT COVERAGE:	35%	28.7%

<b>EXISTING RESIDENCE:</b>	<b>PERMITTED:</b>	<b>PROPOSED:</b>
TOTAL SQUARE FOOTAGE:		2240sf
GROSS FLOOR AREA:		2165sf
LOT COVERAGE:		1120sf
FLOOR AREA RATIO:	0.43	
MAXIMUM BUILDING HEIGHT:	28ft	20' 1 5/8"

<b>ADDITION:</b>	<b>PERMITTED:</b>	<b>PROPOSED:</b>
TOTAL SQUARE FOOTAGE:		1909sf
GROSS FLOOR AREA:		1909sf
LOT COVERAGE:		1100sf
FLOOR AREA RATIO:	0.43	
MAX BUILDING HEIGHT:	28ft	27' 5 1/2"

<b>BUILDING TOTALS:</b>	<b>PERMITTED:</b>	<b>PROPOSED:</b>
TOTAL SQUARE FOOTAGE:		4149sf
GROSS FLOOR AREA:		4074sf
LOT COVERAGE:		2265sf
TOTAL LOT COVERAGE:		2892.83
FLOOR AREA RATIO:	0.43	0.41
MAX BUILDING HEIGHT:	28ft	27' 5 1/2"

**SETBACKS:** RE: SITE PLAN

**INDEX:**

PAGE #	CATEGORIES PAGES USED	PAGE DESCRIPTION
T1.--	TITLE PAGES T1.01	TITLE PAGE
A1.--	FLOOR PLANS A1.01 A1.02 A1.03	SITE SURVEY, SITE EXISTING FOUNDATION ADDITION, ROOF ADDITION
	A1.04	BASEMENT RENOVATION, ENTRY LEVEL ADDITION
	A1.05	FIRST FLOOR RENOVATION, SECOND FLOOR ADDITION
A2.--	ELEVATIONS, SECTIONS A2.01	SEISMIC EXTERIOR ELEVATIONS, SECTION
A3.--	SECTIONS	
A4.--	ENLARGED PLANS	
A5.--	DETAILS A5.01	CONSTRUCTION DETAILS
A6.--	SCHEDULES. A6.01	WINDOW & DOOR
A9.--	PERSPECTIVES A9.01 A9.02	EXTERIOR INTERIOR

**REVISIONS:**

PO BOX 1067  
 TOFINO BC, V0R 2Z0

info@nectardesign.ca  
 www.nectardesign.ca

**HAMPEL ADDITION**  
 1656 BAY ST,  
 UCLUELET, BC, V0R 3A0

Project	HAMPEL ADDITION
Drawn By	B.F
Sheet Size	24 X 36
Date	03-15-2023
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Sheet Title:	TITLE PAGE
Scale	As Noted
Sheet Number:	<b>T 1.01</b>



Site Plan of:  
**Lot 13, District Lot 282,  
Clayoquot District, Plan 26711**

Parcel Identifier: 002-407-728

Civic address: 1656 Bay Street

**SCALE - 1 : 3 5 0**



All distances are in metres and decimals thereof.

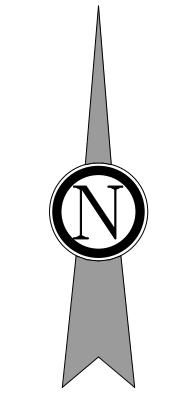
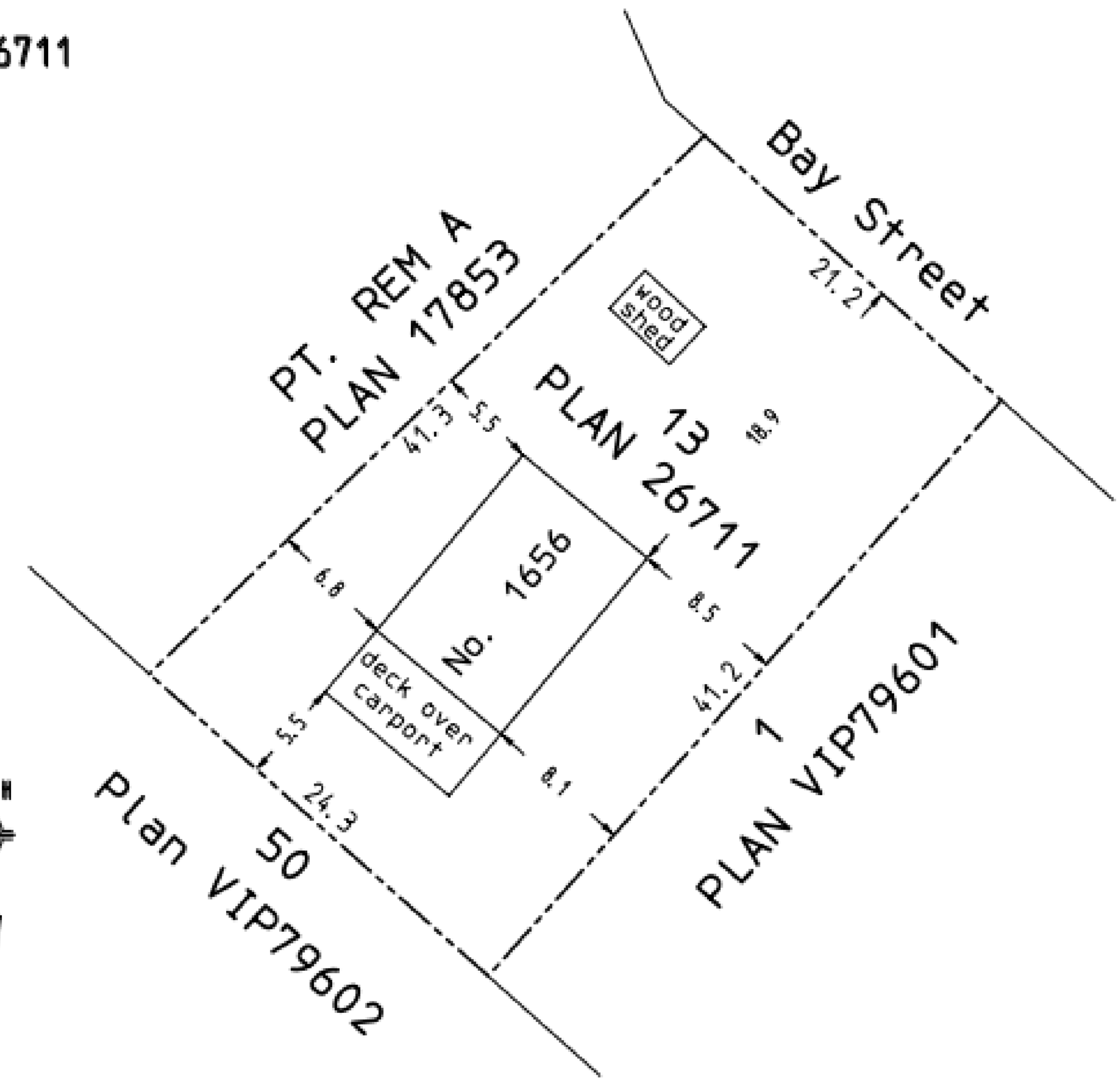
(plot on 8.5" x 11" sheet)

The following non-financial changes are shown on the current title and may affect the property None.

Parcel dimensions shown hereon are derived from Land Title Office records.

This sketch represents a site improvement survey and is not intended for the purposes of a survey/mortgage certificate.

<b>FILE :</b> 236-Bay
<b>DWG/DATE:</b> 2022-09-02
<b>AG Surveys</b>
545 - 110 Marine Drive
Ucluelet, BC V0R 3A0
phone (250) 266-4536



**HAMPEL ADDITION**  
1656 BAY ST,  
UCLUELET, BC, V0R 3A0

① SITE  
Scale: 1/16" = 1'-0"

Project	HAMPEL ADDITION
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Sheet Title:

- PLANS
- SITE SURVEY
- SITE

Scale As Noted

Sheet Number:

**A 1.01**



# HAMPEL ADDITION

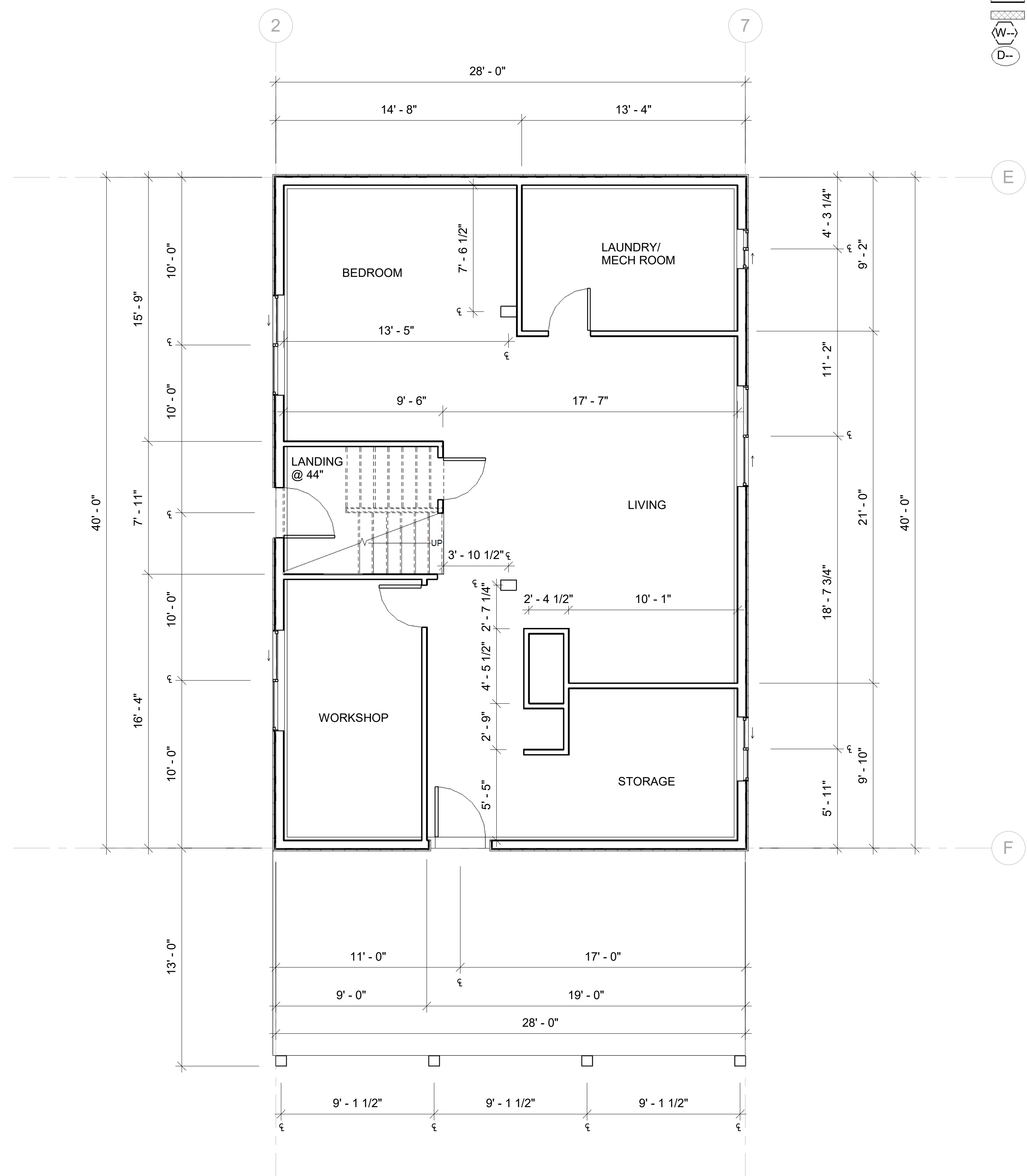
1656 BAY ST,  
UCLUELET, BC, V0R 3A0

**FLOOR PLAN NOTES:**

- ALL EXTERIOR DIMENSIONS TO FACE OF STUD U.O.N.
- ALL INTERIOR DIMENSIONS TO FACE OF STUD U.O.N.
- ALL GRID LINES TO FACE OF STUD U.O.N.

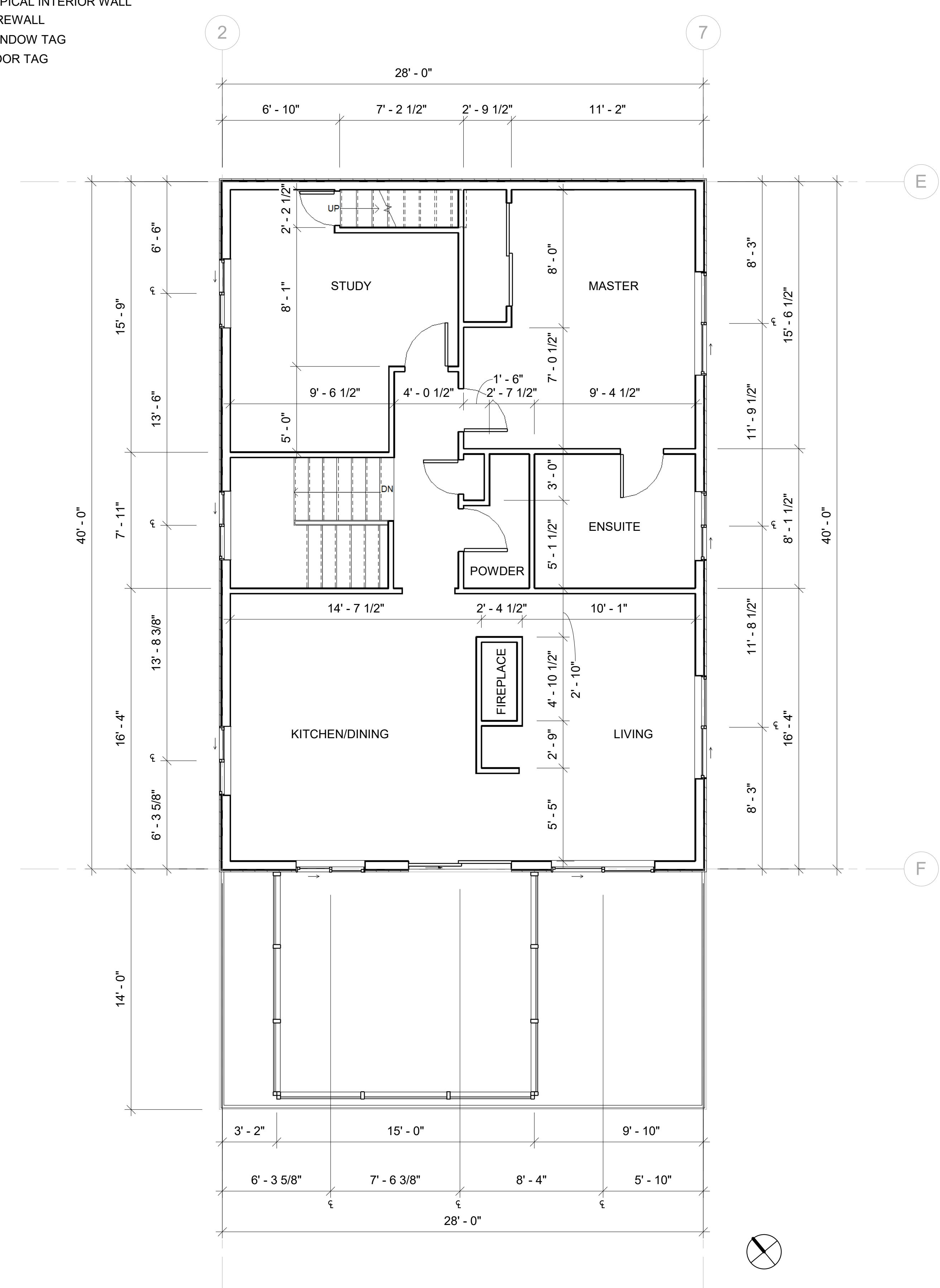
**FLOOR PLAN KEY:**

- NOTES A POINT LOAD
- TYPICAL FOUNDATION WALL
- TYPICAL INSULATED EXTERIOR WALL
- TYPICAL INTERIOR WALL
- FIREWALL
- WINDOW TAG
- DOOR TAG



2 EXISTING BASEMENT  
Scale: 1/4" = 1'-0"

BASEMENT: 1120 SQFT



1 EXISTING FIRST FLOOR  
Scale: 1/4" = 1'-0"

FIRST FLOOR: 1120 SQFT

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Drawn By	B.F
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PLANS  
- EXISTING

Scale: As Noted

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# A 1.02

# HAMPEL ADDITION

1656 BAY ST,  
UCLUELET, BC, V0R 3A0

Project HAMPEL ADDITION

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Revisions:

For: PERMIT

Sheet Title:

PLANS  
- FOUNDATION ADDITION  
- ROOF ADDITION

Scale As Noted

Sheet Number:

## A 1.03

**FLOOR PLAN NOTES:**

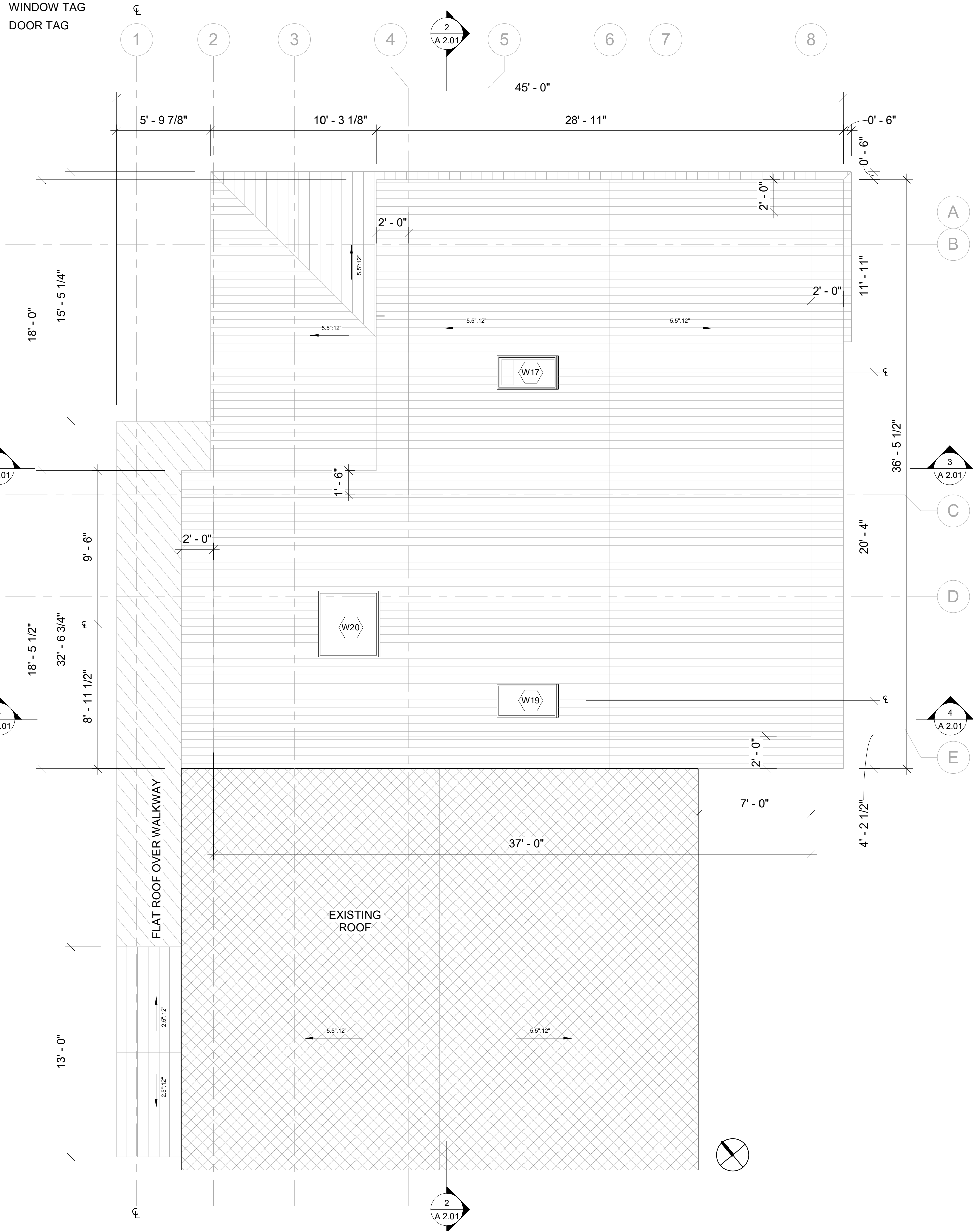
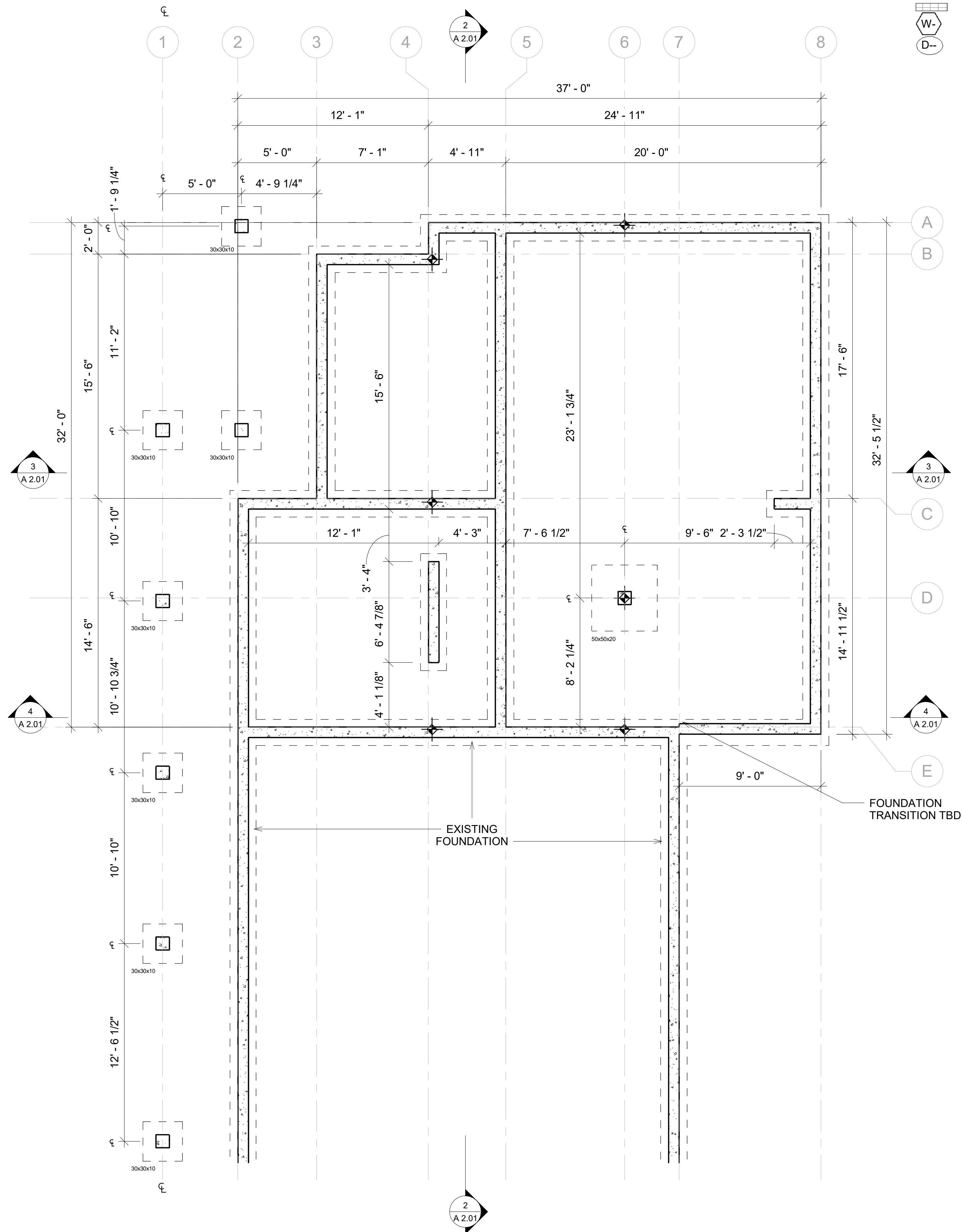
ALL EXTERIOR DIMENSIONS TO FACE OF STUD U.O.N.

ALL INTERIOR DIMENSIONS TO FACE OF STUD U.O.N.

ALL GRID LINES TO FACE OF STUD U.O.N.

**FLOOR PLAN KEY:**

- NOTES A POINT LOAD
- TYPICAL FOUNDATION WALL
- TYPICAL INSULATED EXTERIOR WALL
- TYPICAL INTERIOR WALL
- FIREWALL
- WINDOW TAG
- DOOR TAG



② FOUNDATION ADDITION  
Scale: 1/4" = 1'-0"

① ROOF ADDITION  
Scale: 1/4" = 1'-0"



# HAMPEL ADDITION

1656 BAY ST,  
UCLUELET, BC, V0R 3A0

**FLOOR PLAN NOTES:**

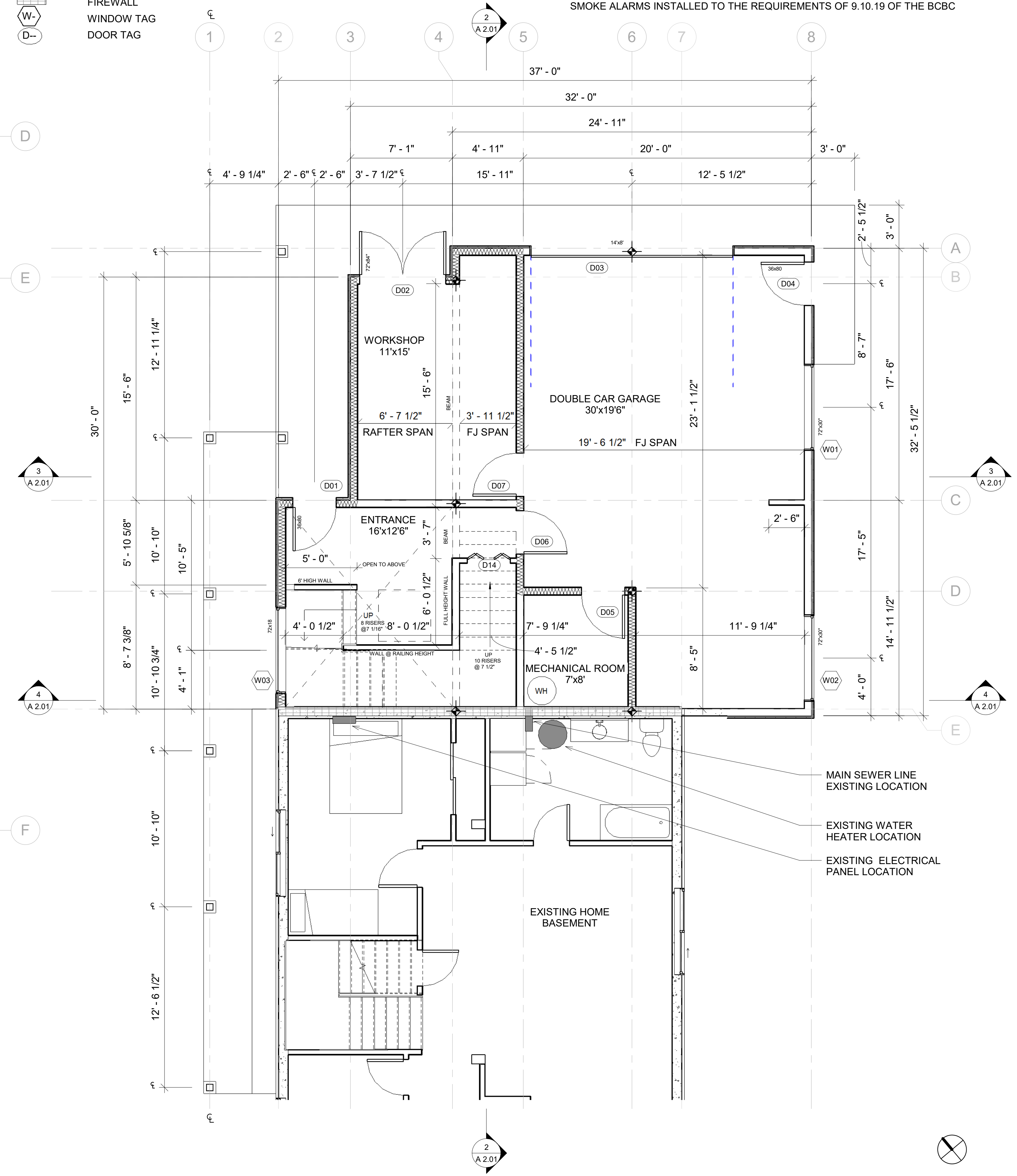
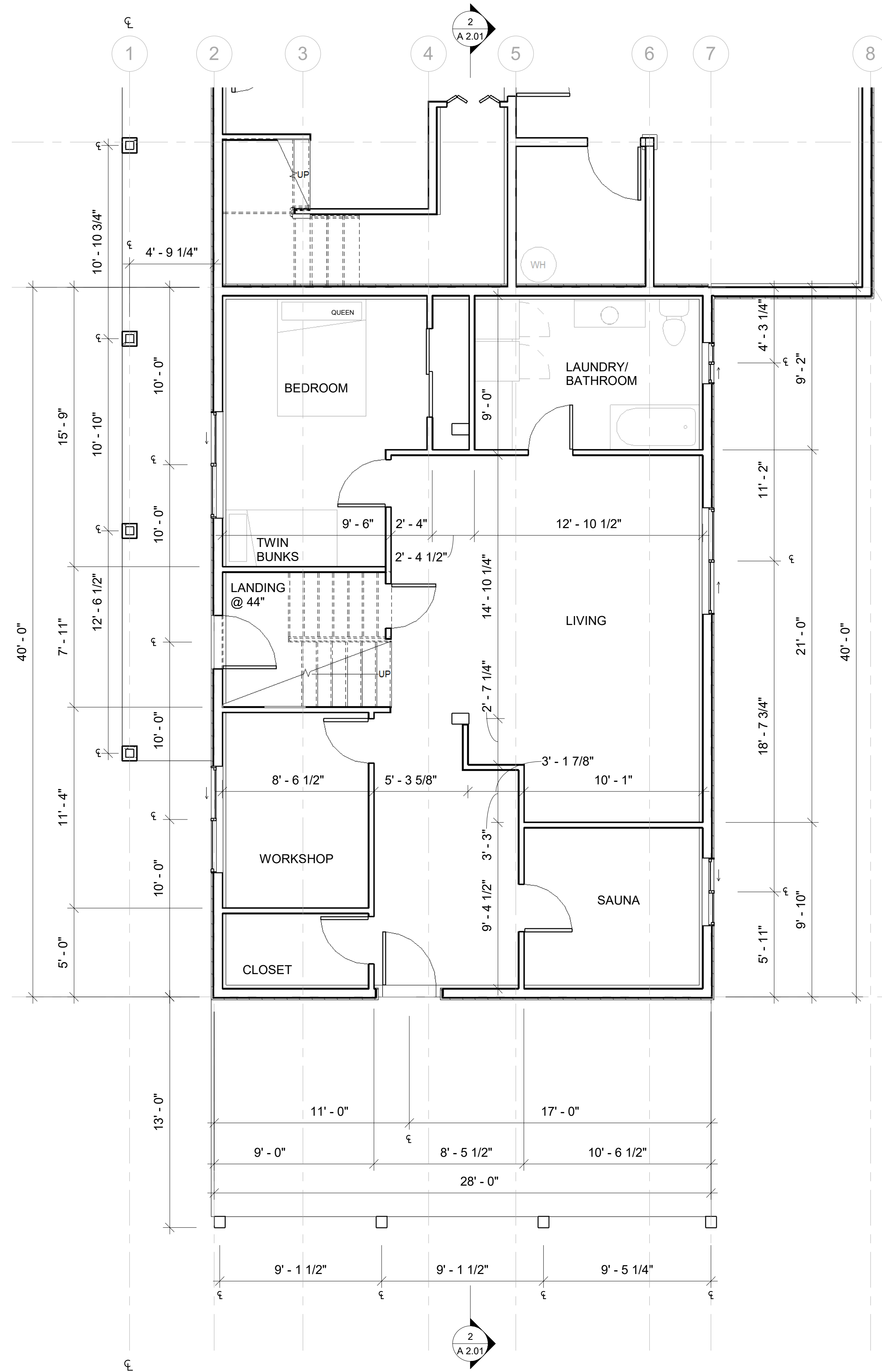
- ALL EXTERIOR DIMENSIONS TO FACE OF STUD U.O.N.
- ALL INTERIOR DIMENSIONS TO FACE OF STUD U.O.N.
- ALL GRID LINES TO FACE OF STUD U.O.N.

**FLOOR PLAN KEY:**

- NOTES A POINT LOAD
- TYPICAL FOUNDATION WALL
- TYPICAL INSULATED EXTERIOR WALL
- TYPICAL INTERIOR WALL
- FIREWALL
- WINDOW TAG
- DOOR TAG

**MECHANICAL EQUIPMENT:**

- HEATING - BASEBOARDS
- DHW - 80 GAL ELECTRIC WATER TANK
- VENTILATION - HRV INSTALLED TO THE REQUIREMENTS OF 9.32 OF THE BCBC
- SMOKE ALARMS INSTALLED TO THE REQUIREMENTS OF 9.10.19 OF THE BCBC



2 BASEMENT RENOVATION  
Scale: 1/4" = 1'-0"

1 ENTRY LEVEL ADDITION  
Scale: 1/4" = 1'-0"

Project	HAMPEL ADDITION
Drawn By	B.F
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Sheet Title:

- PLANS
- BASEMENT RENOVATION
- ENTRY LEVEL ADDITION

Scale: As Noted

Sheet Number:

# A 1.04

# HAMPEL ADDITION

1656 BAY ST,  
UCLUELET, BC, V0R 3A0

**FLOOR PLAN NOTES:**

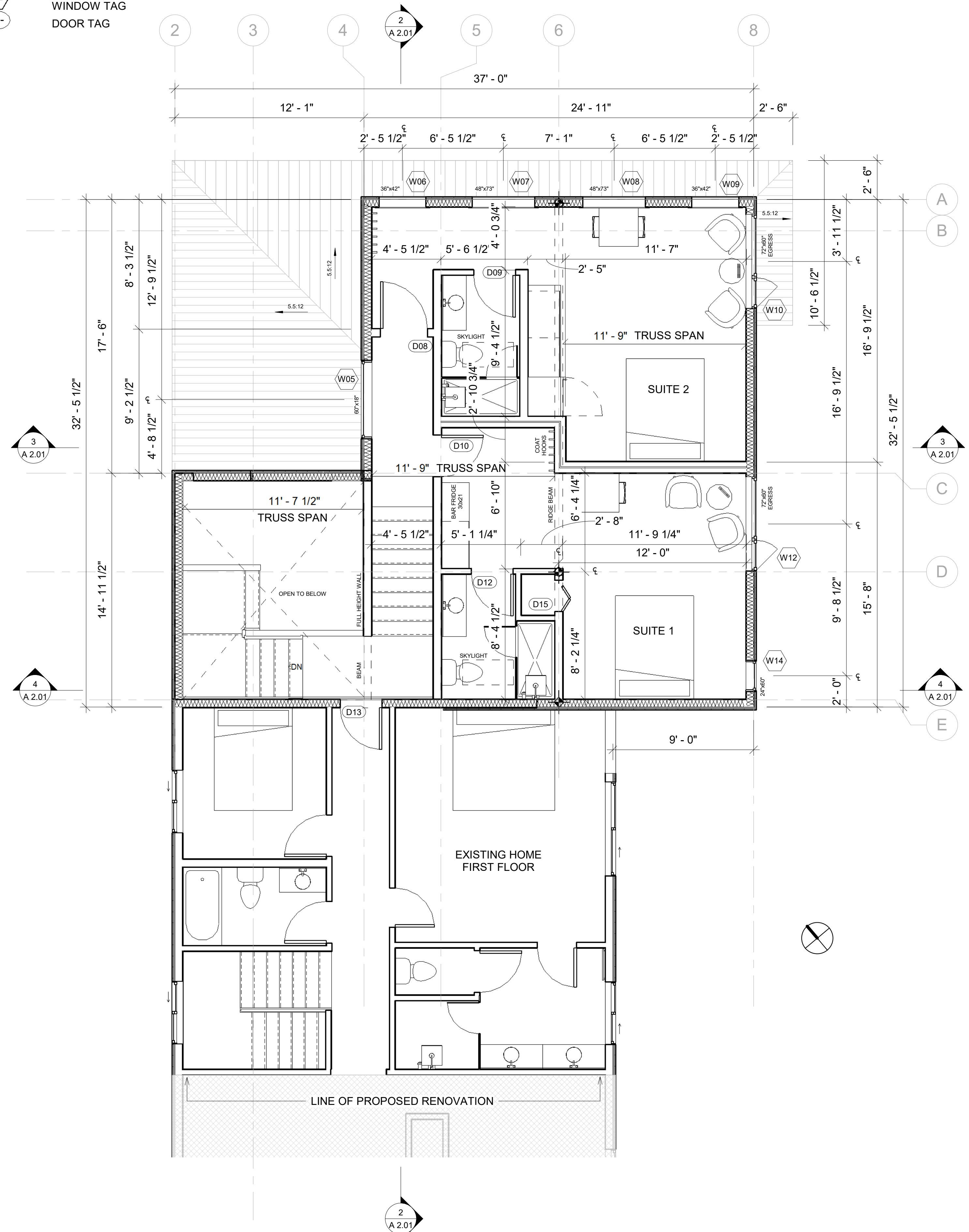
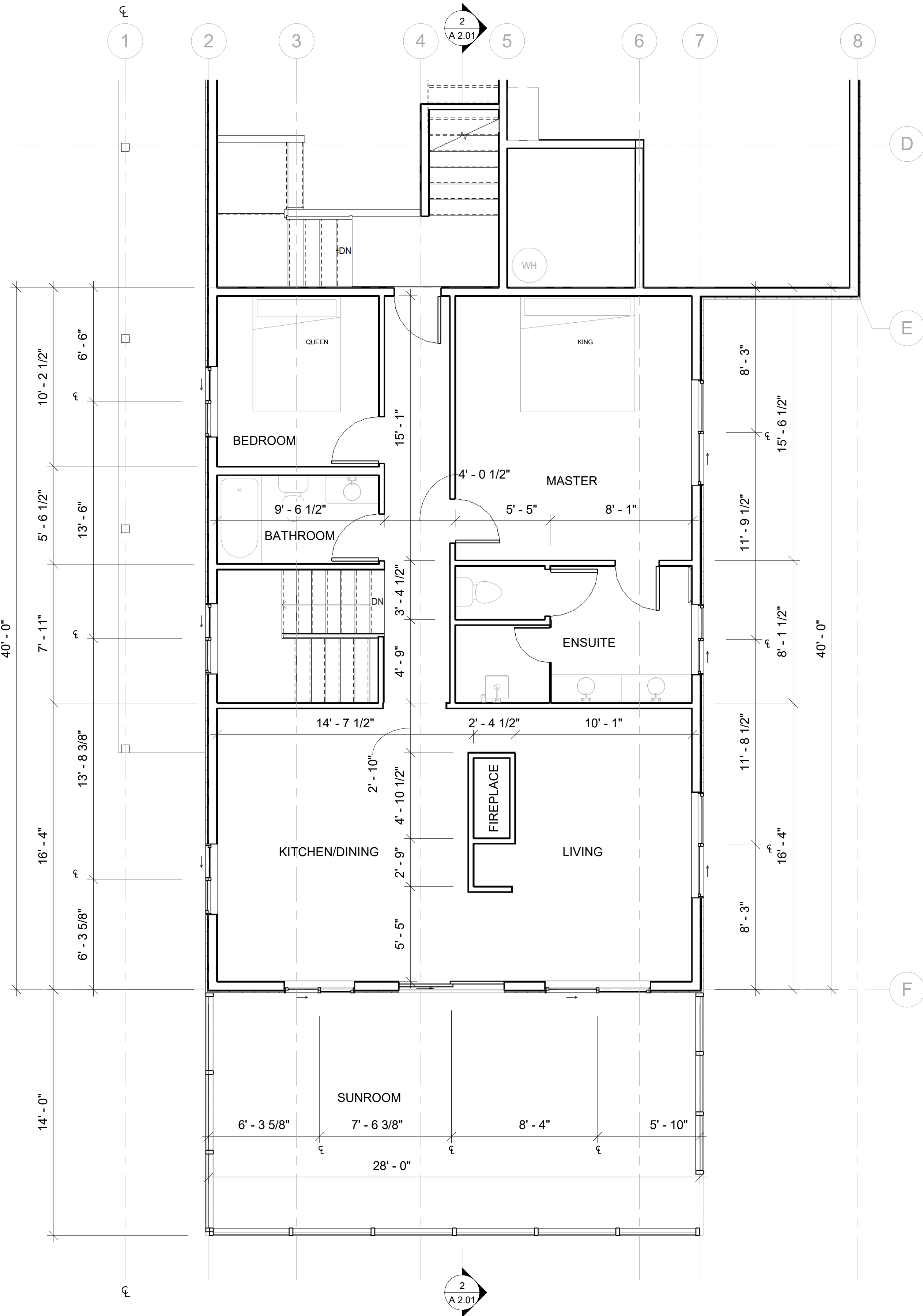
- ALL EXTERIOR DIMENSIONS TO FACE OF STUD U.O.N.
- ALL INTERIOR DIMENSIONS TO FACE OF STUD U.O.N.
- ALL GRID LINES TO FACE OF STUD U.O.N.

**FLOOR PLAN KEY:**

- NOTES A POINT LOAD
- TYPICAL FOUNDATION WALL
- TYPICAL INSULATED EXTERIOR WALL
- TYPICAL INTERIOR WALL
- FIREWALL
- WINDOW TAG
- DOOR TAG

**MECHANICAL EQUIPMENT:**

- HEATING - BASEBOARDS
- DHW - 80 GAL ELECTRIC WATER TANK
- VENTILATION - HRV INSTALLED TO THE REQUIREMENTS OF 9.32 OF THE BCBC
- SMOKE ALARMS INSTALLED TO THE REQUIREMENTS OF 9.10.19 OF THE BCBC



2 FIRST FLOOR RENOVATION  
Scale: 1/4" = 1'-0"

1 SECOND FLOOR ADDITION  
Scale: 1/4" = 1'-0"

ADDITION (EXCLUDING OPEN TO BELOW): 809SF  
SUITES APPROXIMATE: 350SF EACH

Project	HAMPEL ADDITION
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PLANS	
- FIRST FLOOR RENOVATION	
- SECOND FLOOR ADDITION	

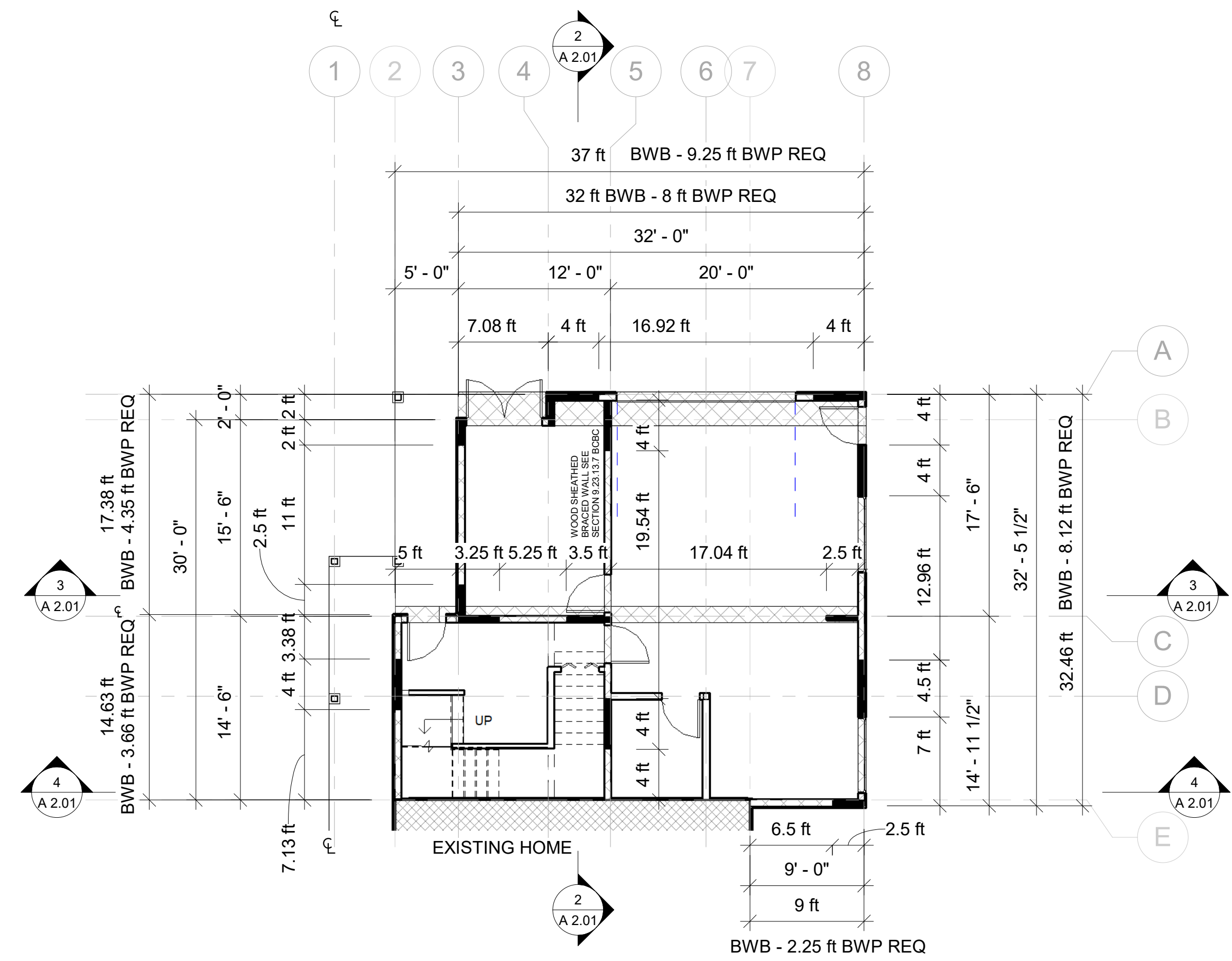
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# A 1.05



**HAMPEL ADDITION**  
1656 BAY ST,  
UCLUELET, BC, V0R 3A0



1 ENTRY LEVEL SEISMIC  
Scale: 1/8" = 1'-0"

**FLOOR PLAN KEY:**

- NOTES A POINT LOAD
- TYPICAL FOUNDATION WALL
- TYPICAL INSULATED EXTERIOR WALL
- TYPICAL INTERIOR WALL
- FIREWALL
- WINDOW TAG
- DOOR TAG

**FLOOR PLAN NOTES:**

- ALL EXTERIOR DIMENSIONS TO FACE OF STUD U.O.N.
- ALL INTERIOR DIMENSIONS TO FACE OF STUD U.O.N.
- ALL GRID LINES TO FACE OF STUD U.O.N.

**SEISMIC PLAN KEY:**

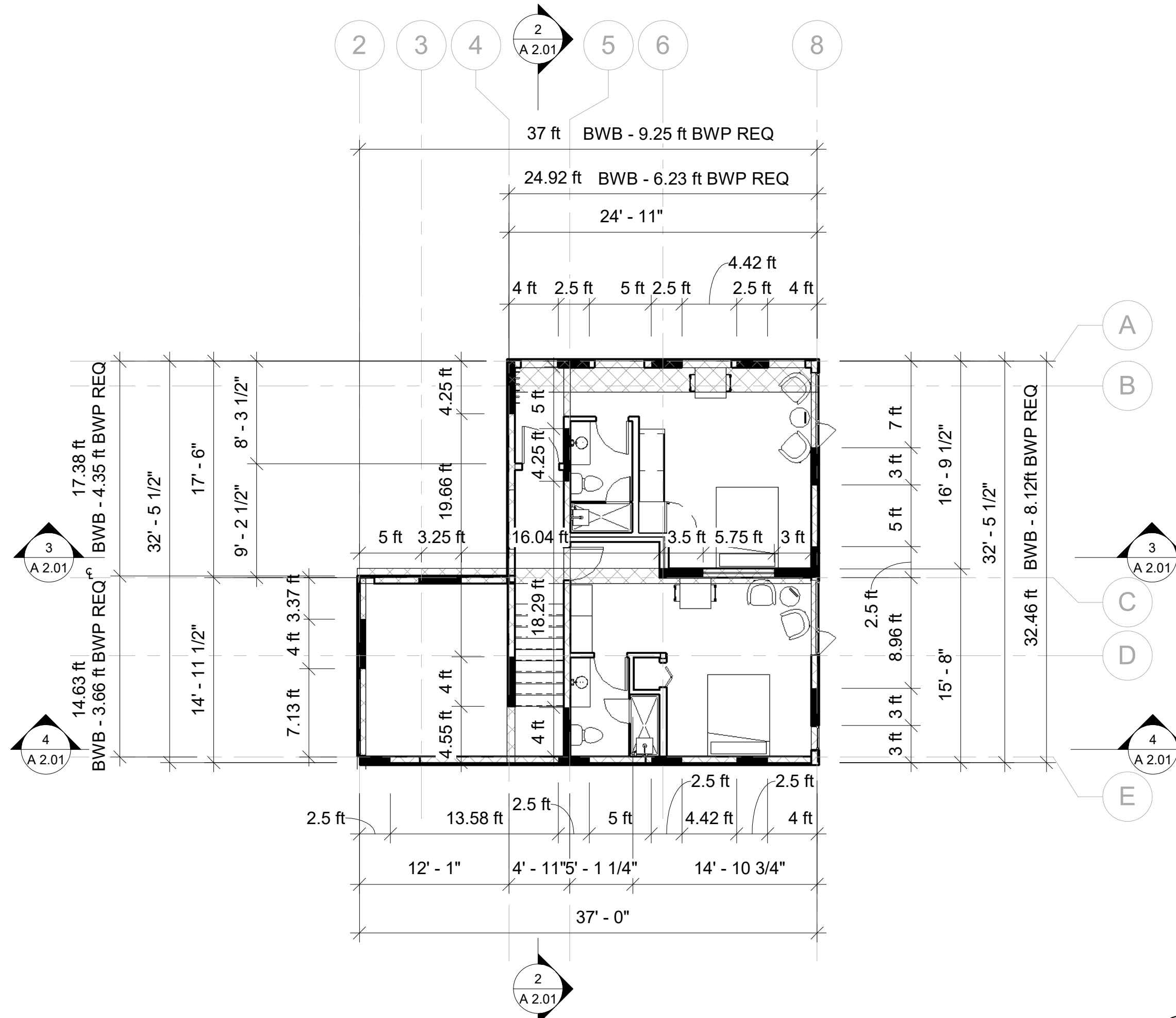
- BRACED WALL BAND
- BRACED WALL

**SEISMIC PLAN NOTES**

- SEISMIC PLAN BASED OFF 1.0 <math>S\_a(0.2)</math><math>< 1.8</math> SPECTRAL ACCELERATION
- ALL BRACED WALL BANDS SHOWN ARE 1.2 METERS OR LESS
- CALCULATIONS BASED ON 25% BRACED WALL PANEL (BWP) PERCENTAGES
- \*SEISMIC LAYOUT IS FOR REFERENCE ONLY. CONTRACTOR TO ENSURE THEY FOLLOW THE MOST UP TO DATE BCBC GUIDELINES FOR LATERAL LOADS IN HIGH SEISMIC REGIONS (APPENDIX 9.23.13.4)
- \*SEISMIC LAYOUT PROVIDED SHOWS THE *MINIMUM* PART 9 GUIDELINES TO MEET THE BC BUILDING CODE. IF POSSIBLE, IT IS BEST PRACTICE TO CONTINUE BWP CONSTRUCTION REQUIREMENTS ALONG THE ENTIRE BWB WALL LENGTH TO STRENGTHEN LATERAL RESISTANCE

9.23.13.7. Additional System Considerations

- 1) Except as provided in Sentences (2) and (3), one exterior wall of the uppermost storey in each orthogonal direction may be set back from the exterior wall of the storey below, provided the adjacent interior braced wall band of the storey below the setback
  - a) is spaced not more than 10.6 m from the exterior wall of the storey below the setback wall,
  - b) consists of braced wall panels that are constructed of a wood-based material in conformance with Sentence 9.23.13.6.(2),
  - c) extends to the foundation, and
  - d) is not taken into consideration when providing braced wall panels constructed of a wood-based material at spacing intervals of not more than 15 m as per Sentence 9.23.13.6.(6).
- 2) Where the exterior wall of the uppermost storey is set back from the exterior wall of the storey below, the roof and floor space supporting the setback wall shall be sheathed with a wood-based material between the exterior wall of the storey below the setback and the adjacent interior braced wall bands of the storey below the setback.
- 3) Where the exterior wall of the uppermost storey is set back from the exterior wall of the storey below, the exterior walls perpendicular to the setback wall shall
  - a) have their top plate connected with nails that are spaced at no greater than half the spacing required in Table 9.23.3.4., and
  - b) have their top plate splices fastened with twice the number of nails specified in Sentences 9.23.11.4.(4) and (5).
- 4) The maximum distance between adjacent required braced wall panels in a braced wall band, measured from the edge of the panels, may be increased to 7.3 m provided that, throughout the height of the building, the length of any braced wall panel within the braced wall band is not less than 1.2 m.
- 5) The maximum spacing between the centre lines of required braced wall bands given in Table 9.23.13.5. may be increased from 7.6 m to no more than 10.6 m, provided that the interior braced wall band whose spacing is being increased is replaced with an interior braced wall band that
  - a) consists of braced wall panels that are constructed of a wood-based material in conformance with Sentence 9.23.13.6.(2),
  - b) extends to the foundation, and
  - c) is not taken into consideration when providing braced wall panels constructed of a wood-based material at spacing intervals no greater than 15 m as per Sentence 9.23.13.6.(6).
- 6) For each orthogonal direction of the building, the length of required braced wall panels of one exterior wall given in Table 9.23.13.5. may be reduced from 40% to no less than 25% of the length of the braced wall band, provided an additional parallel and adjacent interior braced wall band is constructed that
  - a) is spaced not more than 10.6 m from the exterior wall,
  - b) consists of braced wall panels that are constructed of a wood-based material in conformance with Sentence 9.23.13.6.(2) and whose lengths sum to no less than 25% of the length of the braced wall band,
  - c) extends to the foundation, and
  - d) is not taken into consideration when providing braced wall panels constructed of a wood-based material at spacing intervals no greater than 15 m as per Sentence 9.23.13.6.(6).
- 7) Where the length of required braced wall panels of an exterior wall is reduced as described in Sentence (6), the ratio of the length of braced wall panels in the respective upper braced wall bands to the length of braced wall panels in the reduced exterior braced wall band shall not exceed 2.



2 SECOND FLOOR SEISMIC  
Scale: 1/8" = 1'-0"

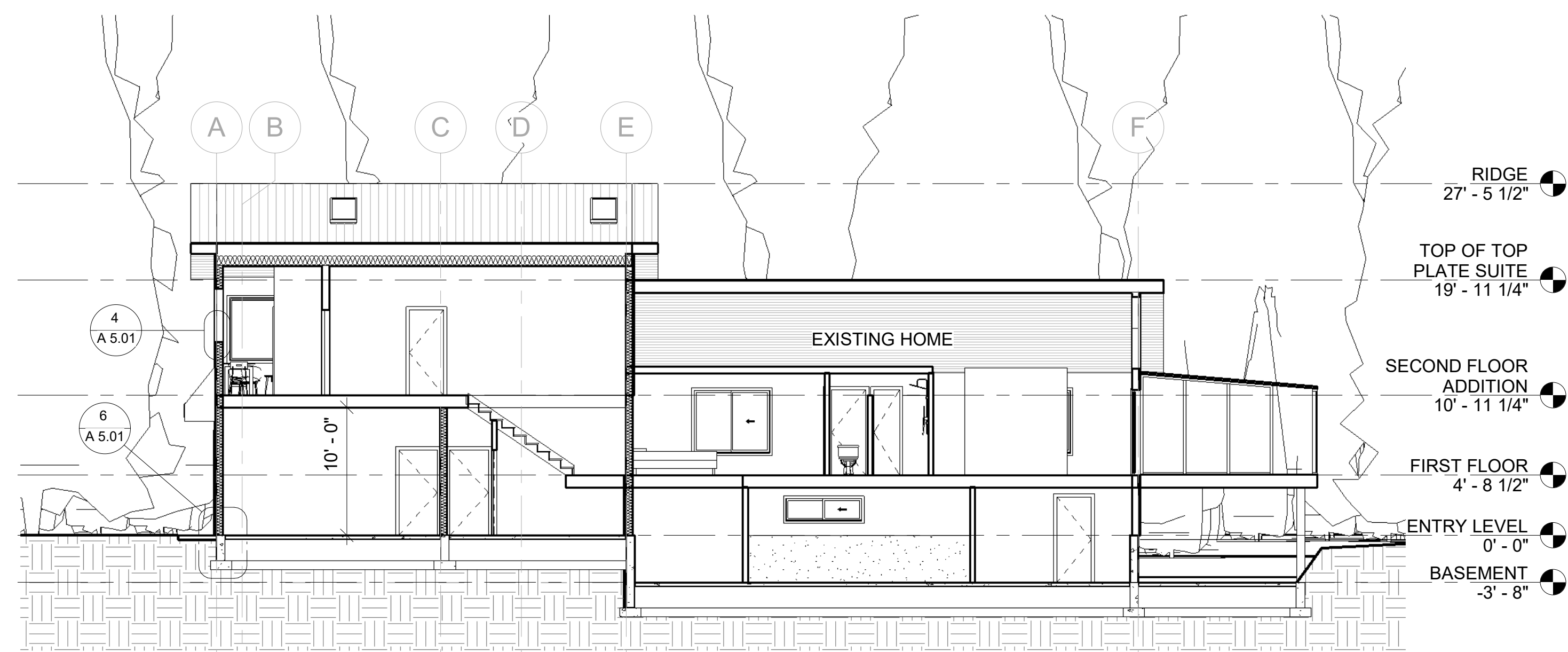
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Drawn By	B.F
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Sheet Title:	PLANS - SEISMIC
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Sheet Number:	<b>A 1.06</b>



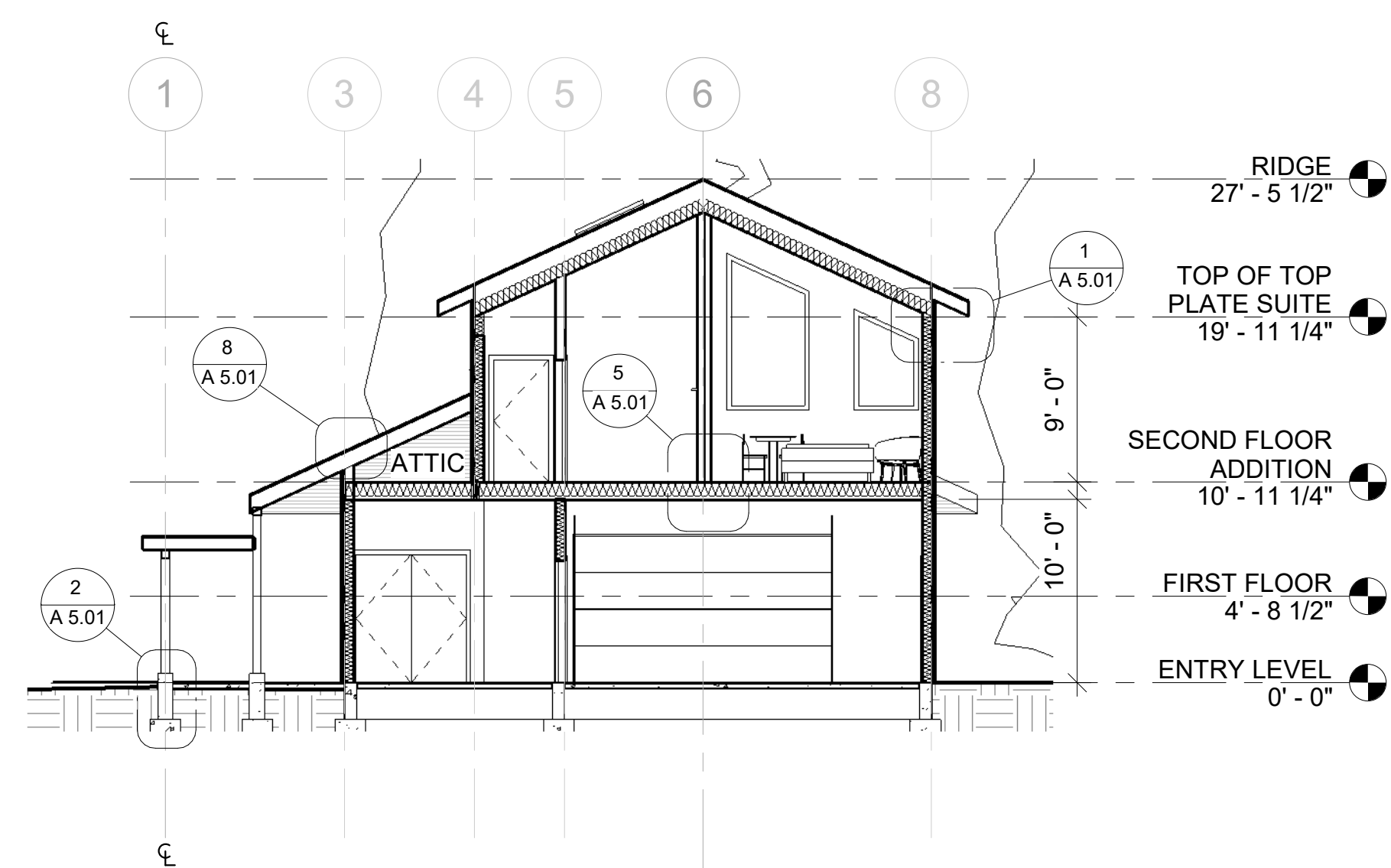
**HAMPEL ADDITION**  
1656 BAY ST,  
UCLUELET, BC, V0R 3A0

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Sheet Size	24X36
Date	03-15-2023
Revisions:	
For:	PERMIT
Sheet Title:	
ELEVATIONS	
- EXTERIOR	
- SECTIONS	
Scale	As Noted
Sheet Number:	

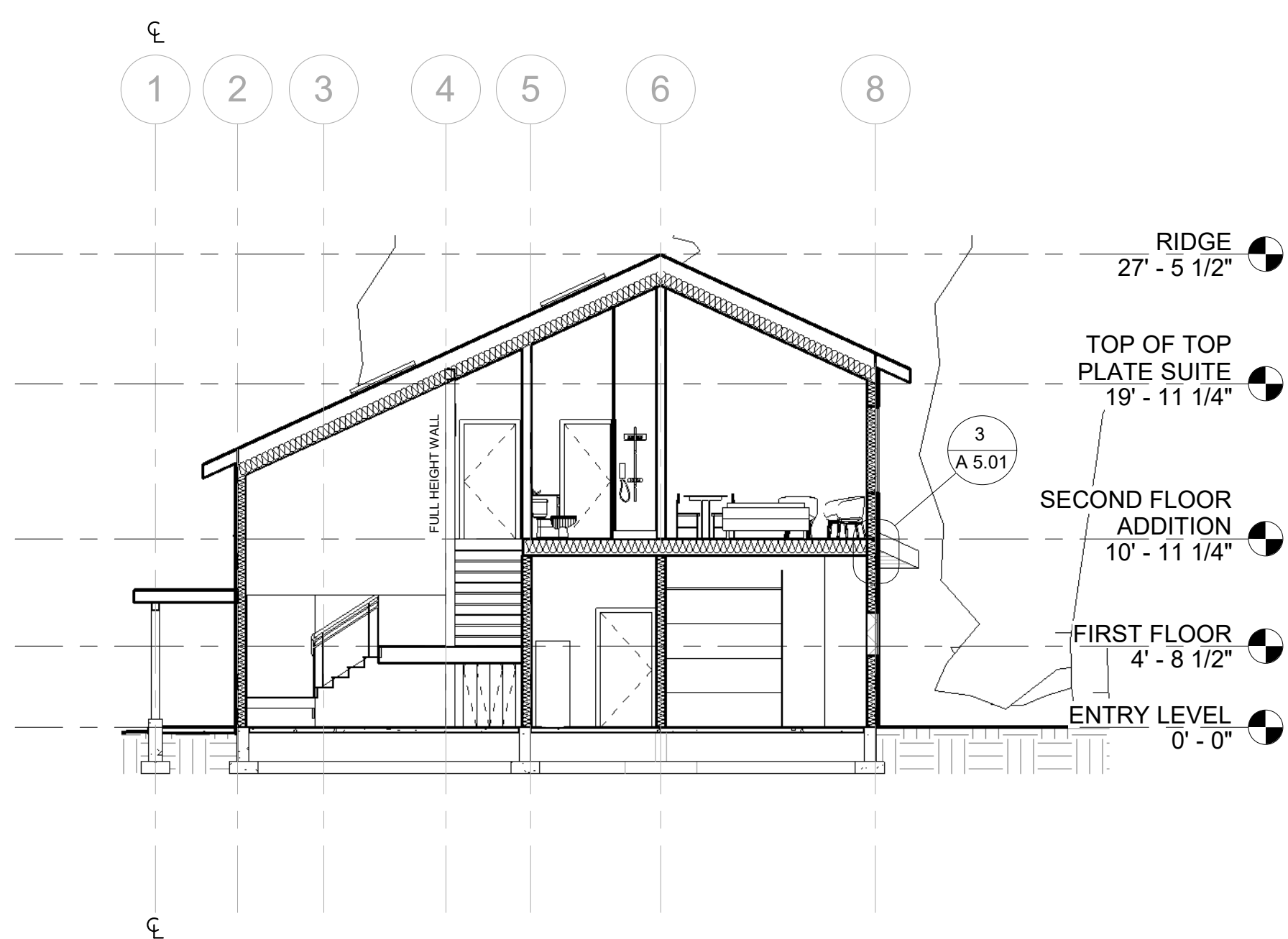
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② N/S SECTION  
Scale: 1/8" = 1'-0"



③ E/W SECTION  
Scale: 1/8" = 1'-0"



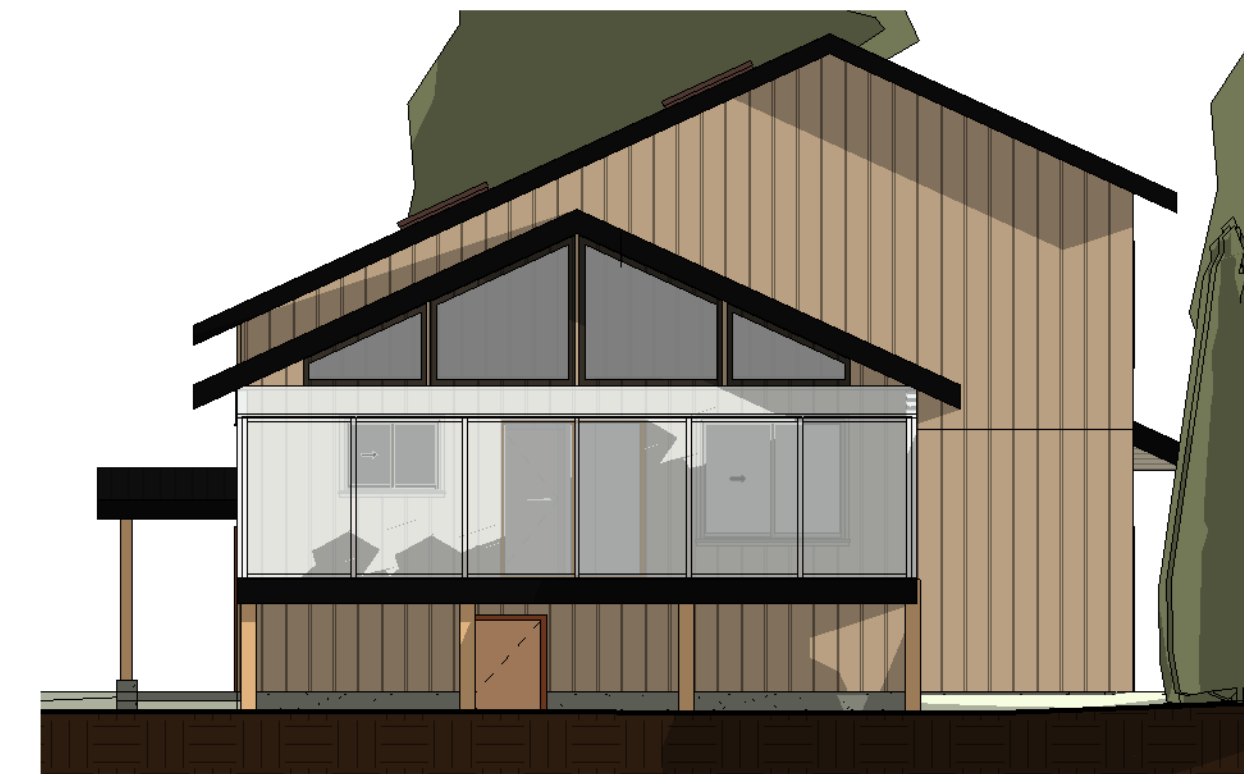
④ E/W SECTION 2  
Scale: 1/8" = 1'-0"



NORTH



EAST



SOUTH

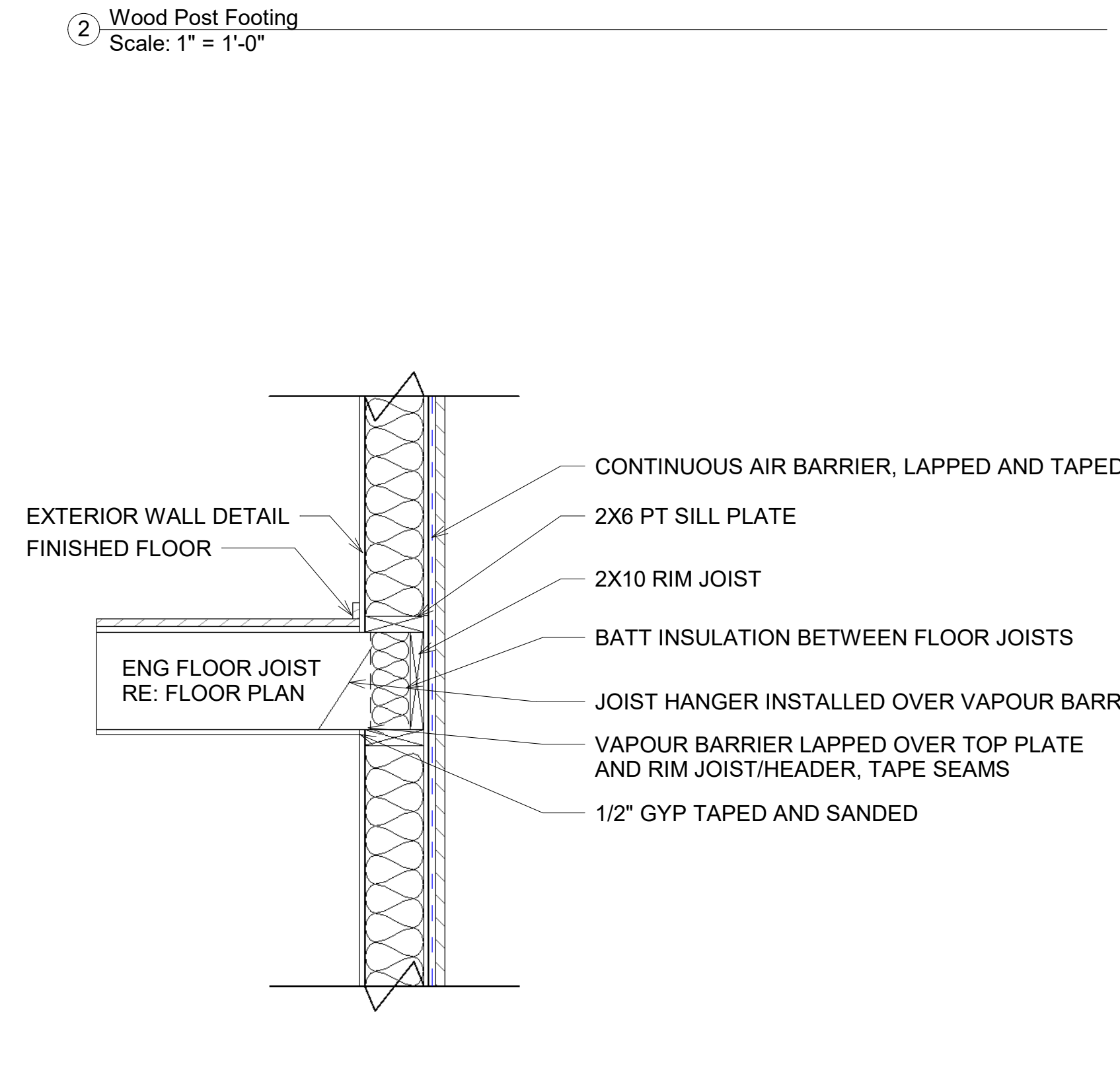
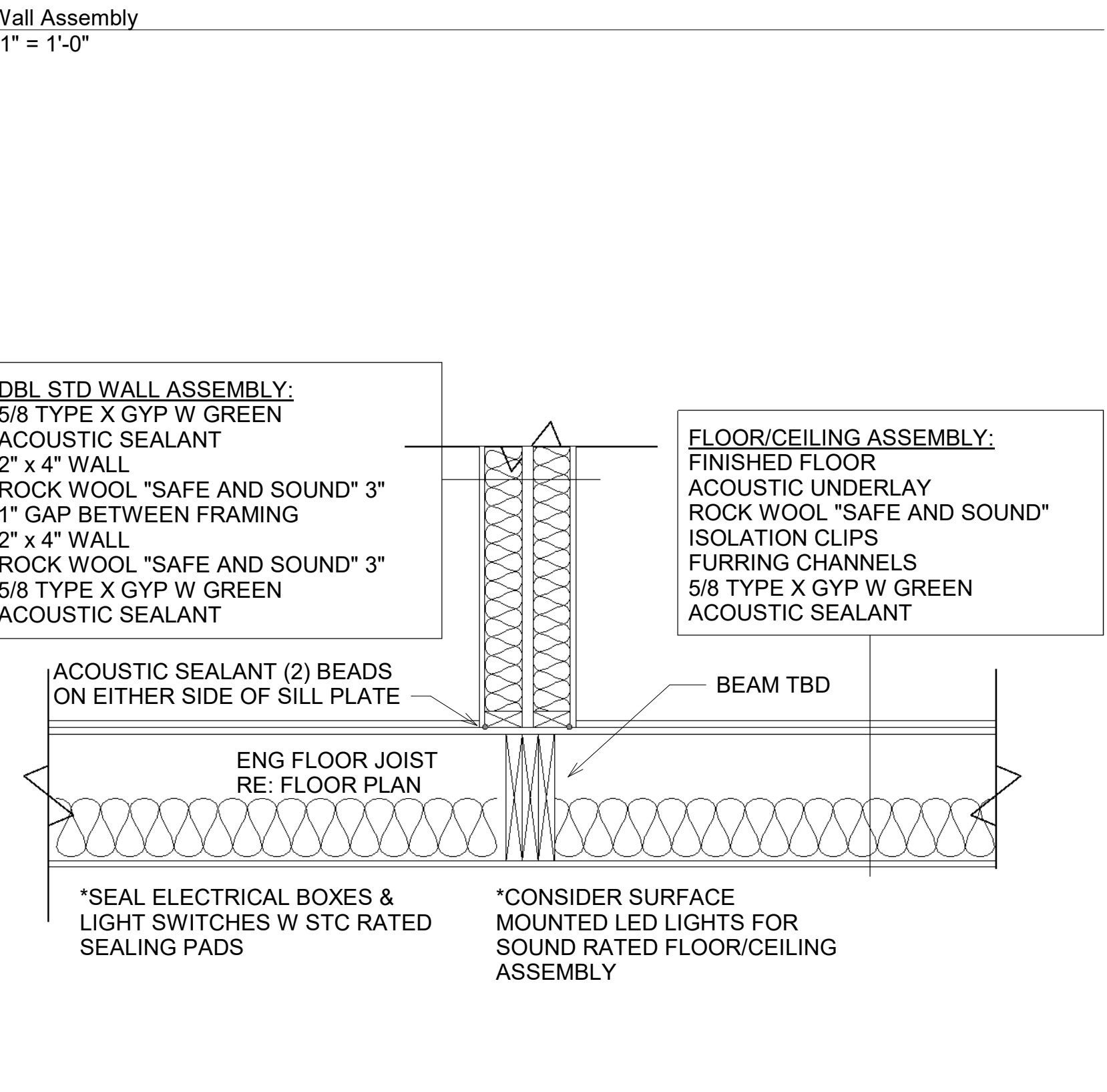
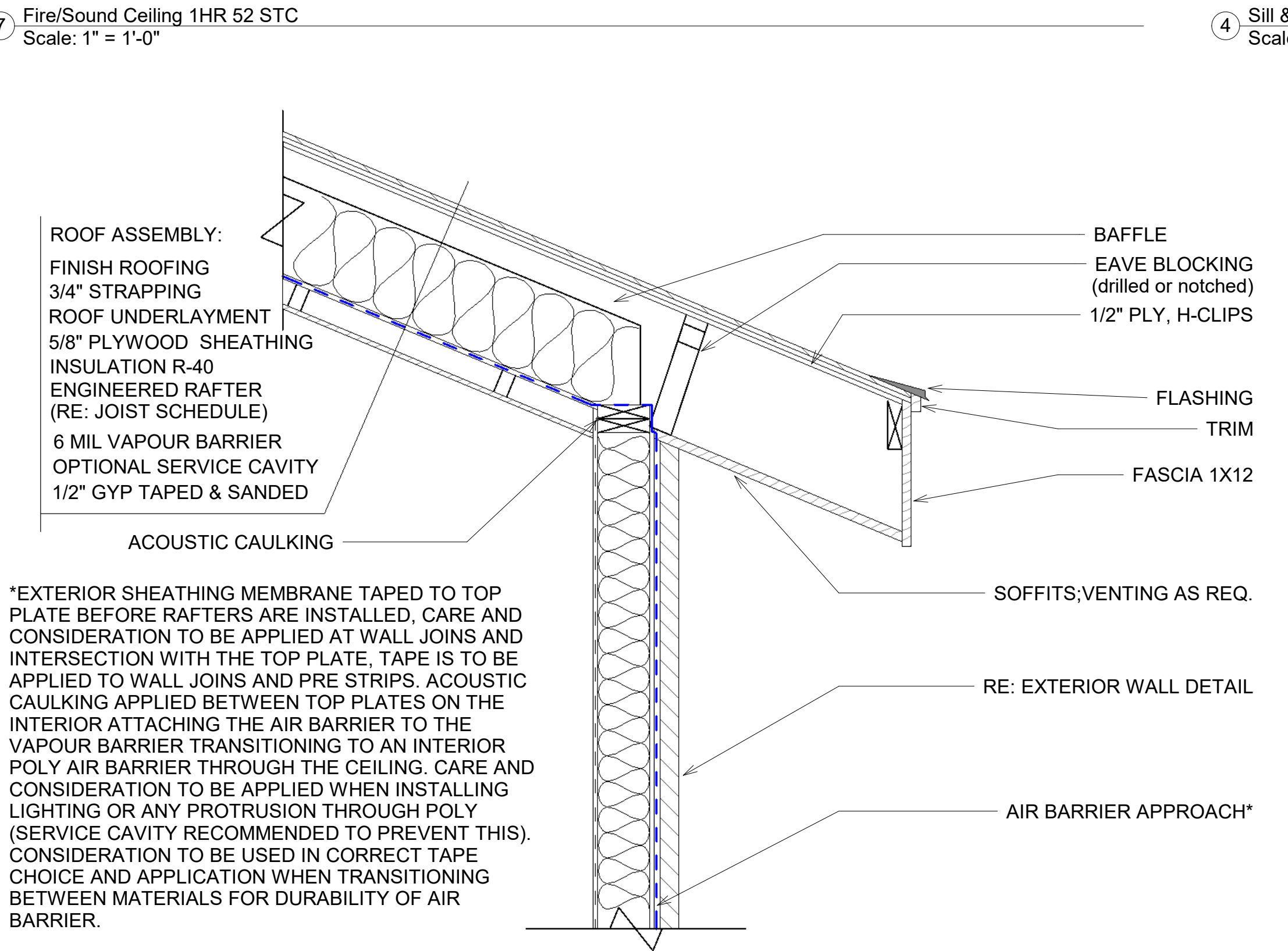
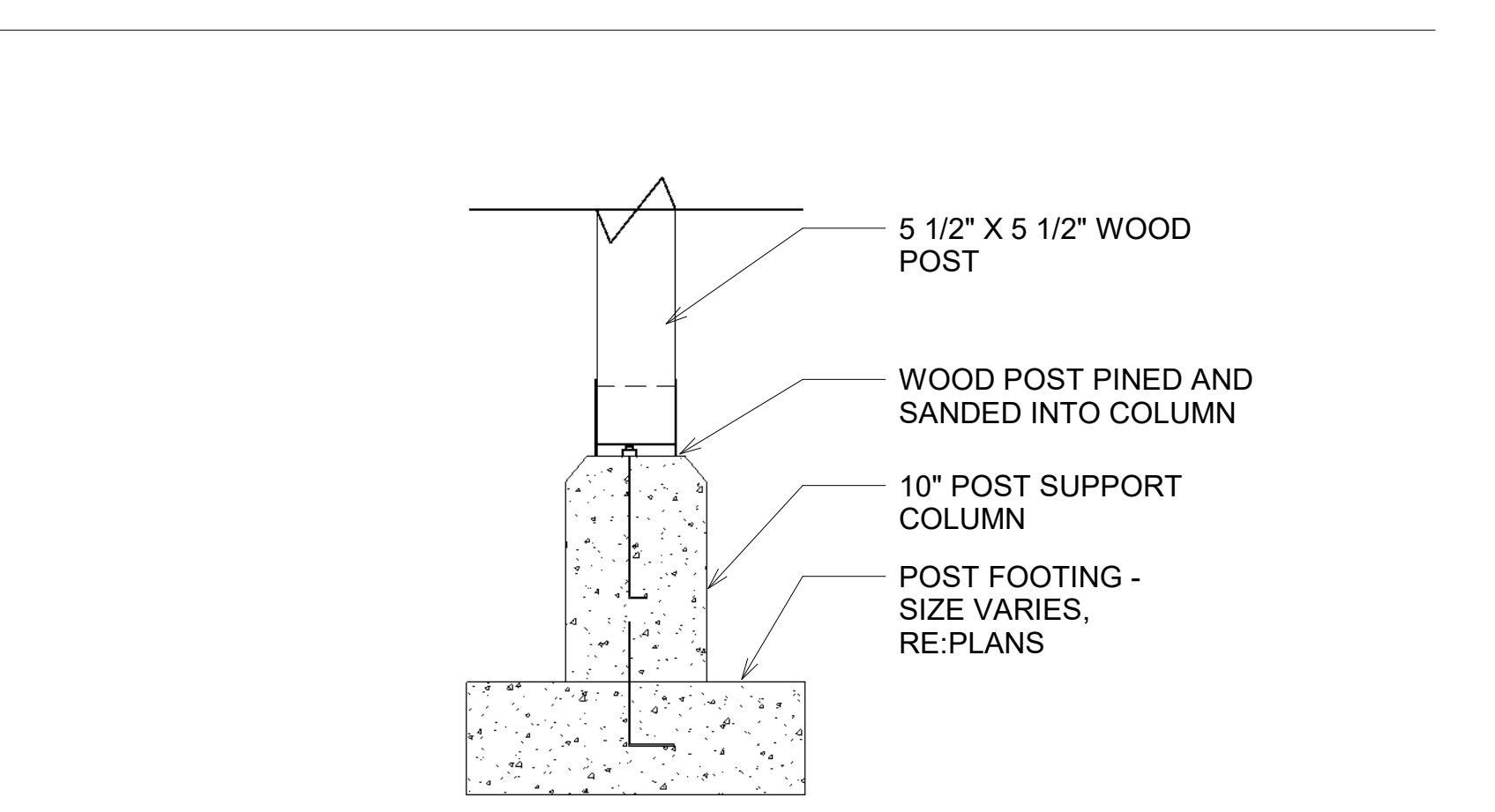
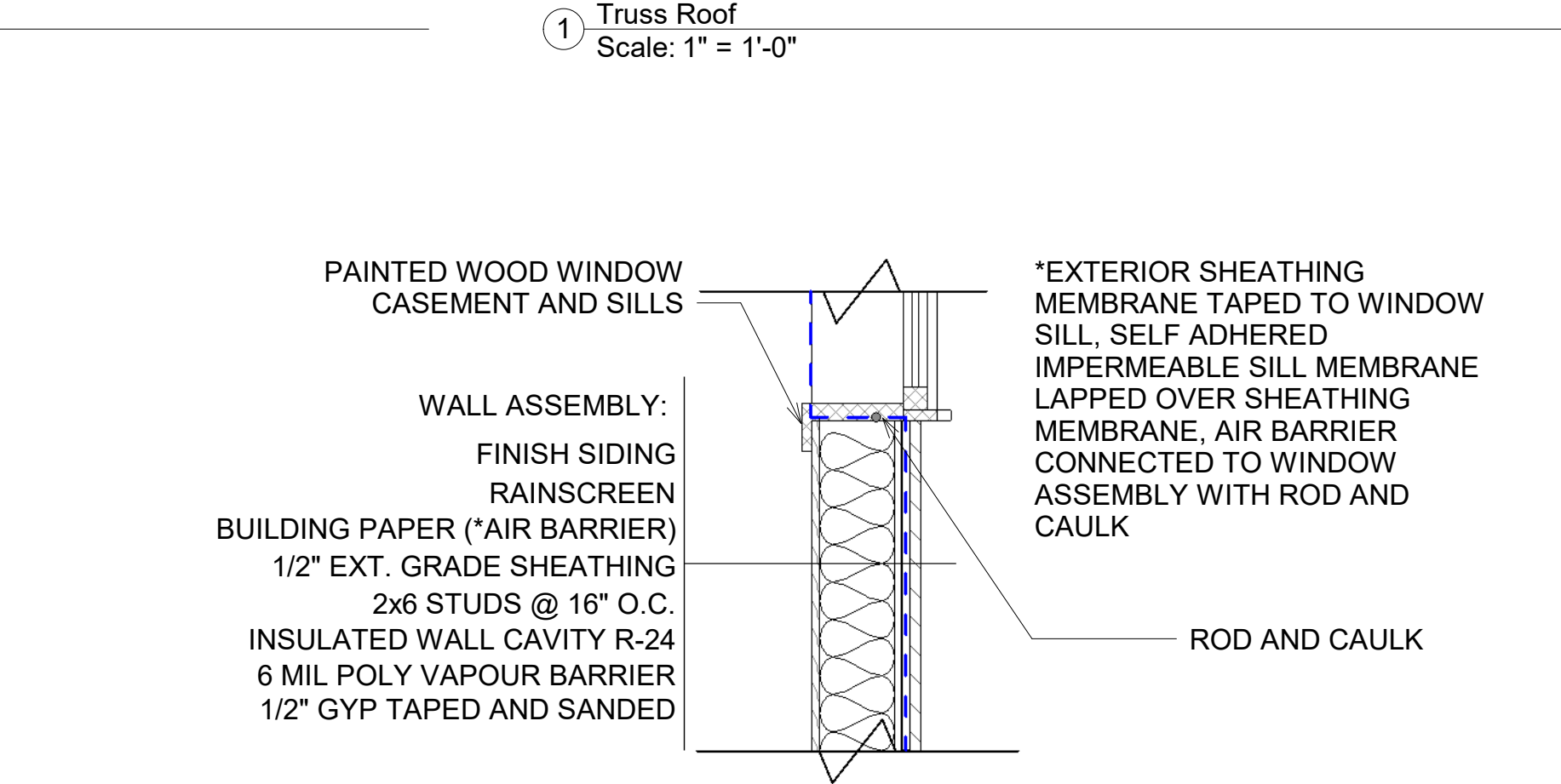
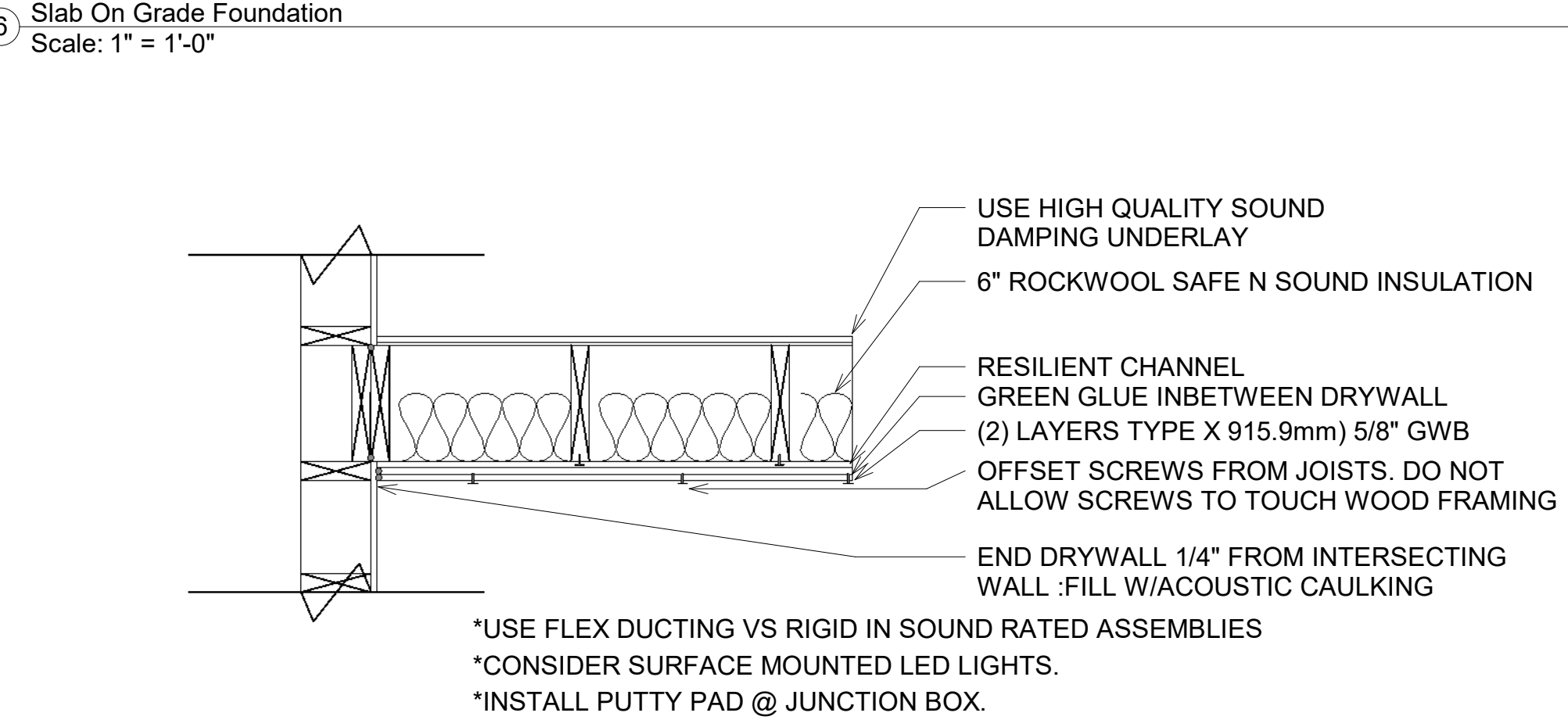
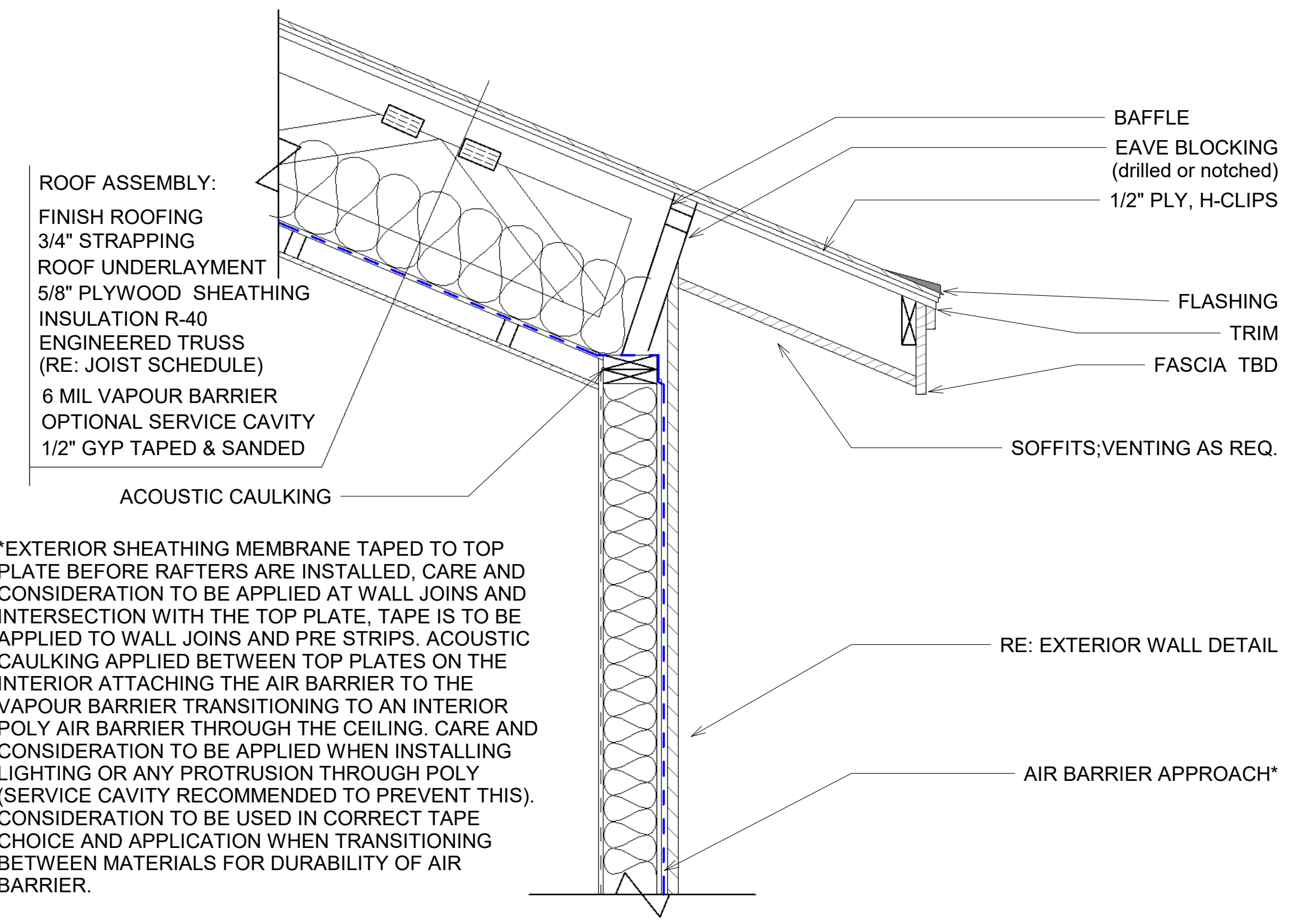
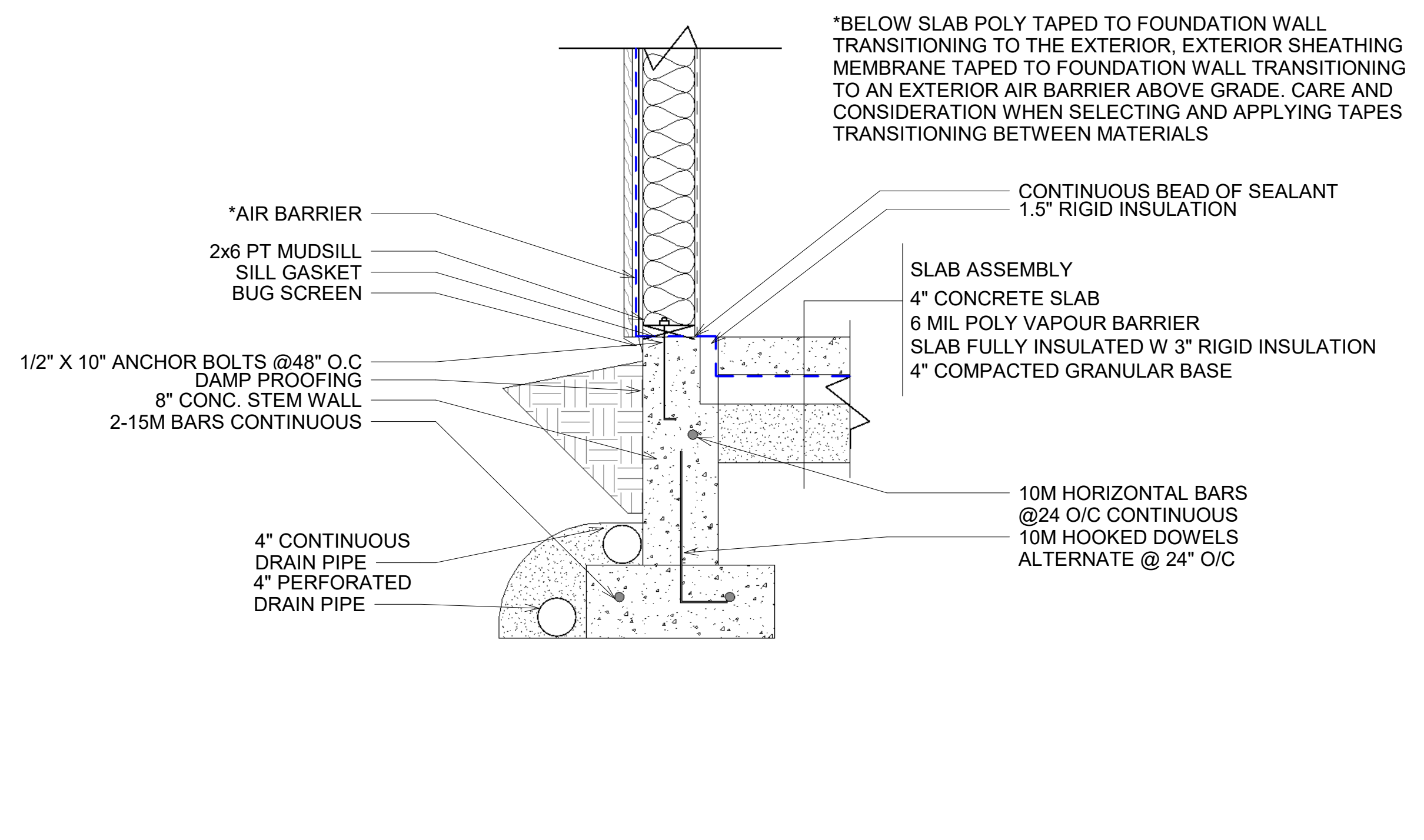


WEST

① ELEVATIONS  
Scale: 1/8" = 1'-0"



**HAMPEL ADDITION**  
1656 BAY ST,  
UCLUELET, BC, V0R 3A0

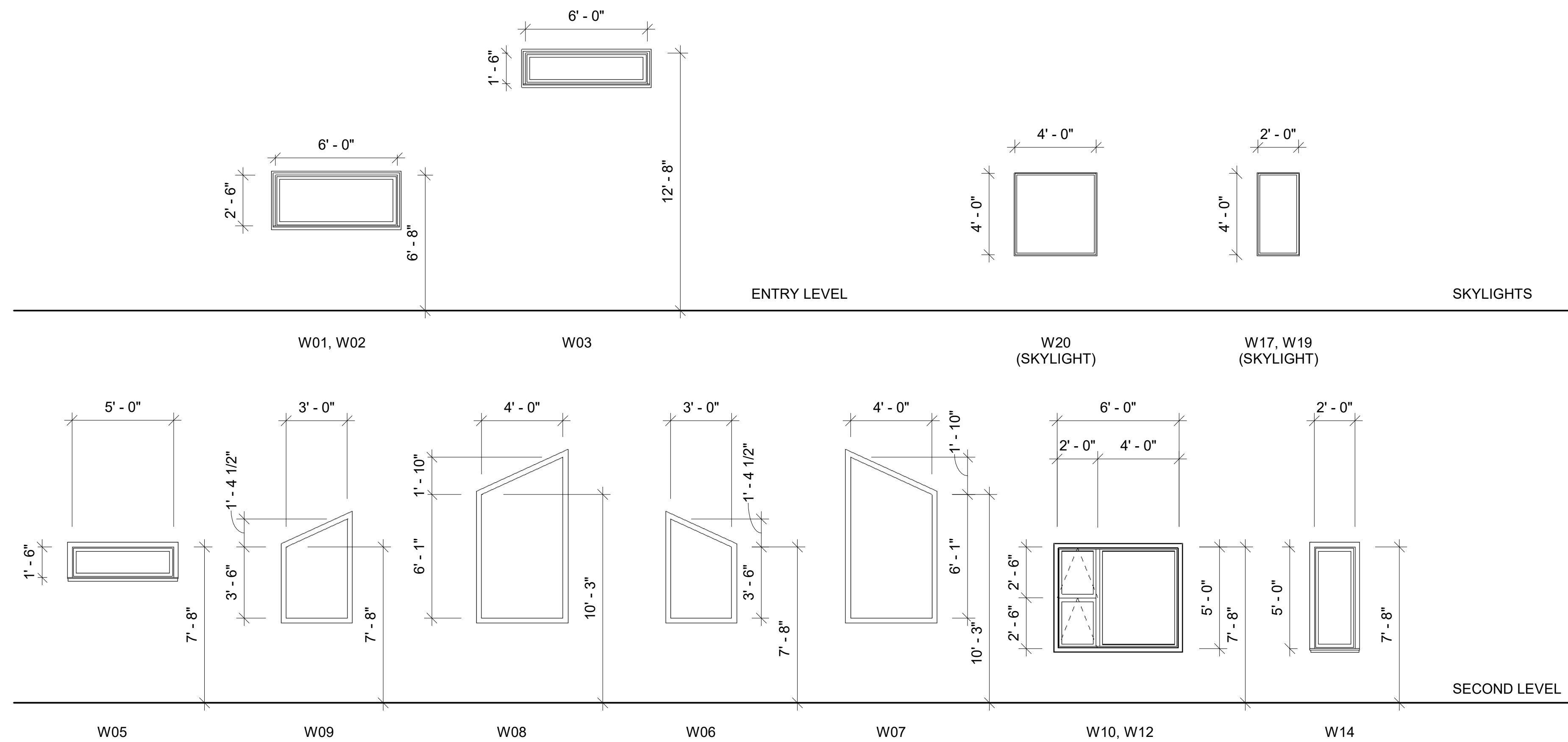


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DETAILS CONSTRUCTION	-
Scale	As Noted
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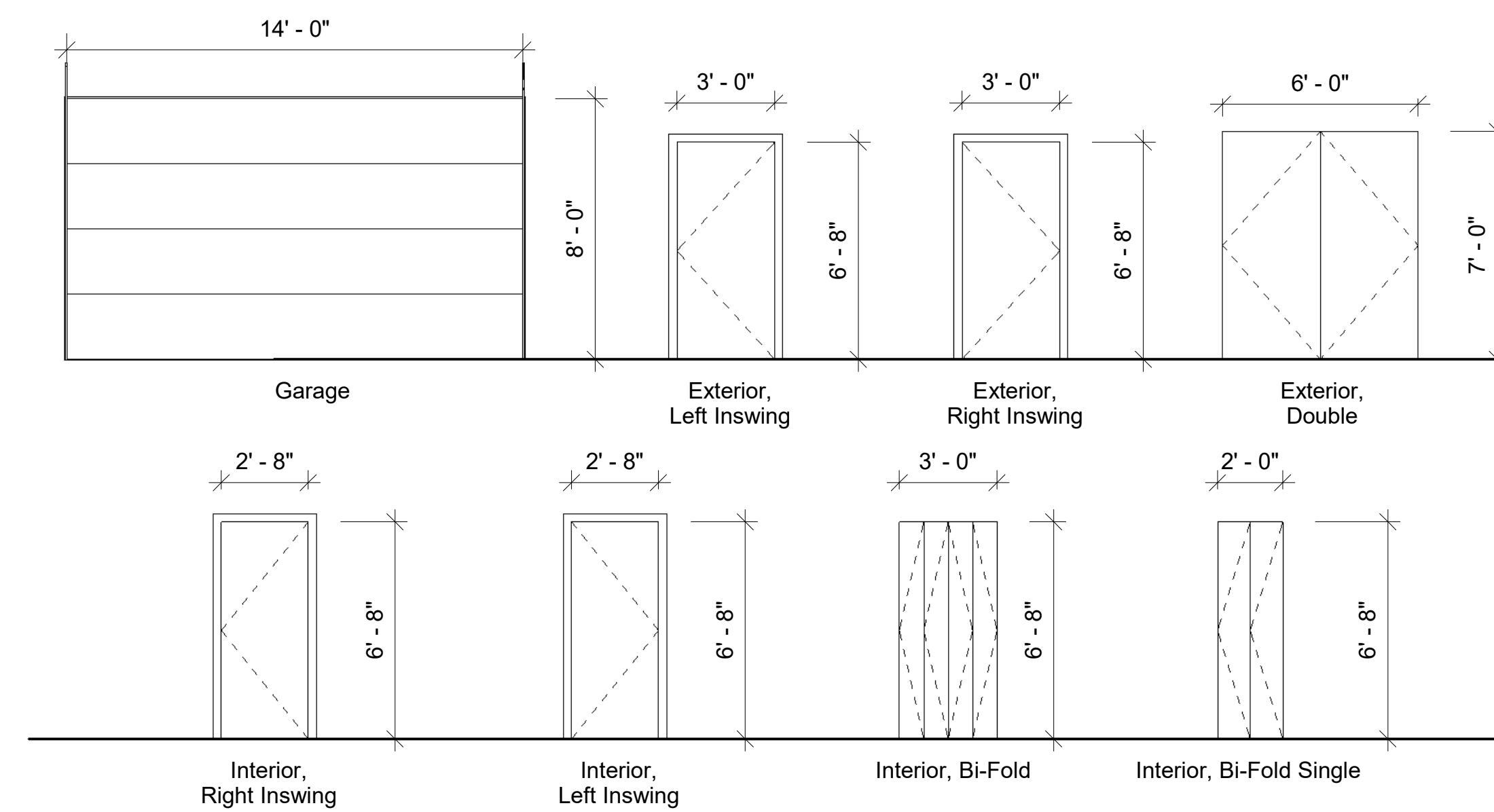
**HAMPEL ADDITION**  
1656 BAY ST,  
UCLUELET, BC, V0R 3A0

Window Schedule						
Mark	Width	Height	Sill Height	Head Height	Description	Comments
W01	6' - 0"	2' - 6"	4' - 2"	6' - 8"	Fixed	
W02	6' - 0"	2' - 6"	4' - 2"	6' - 8"	Fixed	
W03	6' - 0"	1' - 6"	11' - 2"	12' - 8"	Fixed	
W05	5' - 0"	1' - 6"	6' - 2"	7' - 8"	Fixed	
W06	3' - 0"	3' - 6"	4' - 2"	7' - 8"	Fixed, Rake	
W07	4' - 0"	6' - 1"	4' - 2"	10' - 3"	Fixed, Rake	
W08	4' - 0"	6' - 1"	4' - 2"	10' - 3"	Fixed, Rake	
W09	3' - 0"	3' - 6"	4' - 2"	7' - 8"	Fixed, Rake	
W10	6' - 0"	5' - 0"	2' - 8"	7' - 8"	Fixed W 24" double Awning	
W12	6' - 0"	5' - 0"	2' - 8"	7' - 8"	Fixed W 24" double Awning	
W14	2' - 0"	5' - 0"	2' - 8"	7' - 8"		
W17	2' - 0"	4' - 0"			Skylight	
W19	2' - 0"	4' - 0"			Skylight	
W20	4' - 0"	4' - 0"			Skylight	



WINDOWS VIEWED FROM THE EXTERIOR

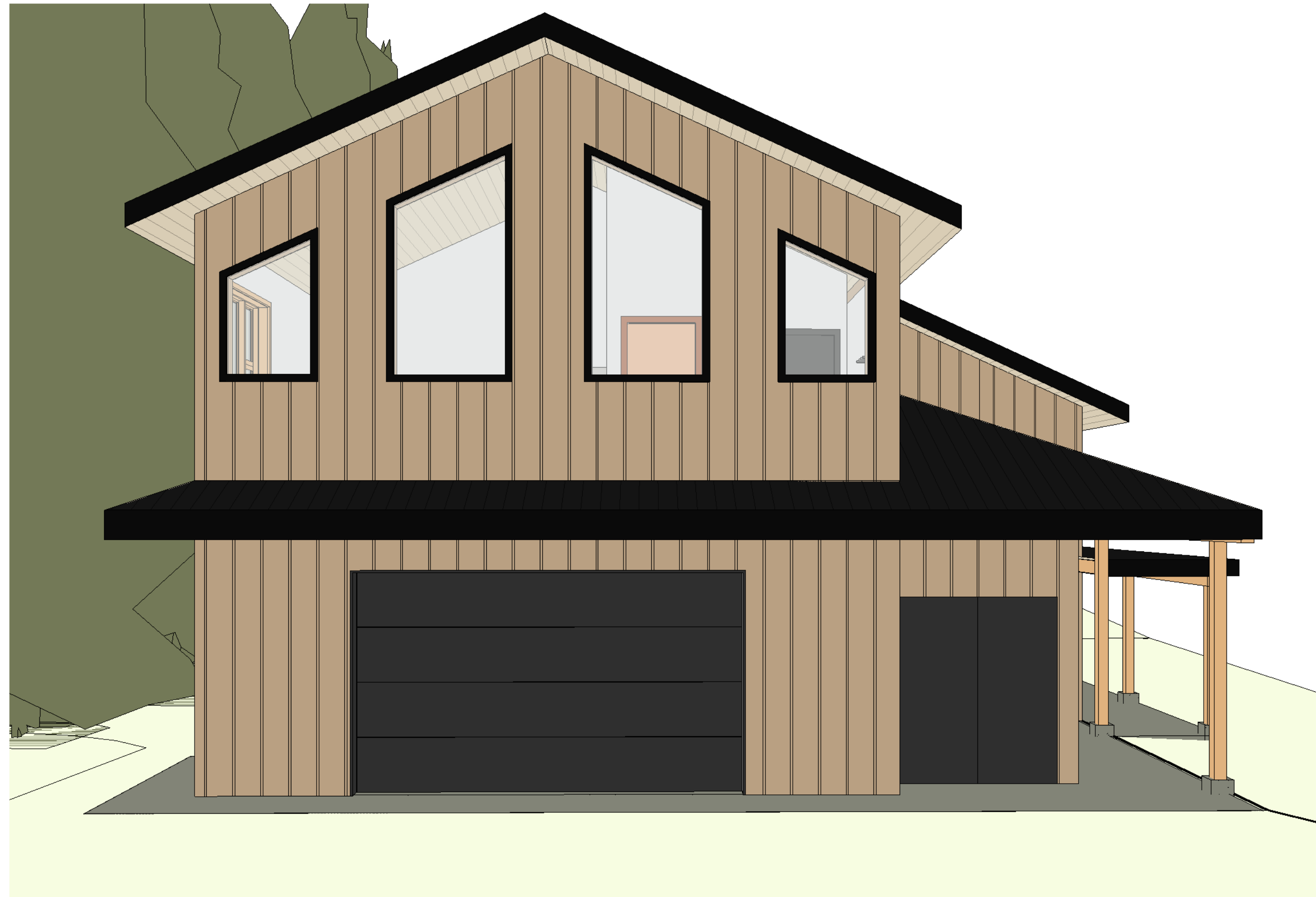
Door Schedule					
Mark	Width	Height	Head Height	Description	Comments
D01	3' - 0"	6' - 8"	6' - 8"	Exterior, Right Inswing	
D02	6' - 0"	7' - 0"	7' - 0"	Exterior, Double	
D03	14' - 0"	8' - 0"	8' - 0"	Garage	
D04	3' - 0"	6' - 8"	6' - 8"	Exterior, Right Inswing	
D05	3' - 0"	6' - 8"	6' - 8"	Exterior, Left Inswing	
D06	3' - 0"	6' - 8"	6' - 8"	Exterior, Right Inswing	
D07	3' - 0"	6' - 8"	6' - 8"	Exterior, Left Inswing	
D08	3' - 0"	6' - 8"	6' - 8"	Interior, Left Inswing	
D09	2' - 8"	6' - 8"	6' - 8"	Interior, Left Inswing	
D10	2' - 8"	6' - 8"	6' - 8"	Interior, Left Inswing	
D12	2' - 8"	6' - 8"	6' - 8"	Interior, Left Inswing	
D13	2' - 8"	6' - 8"	6' - 8"	Interior, Left Inswing	Entrance to Existing Home
D14	3' - 0"	6' - 8"	6' - 8"	Interior, Bi-Fold	
D15	2' - 0"	6' - 8"	6' - 8"	Interior, Bi-Fold Single	
D16	2' - 8"	6' - 8"	6' - 8"		
D17	2' - 0"	6' - 8"	6' - 8"		
D18	2' - 0"	6' - 8"	6' - 8"		



**\*\*SCHEDULES PROVIDED FOR REFERENCE ONLY. FINAL MEASUREMENTS TO BE SITE VERIFIED BY CONTRACTOR OR SUPPLIER\*\***

Project	HAMPEL ADDITION
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Sheet Size	24X36
Date	03-15-2023
Revisions:	
For:	PERMIT
Sheet Title:	SCHEDULES - WINDOW & DOOR
Scale	As Noted
Sheet Number:	<b>A 6.01</b>





**HAMPEL ADDITION**  
1656 BAY ST,  
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Project HAMPEL ADDITION

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SUITE 1



SUITE 2

**HAMPEL ADDITION**

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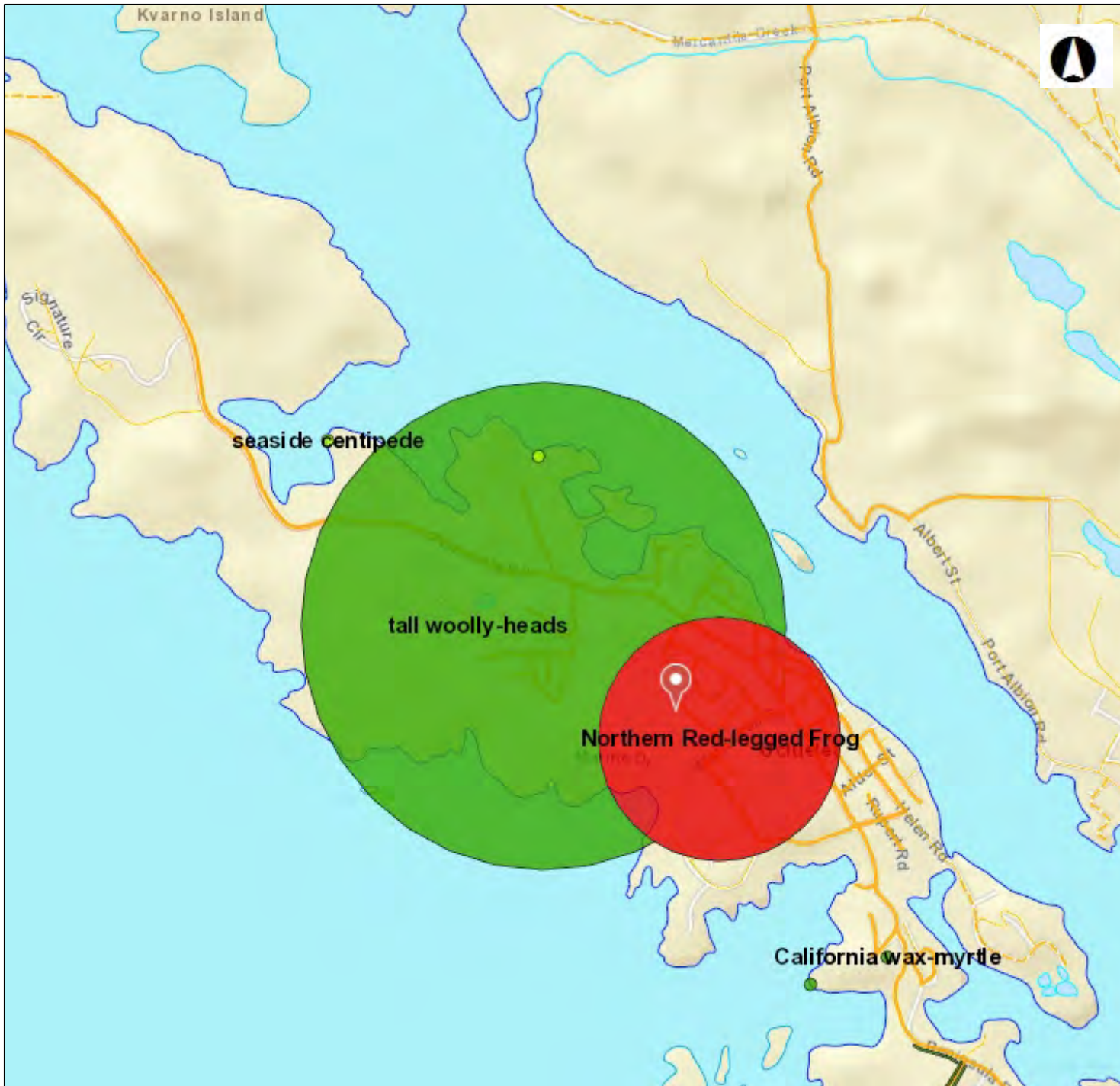
PERSPECTIVES  
- INTERIOR

Scale As Noted

Sheet Number:

**A 9.02**





CDC Occurrence Map

**Legend**

Species and Ecosystems at Available Occurrences - CD

FEATURE\_CODE

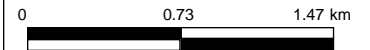
- Animal - Vertebrate
- Animal - Invertebrate
- Plant - Vascular
- Plant - Non-vascular
- Ecological Community

Species and Ecosystems at Secured) Publicly Available

Species and Ecosystems at and Historical) Publicly Avail CDC

FEATURE\_CODE

- Animal - Vertebrate



1: 36,112

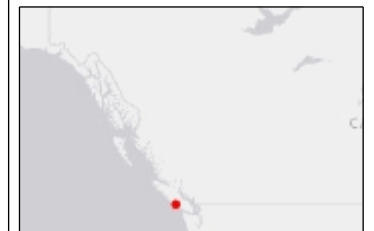
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Datum: NAD83  
Projection: WGS\_1984\_Web\_Mercator\_Auxiliary\_Sphere

**Key Map of British Columbia**





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**Table 1. BC Ecosystems Explorer Query Results and Likelihood of Occurrence Assessment.**

Group	English Name	Scientific Name	BC List	SARA* Schedule	SARA Status	MBCA*	Likelihood of Occurrence (Yes / No)	Rational (If No) <sup>1</sup>
amphibians	Coastal Tailed Frog	<i>Ascaphus truei</i>	Yellow	1	Special Concern		No	1
amphibians	Northern Red-legged Frog	<i>Rana aurora</i>	Blue	1	Special Concern		Yes	
amphibians	Wandering Salamander	<i>Aneides vagrans</i>	Blue	1	Special Concern		Yes	
amphibians	Western Toad	<i>Anaxyrus boreas</i>	Yellow	1	Special Concern		Yes	
birds	American Avocet	<i>Recurvirostra americana</i>	Blue			Y	No	2
birds	American Bittern	<i>Botaurus lentiginosus</i>	Blue			Y	No	2
birds	American Golden-Plover	<i>Pluvialis dominica</i>	Blue			Y	No	2
birds	American White Pelican	<i>Pelecanus erythrorhynchos</i>	Red				No	2
birds	Ancient Murrelet	<i>Synthliboramphus antiquus</i>	Blue	1	Special Concern	Y	No	2
birds	Band-tailed Pigeon	<i>Patagioenas fasciata</i>	Blue	1	Special Concern	Y	Yes	
birds	Barn Owl	<i>Tyto alba</i>	Blue	1	Threatened		No	1, 2
birds	Barn Swallow	<i>Hirundo rustica</i>	Yellow	1	Threatened	Y	Yes	
birds	Bay-breasted Warbler	<i>Setophaga castanea</i>	Red			Y	No	1, 2
birds	Black Scoter	<i>Melanitta americana</i>	Blue			Y	No	2
birds	Black Swift	<i>Cypseloides niger</i>	Blue	1	Endangered	Y	Yes	
birds	Black-crowned Night-heron	<i>Nycticorax nycticorax</i>	Red			Y	No	1, 2
birds	Black-throated Green Warbler	<i>Setophaga virens</i>	Blue			Y	Yes	
birds	Bobolink	<i>Dolichonyx oryzivorus</i>	Red	1	Threatened	Y	No	1, 2
birds	Brandt's Cormorant	<i>Urile penicillatus</i>	Red				No	2
birds	Brant	<i>Branta bernicla</i>	Blue			Y	No	2



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birds	California Gull	<i>Larus californicus</i>	Red			Y	No	2
birds	Canada Goose, <i>occidentalis</i> subspecies	<i>Branta canadensis</i> <i>occidentalis</i>	Red				No	2
birds	Canada Warbler	<i>Cardellina canadensis</i>	Blue	1	Threatened	Y	No	1
birds	Caspian Tern	<i>Hydroprogne caspia</i>	Blue			Y	No	2
birds	Cassin's Auklet	<i>Ptychoramphus aleuticus</i>	Red	1	Special Concern	Y	No	2
birds	Common Murre	<i>Uria aalge</i>	Red			Y	No	2
birds	Common Nighthawk	<i>Chordeiles minor</i>	Blue	1	Threatened	Y	No	2
birds	Connecticut Warbler	<i>Oporornis agilis</i>	Blue			Y	No	1, 2
birds	Double-crested Cormorant	<i>Nannopterum auritum</i>	Blue				No	2
birds	Evening Grosbeak	<i>Coccothraustes vespertinus</i>	Yellow	1	Special Concern	Y	Yes	
birds	Forster's Tern	<i>Sterna forsteri</i>	Red			Y	No	2
birds	Great Blue Heron, <i>fannini</i> subspecies	<i>Ardea herodias fannini</i>	Blue	1	Special Concern		Yes	
birds	Green Heron	<i>Butorides virescens</i>	Blue			Y	No	2
birds	Gyr Falcon	<i>Falco rusticolus</i>	Blue				No	1, 2
birds	Horned Lark, <i>strigata</i> subspecies	<i>Eremophila alpestris strigata</i>	Red	1	Endangered		No	2
birds	Horned Puffin	<i>Fratercula corniculata</i>	Red			Y	No	2
birds	Hudsonian Godwit	<i>Limosa haemastica</i>	Red			Y	No	2
birds	Lark Sparrow	<i>Chondestes grammacus</i>	Blue			Y	No	1
birds	Lewis's Woodpecker	<i>Melanerpes lewis</i>	Blue	1	Threatened	Y	No	1, 2
birds	Long-billed Curlew	<i>Numenius americanus</i>	Yellow	1	Special Concern	Y	No	2
birds	Marbled Murrelet	<i>Brachyramphus marmoratus</i>	Blue	1	Threatened	Y	No	2
birds	Northern Fulmar	<i>Fulmarus glacialis</i>	Red			Y	No	2
birds	Northern Goshawk, <i>laingi</i> subspecies	<i>Accipiter gentilis laingi</i>	Red	1	Threatened		No	2



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birds	Northern Pygmy-owl, <i>swarthi</i> subspecies	<i>Glaucidium gnoma swarthi</i>	Blue				No	2
birds	Olive-sided Flycatcher	<i>Contopus cooperi</i>	Yellow	1	Threatened	Y	Yes	
birds	Peregrine Falcon	<i>Falco peregrinus</i>	No Status	1	Special Concern		No	2
birds	Peregrine Falcon, <i>anatum</i> subspecies	<i>Falco peregrinus anatum</i>	Red	1	Special Concern		No	2
birds	Peregrine Falcon, <i>pealei</i> subspecies	<i>Falco peregrinus pealei</i>	Blue	1	Special Concern		No	2
birds	Pine Grosbeak, <i>carlottae</i> subspecies	<i>Pinicola enucleator carlottae</i>	Blue				Yes	
birds	Prairie Falcon	<i>Falco mexicanus</i>	Red				No	2
birds	Purple Martin	<i>Progne subis</i>	Blue			Y	Yes	
birds	Red Knot	<i>Calidris canutus</i>	Blue	1	Threatened / Endangered	Y	No	2
birds	Red-necked Phalarope	<i>Phalaropus lobatus</i>	Blue	1	Special Concern	Y	No	2
birds	Rough-legged Hawk	<i>Buteo lagopus</i>	Blue				Yes	
birds	Rusty Blackbird	<i>Euphagus carolinus</i>	Blue	1	Special Concern		No	2
birds	Sage Thrasher	<i>Oreoscoptes montanus</i>	Red	1	Endangered	Y	No	2
birds	Short-billed Dowitcher	<i>Limnodromus griseus</i>	Blue			Y	No	2
birds	Short-eared Owl	<i>Asio flammeus</i>	Blue	1	Special Concern		No	1, 2
birds	Smith's Longspur	<i>Calcarius pictus</i>	Blue			Y	No	2
birds	Surf Scoter	<i>Melanitta perspicillata</i>	Blue			Y	No	2
birds	Thick-billed Murre	<i>Uria lomvia</i>	Red			Y	No	2
birds	Tufted Puffin	<i>Fratercula cirrhata</i>	Blue			Y	No	2
birds	Upland Sandpiper	<i>Bartramia longicauda</i>	Red			Y	No	2
birds	Wandering Tattler	<i>Tringa incana</i>	Blue			Y	No	2
birds	Western Grebe	<i>Aechmophorus occidentalis</i>	Red	1	Special Concern	Y	No	2



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birds	Western Screech-Owl	<i>Megascops kennicottii</i>	No Status	1	Threatened		Yes	
birds	Western Screech-Owl, <i>kennicottii</i> subspecies	<i>Megascops kennicottii kennicottii</i>	Blue	1	Threatened		Yes	
birds	White-tailed Ptarmigan, <i>saxatilis</i> subspecies	<i>Lagopus leucura saxatilis</i>	Blue				No	2
birds	Yellow-billed Cuckoo	<i>Coccyzus americanus</i>	Red			Y	No	2
birds	Yellow-breasted Chat	<i>Icteria virens</i>	Red	1	Endangered	Y	No	2
bivalves	Long Fingernailclam	<i>Musculium transversum</i>	Blue				N/A	
bivalves	Olympia Oyster	<i>Ostrea lurida</i>	Blue	1	Special Concern		N/A	
bivalves	Striated Fingernailclam	<i>Sphaerium striatinum</i>	Blue				N/A	
bivalves	Swamp Fingernailclam	<i>Musculium partumeium</i>	Blue				N/A	
gastropods	Blue-grey Taildropper	<i>Prophysaon coeruleum</i>	Blue	1	Threatened		N/A	
gastropods	Broadwhorl Tightcoil	<i>Pristiloma johnsoni</i>	Blue				N/A	
gastropods	Dromedary Jumping-slug	<i>Hemphillia dromedarius</i>	Red	1	Threatened		N/A	
gastropods	Evening Fieldslug	<i>Deroceras hesperium</i>	Red				N/A	
gastropods	Haida Gwaii Slug	<i>Staalaa gwaii</i>	Red	1	Special Concern		N/A	
gastropods	Meadow Rams-horn	<i>Planorbula campestris</i>	Blue				N/A	
gastropods	Northern Abalone	<i>Haliotis kamtschatkana</i>	Red	1	Endangered		N/A	
gastropods	Oregon Forestsnail	<i>Allogona townsendiana</i>	Red	1	Endangered		N/A	
gastropods	Prairie Fossaria	<i>Galba bulimoides</i>	Blue				N/A	
gastropods	Puget Oregonian	<i>Cryptomastix devia</i>	Red	1	Extinct		N/A	
gastropods	Rocky Mountain Physa	<i>Physella propinqua</i>	Blue				N/A	
gastropods	Sunset Physa	<i>Physella virginia</i>	Blue				N/A	
gastropods	Threaded Vertigo	<i>Nearctula sp. 1</i>	Blue	1	Special Concern		N/A	
gastropods	Warty Jumping-slug	<i>Hemphillia glandulosa</i>	Red	1	Special Concern		N/A	
gastropods	Western Thorn	<i>Carychium occidentale</i>	Blue				N/A	



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gastropods	Wrinkled Marshsnail	<i>Stagnicola caperata</i>	Blue				N/A	
insects	Alkali Bluet	<i>Enallagma clausum</i>	Blue				N/A	
insects	Audouin's Night-stalking Tiger Beetle	<i>Omus audouini</i>	Red	1	Threatened		N/A	
insects	Autumn Meadowhawk	<i>Sympetrum vicinum</i>	Blue				N/A	
insects	Black Petaltail	<i>Tanypteryx hageni</i>	Blue				N/A	
insects	Blue Dasher	<i>Pachydiplax longipennis</i>	Blue				N/A	
insects	Boisduval's Blue, <i>blackmorei</i> subspecies	<i>Icaricia icarioides blackmorei</i>	Blue				N/A	
insects	Clodius Parnassian, <i>claudianus</i> subspecies	<i>Parnassius clodius claudianus</i>	Blue				N/A	
insects	Common Ringlet, <i>insulana</i> subspecies	<i>Coenonympha californica insulana</i>	Red				N/A	
insects	Common Wood-nymph, <i>incana</i> subspecies	<i>Cercyonis pegala incana</i>	Red				N/A	
insects	Dun Skipper	<i>Euphyes vestris</i>	Blue	1	Threatened		N/A	
insects	Edith's Checkerspot, <i>taylori</i> subspecies	<i>Euphydryas editha taylori</i>	Red	1	Endangered		N/A	
insects	Edwards' Beach Moth	<i>Anarta edwardsii</i>	Red	1	Endangered		N/A	
insects	Greenish Blue, <i>insulanus</i> subspecies	<i>Icaricia saepiolus insulanus</i>	Red	1	Endangered		N/A	
insects	Johnson's Hairstreak	<i>Callophrys johnsoni</i>	Red				N/A	
insects	Large Marble, <i>insulanus</i> subspecies	<i>Euchloe ausonides insulanus</i>	Red	1	Extinct		N/A	
insects	Monarch	<i>Danaus plexippus</i>	Red	1	Special Concern		N/A	
insects	Moss' Elfin, <i>mossii</i> subspecies	<i>Callophrys mossii mossii</i>	Red				N/A	
insects	Propertius Duskywing	<i>Erynnis propertius</i>	Red				N/A	





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insects	Rocky Mountain Parnassian, <i>olympiannus</i> subspecies	<i>Parnassius smintheus olympiannus</i>	Blue				N/A	
insects	Sand-verbena Moth	<i>Copablepharon fuscum</i>	Red	1	Endangered		N/A	
insects	Silver-spotted Skipper	<i>Epargyreus clarus</i>	Blue				N/A	
insects	Silver-spotted Skipper, <i>californicus</i> subspecies	<i>Epargyreus clarus californicus</i>	Red				N/A	
insects	Sinuuous Snaketail	<i>Ophiogomphus occidentis</i>	Blue				N/A	
insects	Western Branded Skipper, <i>oregonia</i> subspecies	<i>Hesperia colorado oregonia</i>	Red				N/A	
insects	Western Pine Elfin, <i>sheltonensis</i> subspecies	<i>Callophrys eryphon sheltonensis</i>	Blue				N/A	
insects	Western Pondhawk	<i>Erythemis collocata</i>	Blue				N/A	
insects	Zerene Fritillary, <i>bremnerii</i> subspecies	<i>Speyeria zerene bremnerii</i>	Red				N/A	
Lampreys	Cowichan Lake Lamprey	<i>Entosphenus macrostomus</i>	Red	1	Threatened		N/A	
Lampreys	Western Brook Lamprey (Morrison Creek Population)	<i>Lampetra richardsoni</i> pop. 1	Red	1	Endangered		N/A	
malacostracans	Quatsino Cave Amphipod	<i>Stygobromus quatsinensis</i>	Blue				N/A	
mammals	Caribou (Northern Mountain Population)	<i>Rangifer tarandus</i> pop. 15	Blue	1	Special Concern		No	1,2
mammals	Ermine, <i>anguinae</i> subspecies	<i>Mustela richardsonii anguinae</i>	Blue					
mammals	Fisher	<i>Pekania pennanti</i>	No Status					
mammals	Grey Whale	<i>Eschrichtius robustus</i>	Blue	1	Special Concern		No	2



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mammals	Grizzly Bear	<i>Ursus arctos</i>	Blue	1	Special Concern	No	2
mammals	Hoary Bat	<i>Lasiurus cinereus</i>	Blue				
mammals	Little Brown Myotis	<i>Myotis lucifugus</i>	Blue	1	Endangered	Yes	
mammals	Mountain Goat	<i>Oreamnos americanus</i>	Blue			No	1, 2
mammals	Roosevelt Elk	<i>Cervus elaphus roosevelti</i>	Blue			No	2
mammals	Steller Sea Lion	<i>Eumetopias jubatus</i>	Blue	1	Special Concern	No	2
mammals	Townsend's Big-eared Bat	<i>Corynorhinus townsendii</i>	Blue			Yes	
mammals	Townsend's Vole, <i>cowani</i> subspecies	<i>Microtus townsendii cowani</i>	Red				
mammals	Vancouver Island Marmot	<i>Marmota vancouverensis</i>	Red	1	Endangered	No	1, 2
mammals	Western Water Shrew, <i>brooksi</i> subspecies	<i>Sorex navigator brooksi</i>	Blue				
mammals	Wolverine	<i>Gulo gulo</i>	No Status	1	Special Concern	No	1
mammals	Wolverine, <i>luscus</i> subspecies	<i>Gulo gulo luscus</i>	Blue	1	Special Concern	No	1
mammals	Wolverine, <i>vancouverensis</i> subspecies	<i>Gulo gulo vancouverensis</i>	Red	1	Special Concern		
mammals	Yuma Myotis	<i>Myotis yumanensis</i>	Blue				
oligochaetes	an earthworm	<i>Arctiostrotus perrieri</i>	Blue			N/A	
ray-finned fishes	Bull Trout	<i>Salvelinus confluentus</i>	Blue			No	2
ray-finned fishes	Cutthroat Trout, <i>clarkii</i> subspecies	<i>Oncorhynchus clarkii clarkii</i>	Blue			No	2
ray-finned fishes	Eulachon	<i>Thaleichthys pacificus</i>	Blue			No	2



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ray-finned fishes	Inconnu	<i>Stenodus leucichthys</i>	Blue				No	2
ray-finned fishes	Misty Lake "Lake" Stickleback	<i>Gasterosteus sp. 18</i>	Red	1	Endangered		No	2
ray-finned fishes	Misty Lake "Stream" Stickleback	<i>Gasterosteus sp. 19</i>	Red	1	Endangered		No	2
reptiles	Common Sharp-tailed Snake	<i>Contia tenuis</i>	Red	1	Endangered		No	2
reptiles	Gophersnake	<i>Pituophis catenifer</i>	No Status	1	Extinct / Threatened		No	1, 2
reptiles	Gophersnake, <i>catenifer</i> subspecies	<i>Pituophis catenifer catenifer</i>	Red	1	Extinct		No	1, 2
turtles	Leatherback Sea Turtle	<i>Dermochelys coriacea</i>	Red	1	Endangered		No	2
turtles	Northern Painted Turtle	<i>Chrysemys picta</i>	No Status	1	Endangered / Special Concern		No	2
turtles	Northern Painted Turtle - Pacific Coast Population	<i>Chrysemys picta</i> pop. 1	Red	1	Endangered		No	2

\* SARA = *Species at Risk Act*; MBCA = *Migratory Bird Convention Act*

Notes 1:

1. Outside of known range for the species or species is not known in the area
2. No suitable habitat in the study area



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**Table 2. BC Ecosystems Explorer Query Results for Vegetation.**

Name Category	English Name	Scientific Name	BC List	SARA Schedule	SARA Status	Habitats (Type / Subtype / Dependence)
Bryophyte	rigid apple moss	<i>Bartramia aprica</i>	Red	1	Endangered	Rock/Sparsely Vegetated Rock / Garry Oak Coastal Bluffs / Facultative - frequent use
Bryophyte	Roell's brotherella	<i>Brotherella roellii</i>	Red	1	Endangered	
Bryophyte	banded cord-moss	<i>Entosthodon fascicularis</i>	Blue	1	Special Concern	Grassland/Shrub / Garry Oak Maritime Meadow / Facultative - frequent use
Bryophyte	acutleaf small limestone moss	<i>Seligeria acutifolia</i>	Red	1	Endangered	
Vascular Plant	yellow sand-verbena	<i>Abronia latifolia</i>	Blue			Other Unique Habitats / Beach / Obligate ; Other Unique Habitats / Sand Dune / Facultative - frequent use
Vascular Plant	pink sand-verbena	<i>Abronia umbellata</i> var. <i>breviflora</i>	Red	1	Endangered	Other Unique Habitats / Beach / Facultative - frequent use ; Other Unique Habitats / Sand Dune / Facultative - frequent use
Vascular Plant	dwarf maiden-hair fern	<i>Adiantum aleuticum</i> var. <i>subpumilum</i>	Blue			Other Unique Habitats / Beach / Facultative - frequent use ; Rock/Sparsely Vegetated Rock / Cliff / Facultative - frequent use
Vascular Plant	mountain hemlock dwarf mistletoe	<i>Arceuthobium tsugense</i> ssp. <i>mertensianae</i>	Blue			Forest / Conifer Forest - Mesic (average) / Unknown



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Vascular Plant	three-forked mugwort	<i>Artemisia furcata</i>	Blue			Alpine/Tundra / Alpine/Subalpine Meadow / Unknown ; Alpine/Tundra / Krummholtz / Unknown ; Alpine/Tundra / Tundra / Unknown ; Rock/Sparsely Vegetated Rock / Cliff / Unknown ; Rock/Sparsely Vegetated Rock / Talus / Unknown
Vascular Plant	corrupt spleenwort	<i>Asplenium adulterinum</i>	Blue			Rock/Sparsely Vegetated Rock / Cliff / Facultative - frequent use ; Rock/Sparsely Vegetated Rock / Rock/Sparsely Vegetated Rock / Facultative - frequent use
Vascular Plant	river bulrush	<i>Bolboschoenus fluviatilis</i>	Blue			Other Unique Habitats / Estuary / Facultative - frequent use ; Riparian / Riparian Shrub / Facultative - frequent use ; Wetland / Marsh / Obligate
Vascular Plant	two-edged water-starwort	<i>Callitriche heterophylla</i> var. <i>heterophylla</i>	Unknown			Lakes / Pond/Open Water / Facultative - occasional use
Vascular Plant	beach bindweed	<i>Calystegia soldanella</i>	Blue			Other Unique Habitats / Sand Dune / Obligate
Vascular Plant	angled bittercress	<i>Cardamine angulata</i>	Blue			Forest / Conifer Forest - Moist/wet / Facultative - frequent use ; Forest / Old Forest / Facultative - occasional use ; Riparian / Riparian Forest / Facultative - frequent use ; Stream/River / Stream/River / Facultative - frequent use



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Vascular Plant	estuarine paintbrush	<i>Castilleja ambigua</i> var. <i>ambigua</i>	Blue			Grassland/Shrub / Garry Oak Maritime Meadow / Facultative - frequent use ; Other Unique Habitats / Estuary / Facultative - frequent use ; Other Unique Habitats / Vernal Pools/Seasonal Seeps / Facultative - frequent use
Vascular Plant	Fischer's chickweed	<i>Cerastium fischerianum</i>	Blue			Grassland/Shrub / Meadow / Facultative - occasional use ; Lakes / Lake / Facultative - frequent use ; Riparian / Riparian Herbaceous / Facultative - occasional use ; Stream/River / Stream/River / Facultative - frequent use
Vascular Plant	tooth-leaved monkey-flower	<i>Erythranthe dentata</i>	Blue			Riparian / Riparian Forest / Unknown ; Stream/River / Stream/River / Unknown
Vascular Plant	white glacier lily	<i>Erythronium montanum</i>	Blue			Alpine/Tundra / Alpine/Subalpine Meadow / Unknown ; Other Unique Habitats / Avalanche Track / Unknown
Vascular Plant	dwarf red fescue	<i>Festuca rubra</i> ssp. <i>mediana</i>	Yellow			
Vascular Plant	Haida Gwaii avens	<i>Geum schofieldii</i>	Blue			Rock/Sparsely Vegetated Rock / Cliff / Facultative - frequent use ; Rock/Sparsely Vegetated Rock / Rock/Sparsely Vegetated Rock / Facultative - frequent use ; Rock/Sparsely Vegetated Rock / Talus / Facultative - frequent use
Vascular Plant	American glehnia	<i>Glehnia littoralis</i> ssp. <i>leiocarpa</i>	Blue			Other Unique Habitats / Beach / Obligate ; Other Unique Habitats / Sand Dune / Obligate



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Vascular Plant	hairy goldfields	<i>Lasthenia maritima</i>	Blue			Ocean / Marine Island / Unknown ; Rock/Sparsely Vegetated Rock / Cliff / Unknown ; Rock/Sparsely Vegetated Rock / Rock/Sparsely Vegetated Rock / Unknown
Vascular Plant	silky beach pea	<i>Lathyrus littoralis</i>	Red			Other Unique Habitats / Beach / Facultative - frequent use ; Other Unique Habitats / Sand Dune / Facultative - frequent use
Vascular Plant	California wax-myrtle	<i>Morella californica</i>	Blue			Grassland/Shrub / Shrub - Natural / Unknown
Vascular Plant	redwood sorrel	<i>Oxalis oregana</i>	Blue			Forest / Conifer Forest - Moist/wet / Facultative - frequent use ; Forest / Old Forest / Facultative - occasional use
Vascular Plant	whitebark pine	<i>Pinus albicaulis</i>	Blue	1	Endangered	Forest / Conifer Forest - Dry / Facultative - frequent use ; Forest / Conifer Forest - Mesic (average) / Facultative - frequent use ; Rock/Sparsely Vegetated Rock / Cliff / Facultative - frequent use ; Rock/Sparsely Vegetated Rock / Rock/Sparsely Vegetated Rock / Facultative - frequent use ; Rock/Sparsely Vegetated Rock / Talus / Facultative - frequent use
Vascular Plant	black knotweed	<i>Polygonum paronychia</i>	Blue			Other Unique Habitats / Beach / Facultative - frequent use ; Other Unique Habitats / Sand Dune / Facultative - frequent use



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Vascular Plant	Alaska holly fern	<i>Polystichum setigerum</i>	Blue			Forest / Conifer Forest - Moist/wet / Facultative - frequent use ; Riparian / Riparian Forest / Facultative - occasional use ; Riparian / Riparian Shrub / Facultative - occasional use ; Rock/Sparsely Vegetated Rock / Rock/Sparsely Vegetated Rock / Facultative - occasional use ; Stream/River / Stream/River / Facultative - occasional use
Vascular Plant	wedge-leaf primrose	<i>Primula cuneifolia</i> ssp. <i>saxifragifolia</i>	Blue			Grassland/Shrub / Meadow / Facultative - frequent use ; Rock/Sparsely Vegetated Rock / Rock/Sparsely Vegetated Rock / Facultative - occasional use
Vascular Plant	Smith's fairybells	<i>Prosartes smithii</i>	Blue			Forest / Conifer Forest - Moist/wet / Unknown ; Forest / Deciduous/Broadleaf Forest / Unknown ; Forest / Mixed Forest (deciduous/coniferous mix) / Unknown ; Riparian / Riparian Forest / Unknown
Vascular Plant	leafless wintergreen	<i>Pyrola aphylla</i>	Blue			Forest / Conifer Forest - Mesic (average) / Facultative - frequent use
Vascular Plant	Hibberson's trillium	<i>Trillium hibbersonii</i>	Blue			Rock/Sparsely Vegetated Rock / Cliff / Facultative - occasional use





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**Table 3. BC Ecosystems Explorer Query Results for Ecosystems.**

English Name	Scientific Name	Ecosystem Group	BC List
red alder / salmonberry / common horsetail	<i>Alnus rubra</i> / <i>Rubus spectabilis</i> / <i>Equisetum arvense</i>	Terrestrial Realm - Flood Group (F): Low Bench Flood Class (Fl)	Blue
Lyngbye's sedge herbaceous vegetation	<i>Carex lyngbyei</i> Herbaceous Vegetation	Estuarine Realm: Estuarine Marsh Class (Em)	Red
large-headed sedge Herbaceous Vegetation	<i>Carex macrocephala</i> Herbaceous Vegetation	Terrestrial Realm - Beach Group (B): Beachland Class (Bb)	Red
tufted hairgrass - meadow barley	<i>Deschampsia cespitosa</i> ssp. <i>beringensis</i> - <i>Hordeum brachyantherum</i>	Estuarine Realm: Estuarine Meadow Class (Ed)	Red
common spike-rush Herbaceous Vegetation	<i>Eleocharis palustris</i> Herbaceous Vegetation	Wetland Realm - Mineral Wetland Group: Marsh Wetland Class (Wm); Estuarine Realm: Estuarine Marsh Class (Em)	Blue
dune wildrye - beach pea	<i>Leymus mollis</i> ssp. <i>mollis</i> - <i>Lathyrus japonicus</i>	Terrestrial Realm - Beach Group (B): Beachland Class (Bb)	Red
Sitka spruce / Pacific reedgrass	<i>Picea sitchensis</i> / <i>Calamagrostis nutkaensis</i>	Terrestrial Realm - Forest: Coniferous - dry	Blue
Sitka spruce / slough sedge	<i>Picea sitchensis</i> / <i>Carex obnupta</i>	Terrestrial Realm - Forest: Coniferous - moist/wet	Blue
Sitka spruce / salal	<i>Picea sitchensis</i> / <i>Gaultheria shallon</i>	Terrestrial Realm - Forest: Coniferous - dry	Blue
Sitka spruce / Oregon beaked-moss	<i>Picea sitchensis</i> / <i>Kindbergia oregana</i>	Terrestrial Realm - Forest: Coniferous - dry	Blue



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Sitka spruce / false lily-of-the-valley Very Wet Hypermaritime 1	<i>Picea sitchensis</i> / <i>Maianthemum dilatatum</i> Very Wet Hypermaritime 1	Terrestrial Realm - Flood Group (F): Highbench Flood	Red
Sitka spruce / Pacific crab apple	<i>Picea sitchensis</i> / <i>Malus fusca</i>	Terrestrial Realm - Forest: Coniferous - moist/wet	Blue
Sitka spruce / sword fern	<i>Picea sitchensis</i> / <i>Polystichum munitum</i>	Terrestrial Realm - Forest: Coniferous - moist/wet	Blue
Sitka spruce / tall trisetum	<i>Picea sitchensis</i> / <i>Trisetum canescens</i>	Terrestrial Realm - Flood Group (F): Middle Bench Flood Class (Fm); Terrestrial Realm - Forest: Coniferous - moist/wet	Red
dune bluegrass Herbaceous Vegetation	<i>Poa macrantha</i> Herbaceous Vegetation	Terrestrial Realm - Beach Group (B): Beachland Class (Bb)	Red
beaked ditch-grass Herbaceous Vegetation	<i>Ruppia maritima</i> Herbaceous Vegetation	Estuarine Realm: Estuarine Marsh Class (Em)	Red
Sitka willow - Pacific willow / skunk cabbage	<i>Salix sitchensis</i> - <i>Salix lasiandra</i> var. <i>lasiandra</i> / <i>Lysichiton americanus</i>	Wetland Realm - Mineral Wetland Group: Swamp Wetland Class (Ws)	Blue
American glasswort - sea-milkwort	<i>Sarcocornia pacifica</i> - <i>Lysimachia maritima</i>	Estuarine Realm: Estuarine Marsh Class (Em)	Red
western redcedar - Sitka spruce / skunk cabbage	<i>Thuja plicata</i> - <i>Picea sitchensis</i> / <i>Lysichiton americanus</i>	Terrestrial Realm - Forest: Coniferous - moist/wet; Wetland Realm - Mineral Wetland Group: Swamp Wetland Class (Ws)	Blue
western redcedar - Sitka spruce / devil's club Very Wet Hypermaritime 1	<i>Thuja plicata</i> - <i>Picea sitchensis</i> / <i>Oplopanax horridus</i> Very Wet Hypermaritime 1	Terrestrial Realm - Forest: Coniferous - moist/wet	Blue



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western redcedar - Sitka spruce / sword fern	<i>Thuja plicata - Picea sitchensis / Polystichum munitum</i>	Terrestrial Realm - Forest: Coniferous - dry; Terrestrial Realm - Forest: Coniferous - mesic	Blue
western hemlock - Sitka spruce / lanky moss	<i>Tsuga heterophylla - Picea sitchensis / Rhytidiadelphus loreus</i>	Terrestrial Realm - Forest: Coniferous - mesic	Blue





## REPORT TO COUNCIL

Council Meeting: July 18<sup>th</sup>, 2023

500 Matterson Drive, Ucluelet, BC V0R 3A0

**FROM:** MONICA WHITNEY-BROWN, PLANNING ASSISTANT **FILE NO:** 3090-20 DVP23-08

**SUBJECT:** DEVELOPMENT VARIANCE PERMIT FOR 1333 PINE ROAD **REPORT NO:** 23-107

**ATTACHMENT(S):** APPENDIX A – REPORT TO COUNCIL No. 23-96 (JUNE 27<sup>TH</sup> COUNCIL MEETING)  
APPENDIX B – DEVELOPMENT VARIANCE PERMIT 23-08

### RECOMMENDATION(S):

**THAT** Council authorize the Director of Community Planning to execute and issue Development Variance Permit DVP23-08 to waive parking requirements for one B&B room at 1333 Pine Road.

### BACKGROUND:

This application initially appeared before Council at the regular meeting on June 27<sup>th</sup>, 2023, for the property at 1333 Pine Road, PID 002374846, Lot 20, Block 2, Plan VIP14416, Section 21, Clayoquot Land District.

At that meeting, staff recommended approving a variance to allow the applicants to develop a larger driveway than the *Ucluelet Zoning Bylaw No. 1160, 2013* allows to accommodate three required parking spots associated with the single-family dwelling and one bedroom B&B suite on site. A second option presented to Council was to waive the parking requirement associated with the bed and breakfast use, allowing the applicants to retain their frontage as-is. Council directed staff to give public notice for this option, which was completed.



Figure 1 - Subject Property

**DISCUSSION:**

Additional context relating to this application was presented to Council in the report from the June 27<sup>th</sup> meeting (Appendix A).

Reducing the parking requirement for a B&B room on this property from one space to zero spaces would ensure the applicants may keep their existing vegetation, particularly some mature laurels. There will be no change to the existing streetscape associated with this variance (although the variance does not establish any protection to the streetscape, and the owners can choose to alter or remove their own vegetation at any time). By waiving the parking requirement, Council should be aware that the applicant will rely on public parking along Pine Road to accommodate the vehicles of their B&B guests.

**ANALYSIS OF OPTIONS:**

<b>A</b>	Authorize the issuance of Development Variance Permit 23-08.	<b><u>Pros</u></b>	<ul style="list-style-type: none"> <li>• Applicant can proceed with their business license application.</li> <li>• Resolves issue for applicant caught by the bylaw update.</li> <li>• Does not require removal of frontage vegetation on the subject property.</li> </ul>
		<b><u>Cons</u></b>	<ul style="list-style-type: none"> <li>• Relies on District right of way to provide adequate parking for guests.</li> <li>• Does not ensure that applicant minimizes impact of their secondary uses on the neighbourhood.</li> </ul>
		<b><u>Implications</u></b>	<ul style="list-style-type: none"> <li>• The applicant will be able to apply for a business license, and begin operation of their B&amp;B.</li> </ul>

<b>B</b>	Reject the application.	<u>Pros</u>	<ul style="list-style-type: none"> <li>Maintains current zoning bylaw requirements.</li> </ul>
		<u>Cons</u>	<ul style="list-style-type: none"> <li>Applicant would not be able to use the suite which they have already constructed for any rental purpose.</li> </ul>
		<u>Implications</u>	<ul style="list-style-type: none"> <li>Staff would have to work with applicant to determine next steps re: their building permit and business license.</li> </ul>
		<u>Suggested Motion</u>	No motion is required.

**POLICY OR LEGISLATIVE IMPACTS:**

This application is consistent with the *Official Community Plan* and the *Local Government Act*.

**NEXT STEPS:**

- If Council approves DVP 23-08, Staff will register the variance on LTSA and the applicants will be able to apply for a business license.

**Respectfully submitted:** Monica Whitney-Brown, Planning Assistant  
 Bruce Greig, Director of Community Planning  
 Duane Lawrence, CAO







## REPORT TO COUNCIL

Council Meeting: June 27th, 2023

500 Matterson Drive, Ucluelet, BC V0R 3A0

**FROM:** MONICA WHITNEY-BROWN, PLANNING ASSISTANT **FILE NO:** 3090-20 DVP23=08

**SUBJECT:** DEVELOPMENT VARIANCE PERMIT FOR 1333 PINE ROAD **REPORT NO:** 23-96

**ATTACHMENT(S):** APPENDIX A – APPLICATION  
APPENDIX B – DEVELOPMENT VARIANCE PERMIT 23-08

**RECOMMENDATION(S):**

THAT Council authorize the Director of Community Planning to execute and issue Development Variance Permit DVP23-08 to allow the construction of one driveway with a maximum crossing width of 7.5 metres.

**BACKGROUND:**



**DISCUSSION:**

The applicant submitted a building permit to convert the garage into a tourist accommodation suite prior to the adoption of *Ucluelet Zoning Amendment Bylaw No. 1310, 2023*. This bylaw restricted the form of B&Bs in residential zones to be in line with traditional B&B operations –

specifically to avoid having disconnected suites with separate entrances. The proposed B&B is permissible as a legally non-conforming use because it was begun prior to the bylaw's adoption. However, the property owners must still comply with all other relevant bylaw requirements, including parking requirements.

A unique feature of this applications' history is that the approved building permit did not show parking. At the time of the owner's building permit application, the bylaw update didn't include the changes to the parking requirements which limited driveway width to 7 m. These changes were introduced when the bylaw was amended in August, 2022, and returned to Council for second reading, public hearing, third reading and adoption. As the submission and review occurred before this time, the applicant did not initially show the width required to accommodate the three parking spots on their plan, and staff did not require them to do so at zoning check, noting only that the applicant would have to provide three spots at business license application time. Therefore, the parking is not legally non-conforming, and a variance would be required to fit the required parking on site.

#### Zoning Bylaw Parking Requirements for B&Bs:

*District of Ucluelet Zoning Bylaw 1160, 2013* (the "Zoning Bylaw"), includes [parking requirements](#) associated with different uses in the District of Ucluelet. Requirements include two standard parking spaces per single-family dwelling, plus one additional space per B&B room.

Parking issues can be a significant way B&B uses impact the streetscape and neighbours in residential areas. For this reason, the zoning bylaw requires operators of overnight tourist accommodations to provide private parking spots on their property to service the guests they bring into the neighbourhood. Parking requirements for Bed and Breakfast operations are a measure of control the District of Ucluelet has to minimize the impacts of B&Bs and ensure they only take place on properties where owners can provide full services to their guests, including on-site parking. The limits on driveway width were implemented in response to the growth of new builds and new B&Bs which relied paving their frontage to accommodate parking. This approach heavily impacts the feel and character of neighbourhoods, and the streetscape. Additionally, having a large number of cars backing onto residential streets can present a safety concern.

In general, Staff would not recommend variances for parking to allow B&B operations where the applicant cannot comply with bylaw requirements. However, in this case the applicant was caught in the midst of a bylaw update. Given that the suite is built and has received occupancy, and that the variance is minimal (0.5 metres of additional driveway width), staff have drafted a recommended motion to allow the variance. The applicant has noted in their letter of intent that they hope to use the suite to provide long-term housing in the future. If the suite were converted to a secondary suite, they would still require an additional parking spot, so allowing this variance

at this time would allow them to pursue a change of use in the future without needing additional Council approval.

The applicant has included a detailed letter of intent, including indicating that their most highly desired outcome would be for Council to waive the parking requirement. They have a row of mature laurels beside the edge of the existing driveway which are very attractive to the streetscape and which would have to be removed to accommodate the additional vehicle. They have included a letter of support signed by neighbouring residents. This option has been included for Council’s consideration, although Staff have recommended that a permanent solution to locate the parking on site be approved instead.

**ANALYSIS OF OPTIONS:**

<b>A</b>	Authorize the issuance of Development Variance Permit 23-08.	<u>Pros</u>	<ul style="list-style-type: none"> <li>• Applicant can proceed with their business license application.</li> <li>• Resolves issue for applicant caught by the bylaw update.</li> <li>• Ensures adequate parking for the B&amp;B use is provided on site.</li> <li>• Establishes a third parking spot on site, allowing conversion to a long-term suite in the future</li> </ul>
		<u>Cons</u>	<ul style="list-style-type: none"> <li>• Loss of some attractive streetscaping vegetation and privacy screening.</li> <li>• Allows three vehicle parking spots to be located along the street frontage, backing out into the road.</li> </ul>
		<u>Implications</u>	<ul style="list-style-type: none"> <li>• The applicant will be able to apply for a business license, and begin operation of their B&amp;B.</li> </ul>
<b>B</b>	Direct Staff to give public notice for Development Variance Permit 23-08 to eliminate on-site parking requirements for a B&B use on the subject property.	<u>Pros</u>	<ul style="list-style-type: none"> <li>• Allows the applicant to achieve their most desired outcome.</li> <li>• Retains current streetscape foliage.</li> </ul>
		<u>Cons</u>	<ul style="list-style-type: none"> <li>• Could be perceived as setting precedent that Council is in favour of waiving parking requirements for short-term rentals in residential neighbourhoods.</li> <li>• Relies on District right of way to provide adequate parking for guests.</li> <li>• Does not ensure that applicant minimizes impact of their secondary uses on the neighbourhood.</li> </ul>
		<u>Implications</u>	<ul style="list-style-type: none"> <li>• As this option would present a significantly altered variance, Staff would give notice again with the updated variance as per LGA requirements, and return this matter to Council at a future date.</li> </ul>
		<u>Suggested Motion</u>	THAT Council direct staff to give public notice for development variance permit 23-08 to eliminate parking requirements for a proposed B&B use at 1333 Pine Rd.

C	Reject the application.	<u>Pros</u>	<ul style="list-style-type: none"> <li>Maintains current zoning bylaw requirements.</li> </ul>
		<u>Cons</u>	<ul style="list-style-type: none"> <li>Applicant would not be able to use the suite which they have already constructed for any rental purpose.</li> </ul>
		<u>Implications</u>	<ul style="list-style-type: none"> <li>Staff would have to work with applicant to determine next steps re: their building permit and business license.</li> </ul>
		<u>Suggested Motion</u>	No motion is required.

**POLICY OR LEGISLATIVE IMPACTS:**

This application is consistent with the *Official Community Plan* and the *Local Government Act*.

**NEXT STEPS:**

- If Council approves DVP 23-08, Staff will register the variance on LTSA and the applicants will be able to apply for a business license once they have widened their driveway sufficiently.

**Respectfully submitted:**      Monica Whitney-Brown, Planning Assistant  
    Bruce Greig, Director of Community Planning  
    Duane Lawrence, CAO



## Variance Application Package

Pg 1-2

- Statement of Intent

Pg 3-7

- Site Plan
- Title Search
- Development Application
- Signatures of Support

**Prepared by Andi Wardrop**  
LOT 20, BLOCK 2, SECTION 21  
CLAYOQUOT DISTRICT, PLAN 14416

**Prepared for District of Ucluelet**  
Box 999, 200 Main Street  
Ucluelet, BC V0R 3A0  
Phone: 250-726-7744

**Summary:** The following is a Development Variance Permit for a property located at 1333 Pine Road to address the parking requirements. According to the zoning bylaws, three parking spaces are needed, but the driveway width limitation of 7 meters poses a challenge. We propose two options: an exemption of 0.5 meters to the driveway width or utilizing one public parking spot. Both options have minimal impact on neighbours and the street's aesthetics, however, *option one* would disrupt the community and require the removal of mature vegetation. We are committed to responsible tourism and assure you of our intention to operate in a sustainable manner.

## Variance Application

JUNE 15, 2023

OWNER(S): ANDREA WARDROP & TIMOTHY WARDROP  
LOT 20, BLOCK 2, SECTION 21  
CLAYOQUOT DISTRICT, PLAN 14416

### **Subject: Request for Development Variance Permit - Parking Requirement**

Dear Ucluelet Municipal Planning Department,

I hope this correspondence finds you well. I am writing to formally request a Development Variance Permit to address the parking requirement for my property located at 1333 Pine Road.

The purpose of this letter is to outline the specific variance needed and provide justification for the request. As per the provided site plan and in accordance with Zoning Bylaw No. 1160, 2013, the property requires a total of three parking spaces. Two parking spots are required for the single-family dwelling, and an additional parking spot is required for each room of the Bed and Breakfast (B&B) establishment. We have recently renovated and gained occupancy for a (1) bedroom suite.

First and foremost, it's important to us that you know our intent is to provide comfortable and affordable accommodations for visitors to the area this summer but the space would be prioritized for locals long-term. We plan to use the space respectfully as the comfort of our neighbours is our top priority.

#### **Option 01: Exemption of 0.5 meters to driveway width limitation.**

Upon reviewing the zoning bylaws, we have identified that the primary hurdle to meeting the parking requirements lies in regulation 504.7 of Division 500: Off-Street Parking Requirements. This regulation restricts the permitted width of the driveway to 7 meters at the property line. We acknowledge that if we were to add an additional parking spot as shown in the attached sketch, the combined width of the driveway would exceed the allowable 7 meters.

Given these circumstances, we find it necessary & appropriate to seek a Development Variance Permit from the District Council. Our objective is to request an exemption or waiver of the driveway width limitation, enabling us to meet the required parking spaces while also achieving the least amount of impact and disruptions. In this option (01), we seek to vary 0.5 meters to the total allowable driveway width. See Site Plan below for visual reference and options.

#### **Option 02: Use of (1) public parking space**

We feel it's important that we mention this would be the preferred variance for us as well as our surrounding neighbours for the reason that it has no impact as all given public parking on Pine Road is already currently used for secondary vehicles and

visitors. A strong consideration in favour of this option is that our property has only (1) one vehicle for the household. We feel it's a benefit that I do not own, nor plan to own, any recreation vehicles, boats, or second personal vehicles which would use up our required single-dwelling parking spaces or may contribute to the overall aesthetics of the street.

In seeking this variance, we are requesting the use of one public parking spot to be used by the homeowner. We recognize the importance of providing adequate parking for our guests, and we are confident this will be achieved with ease. Considering the front scape of the property and the nature of the surrounding area, we believe this option has the least impact on the community or mature plants and shrubs.

### **Community Considerations**

We understand the concern around the increase in multi-suites in Ucluelet and the intention has always been that we can provide this suite as long-term housing while retaining privacy in our principal residence as the occupants. I live here permanently, provide local professional services, and wish to be able to stay in this community and continue to contribute to its growth in a sustainable and conscious way.

Considering the minimal impact and benefits associated with the requested variance, we kindly urge your favourable consideration for granting the variance sought at 1333 Pine Road. We are grateful for your attention to this matter and would be happy to provide any further information or clarification if needed, and we look forward to working collaboratively to ensure that our B&B operates in a responsible and sustainable manner.

Thank you for your time and consideration.

Sincerely,

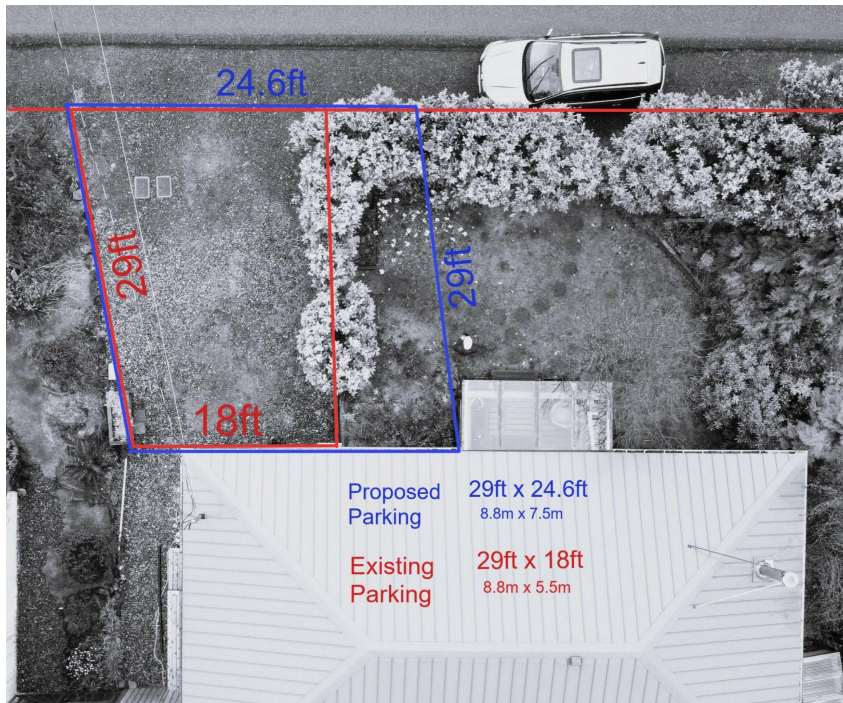
Andi Wardrop



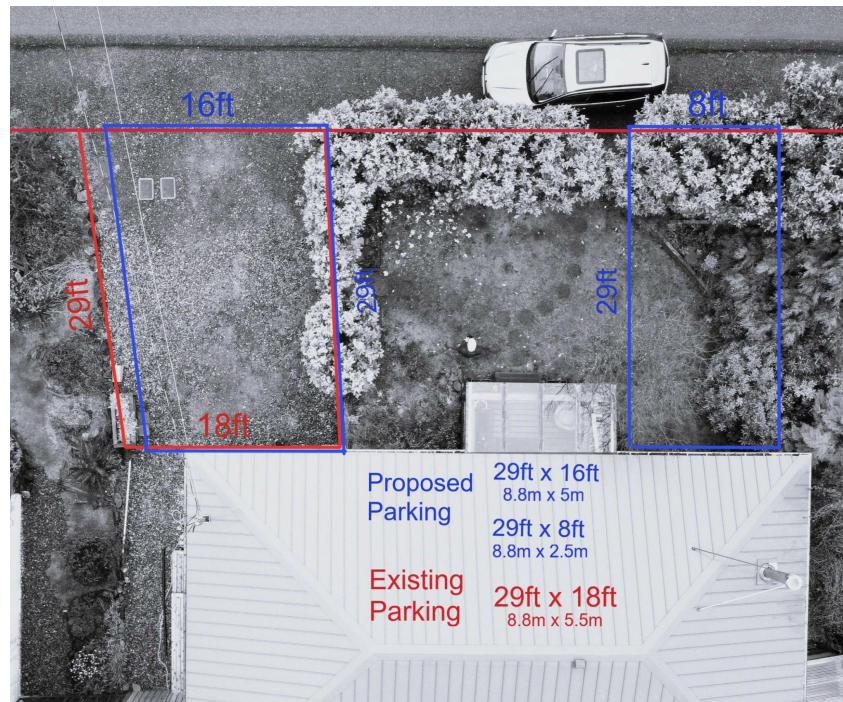


## Supporting Documentation

### 1. SITE PLAN



PROPOSED PARKING SITE 01



PROPOSED PARKING SITE 02



May 28, 2023

We, residents of Pine Road and surrounding dwellings are in favour of the variance being applied for by Andi Wardrop at 1333 Pine Road. We believe that granting this variance would have no direct impact on the neighbours or the aesthetic of our street, and it can be given without any negative consequences for our community.

Allowing the use of a single public parking spot on the property would be a practical solution that avoids major disruptions to our neighborhood. The alternative, which involves constructing additional parking spaces, would not only result in noise and disruption during excavation but also necessitate the removal of valuable mature trees, shrubs, and rhododendrons. Preserving the existing natural beauty of our street is of utmost importance to us, and we believe that granting the variance is a viable solution that aligns with this objective.

Furthermore, we understand that the intention behind this variance is to provide long-term housing or create a secondary space attached to the home for future in-law living. This additional space would also serve as a welcoming place for parents of our community who come to visit their families in Ucluelet. By supporting this variance, we are fostering a sense of inclusivity and providing a supportive environment for our community members and their loved ones.

Thank you for taking the time to review our concerns and considerations. We trust that you will give this matter the attention it deserves and make a decision that supports the well-being and harmony of our community.

Sincerely,

Chris Woodward [redacted] Ucluelet [redacted]  
Name & Address

Sharon [redacted] 1318 Helen  
Name & Address

Diane Rudge 1343 Helen  
Name & Address

Fernanda Comerlato 1324 Pine Rd [redacted]  
Name & Address

Jordan Dyck 1349 Pine Rd [redacted]  
Name & Address

Sandy Davis 1340 Pine Rd [redacted]  
Name & Address

Jamie Bone 1356 pine  
Name & Address

Haily Morel 1356 Pine  
Name & Address

Tom Fraser 1357 Pine  
Name & Address

Harvey Gilles 1325 Pine  
Name & Address

Kristen Walters 236 Alder St.  
Name & Address

Chris Hyde 236 Alder St.  
Name & Address



## DEVELOPMENT VARIANCE PERMIT DVP 23-08

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Pursuant to section 498 of the Local Government Act, R.S.B.C 2015 C.1 as amended:

1. This Development Variance Permit is issued to:

*Andrea Wardrop, 1333 Pine Road, Ucluelet, BC*

2. This Development Variance Permit applies to, and only to, those lands within the District of Ucluelet described below, and the buildings, structures, and other development thereon:

*1333 Pine Road, PID 002374846, Lot 20, Block 2, Plan VIP14416, Section 21, Clayoquot Land District*

3. The work authorized by this Permit may only be carried out in compliance with the requirements of the *District of Ucluelet Zoning Bylaw No. 1160, 2013*, except where specifically varied or supplemented by this development variance permit and in compliance with all federal, provincial, and municipal statutes, regulations, and bylaws.
4. This permit authorizes the following variance:
  - a. A minimum of zero parking spaces for a one-bedroom B&B use, whereas section 505.1 of the *District of Ucluelet Zoning Bylaw No. 1160, 2013* requires 1 space per bedroom or guest room for B&B use.
5. Notice shall be filed in the Land Title Office under Section 503 of the Local Government Act, and upon such filing, the terms of this Permit or any amendment hereto shall be binding upon all persons who acquire an interest in the land affected by this Permit.
6. The above variance is granted for the current and proposed structures and use of the land for the purposes of a single-family dwelling and single bed and breakfast unit. Should the buildings be later removed or destroyed, this Development Variance Permit shall cease to apply and the zoning requirements in effect at the time shall apply.
7. This Permit is NOT a Building Permit.

**AUTHORIZING RESOLUTION** passed by the Municipal Council on the \_\_\_\_\_ of \_\_\_\_\_, 2023.

**IN WITNESS WHEREOF** this Development Variance Permit is hereby executed and issued by the Municipality the \_\_\_\_\_ of \_\_\_\_\_, 2023.

**ISSUED** the \_\_\_\_\_ day of \_\_\_\_\_, 2023.

---

Bruce Greig - Director of Community Planning



## REPORT TO COUNCIL

Council Meeting: July 18th, 2023

500 Matterson Drive, Ucluelet, BC V0R 3A0

FROM: MONICA WHITNEY-BROWN

FILE No: 3090-20-DVP23-06

SUBJECT: DEVELOPMENT VARIANCE PERMIT APPLICATION – 1701 RAINFOREST LANE REPORT No: 23- 106

ATTACHMENT(S): APPENDIX A - APPLICATION  
 APPENDIX B – DEVELOPMENT VARIANCE PERMIT 23-06  
 APPENDIX C – PUBLIC FEEDBACK

### RECOMMENDATION(S):

THAT Council authorize the Director of Community Planning to execute and issue Development Variance Permit DVP23-06 for the construction of a single-family dwelling and accessory dwelling unit at 1701 Rainforest Lane.

### BACKGROUND:

This Development Variance Permit (DVP) application was received for the property at 1701 Rainforest Lane (PID 026432170, Lot 13, Plan VIP79602, District Lot 282, Clayoquot Land District - the “subject property”).

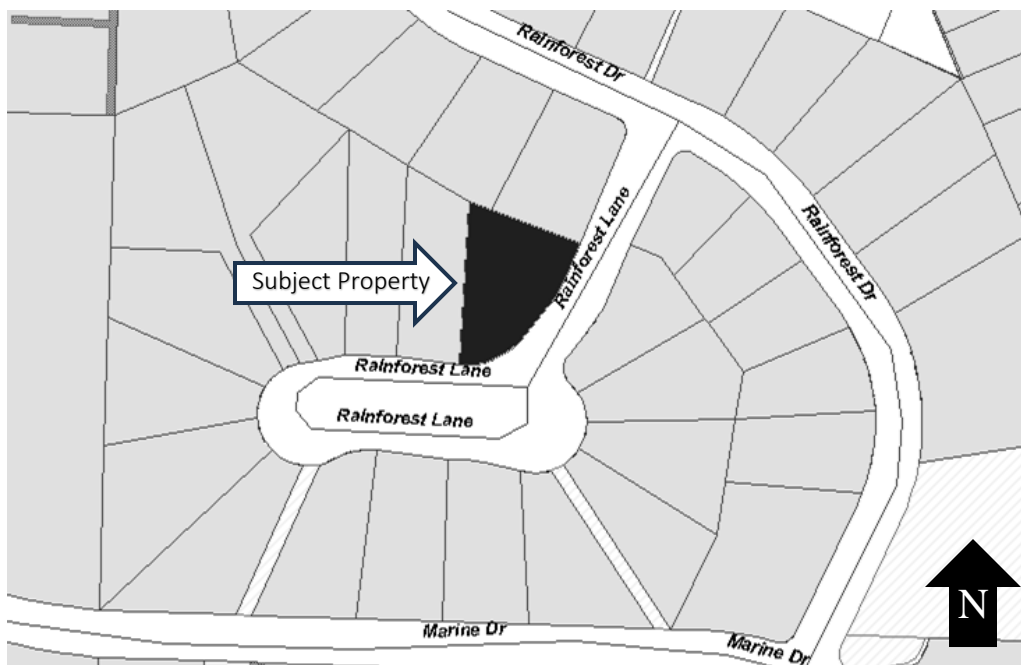


Figure 1 - Subject Property

This DVP application is for a proposed single-family dwelling and an Accessory Dwelling Unit on a large, irregularly-shaped lot on Rainforest Lane in the CD-3 Zone (CD-3A.1.1 - Single-family residential subzone). The applicant initially sought setback variances which infringed on the front yard setback to a greater degree, and subsequently amended their application to minimize the setback variances required, while still maximizing the privacy of their proposed buildings.

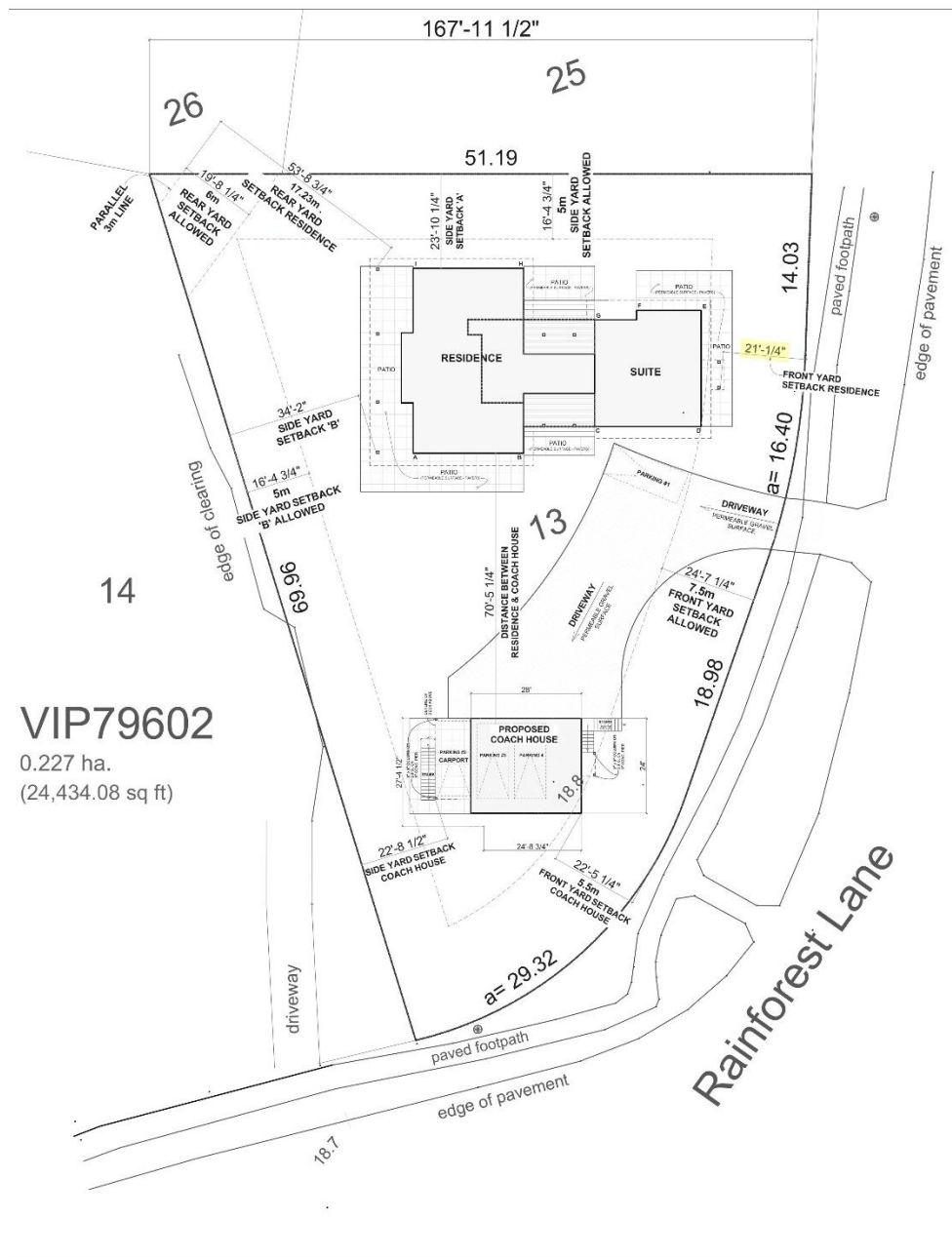
**DISCUSSION:**

In September 2022 the District of Ucluelet Council adopted *Bylaw No. 1310, 2022* which amended zoning in most residential zones to add Accessory Dwelling Unit (ADU) as a permitted secondary use. Accessory residential dwelling units are a very desirable form of infill housing in the District of Ucluelet, providing a long-term rental option with increased privacy and function.

The bylaw sections regulating the form and siting of ADUs apply equally to all lots regardless of size and shape. At the time of adoption, Council discussed and noted that some property owners may need to seek a variance to make construction of an ADU feasible. This application is one such example.

The applicant has a large, pie-shaped lot on Rainforest Lane. The applicant's preliminary site and building plans propose significant residential housing uses on their lot. The applicant intends to live in the single-family dwelling and proposes to construct a secondary suite and ADU for long-term rental and residential use (fig. 2).

Along the west side of the property, the applicant's neighbour has cleared significantly along the shared lot line, resulting in reduced privacy elements for the applicant. They are hoping to locate their proposed main and accessory building in such a way as to maximize the space between them and the adjacent neighbour, without significantly impacting the public realm. To achieve their desired site plan, they are seeking setback variances, as well as seeking to vary some of the ADU regulations including height, maximum gross floor area, and size of the second storey.



SITE INFORMATION			
LEGAL	LOT-13, DISTRICT LOT 282, CLAYQUOT DISTRICT, PLAN VIP79602, PID: 028-432-170		
ZONING	CD-3A		
SITE AREA	Imperial	Metric	Allowed / Required
	24,434.08 ft <sup>2</sup>	2,270.0 m <sup>2</sup>	N/A
SITE COVERAGE	Imperial	Metric	Allowed / Required
	2,974.78 ft <sup>2</sup>	276.37 m <sup>2</sup>	30% (8,551.93ft <sup>2</sup> )
Principle Residence Site Coverage	877.50 ft <sup>2</sup>	81.52 m <sup>2</sup>	30% (7,339.22ft <sup>2</sup> )
Coach House Site Coverage	3,852.28 ft <sup>2</sup>	357.89 m <sup>2</sup>	35% (8,551.93ft <sup>2</sup> )
Total Site Coverage	2,974.78 ft <sup>2</sup>	276.37 m <sup>2</sup>	30% (8,551.93ft <sup>2</sup> )
SETBACKS	Imperial	Metric	Allowed / Required
	Side A	23'-10 1/4"	7.27 m
Side B	34'-2"	10.42 m	5 m
Rear Yard	53'-8 3/4"	16.30 m	8 m from Parallel 3 m Line
Front Yard	21'-1/4"	6.41 m	7.5 m
DENSITY	Imperial	Metric	Allowed / Required
	Principle Residence Main Floor Area	1,545.05 ft <sup>2</sup>	143.54 m <sup>2</sup>
Principle Residence Suite Floor Area	767.92 ft <sup>2</sup>	71.34 m <sup>2</sup>	N/A
Principle Residence Upper Floor Area	739.90 ft <sup>2</sup>	68.74 m <sup>2</sup>	N/A
Coach House Suite Floor Area	672.0 ft <sup>2</sup>	62.43 m <sup>2</sup>	645 ft <sup>2</sup> (60 m <sup>2</sup> )
Garage Floor Area	672.0 ft <sup>2</sup>	62.43 m <sup>2</sup>	N/A
Gross Floor Area Principle Residence	3,052.87 ft <sup>2</sup>	283.62 m <sup>2</sup>	0.5 (12,217.64ft <sup>2</sup> )
HEIGHT	Imperial	Metric	Allowed / Required
	Principle Residence Height	21'-2 3/4"	6.47 m

SITE PLAN

1/16" = 1'-0"

Figure 2 – Site Plan

Principal Dwelling:

The applicant has amended their original site plan in an effort to locate the majority of the principal dwelling outside their front yard setback. Their proposed plan does still require a variance to the front yard setback from the 7.5 metres required to 6.4 metres to accommodate two posts supporting an overhang over the covered entrance to their secondary suite.

### Accessory Dwelling Unit:

In order to meet the requisite amount of parking for their proposed uses within the smallest footprint possible, the applicants have proposed to locate their accessory residential dwelling unit above a detached two-car garage. To do so they are seeking to vary the height allowance from a maximum permitted height of 3.75 metres to a maximum of 8 metres, to allow a two-storey building to be constructed. To maximize the livable area of the ADU, the applicants are seeking variances to allow the area of a second floor to be up to 100% of the total floor area beneath it, whereas *Zoning Bylaw No. 1160, 2013* requires the area of a second floor to be no greater than 60% of the total floor area beneath it. They are also seeking a modest variance to allow the maximum size of the accessory building (garage) to be 62.43 m<sup>2</sup>, whereas the CD-3A zone allows a maximum size of 60 m<sup>2</sup> for accessory buildings.

The applicants are additionally seeking a front yard setback variance from a required setback of 7.5 metres to 6.4 metres to accommodate the proposed ADU where the property becomes quite narrow.

The variances proposed would all allow the applicant to develop a single-family dwelling and two additional long-term residential units on their property. The requested height variance is significant: when *Bylaw No. 1310* was adopted it set the height at 3.75 metres to permit a single-storey ADU outright, and require that a two-storey ADU (a true “carriage house”, above a garage) would come to Council for a variance. This enables neighbourhood input before a taller ADU is approved – a chance to identify and mitigate any impacts on neighbours’ privacy, etc.

The impact to the streetscape is anticipated to be fairly minimal, as it will be in line with height requirements for single-family dwellings along this street. The side yard setback to the nearest neighbour is preserved, and the ADU’s position is not directly beside the neighbouring house. The front yard setback reductions are fairly minimal in scale and maintain over 20 feet of setback from the public path along Rainforest Lane.

In addition, the applicant has agreed to a condition of this DVP being to maintain the front setback in a vegetated state, retaining the maximum possible trees and vegetation. This condition provides a greater guarantee for maintaining the vegetated frontage than currently exists on all surrounding properties.

Given the housing crisis facing Ucluelet residents, particularly renters, a proposal to add rental and residential density thoughtfully in existing, serviced lots may be considered appropriate infill development.

It should be noted that there is a statutory building scheme registered on title for this property; ensuring compliance with the building scheme would be a matter outside of District purview.



**ANALYSIS OF OPTIONS:**

<b>A</b>	Authorize the issuance of Development Variance Permit 23-06	<b>Pros</b>	<ul style="list-style-type: none"> <li>Allows the applicant to proceed with their desired construction plans</li> <li>Adds varied modes of housing onto a residential lot, which will provide additional residential and rental units</li> </ul>
		<b>Cons</b>	<ul style="list-style-type: none"> <li>Reduces the setbacks from the property lines</li> </ul>
		<b>Implications</b>	<ul style="list-style-type: none"> <li>The applicant will proceed with their design and apply for a building permit.</li> </ul>
<b>B</b>	Provide alternative direction to the applicant of changes necessary to further consider the application	<b>Pros</b>	<ul style="list-style-type: none"> <li>Gives the applicant clear direction on how to proceed with their application</li> </ul>
		<b>Cons</b>	<ul style="list-style-type: none"> <li>The application is delayed</li> <li>Potential loss of an ADU if they are unable to construct the unit on the site</li> </ul>
		<b>Implications</b>	<ul style="list-style-type: none"> <li>The Applicant would need to reconsider their application</li> <li>Staff time required to direct applicant on next steps, and amend the variance as per Council instruction</li> <li>Public notice would need to be given again based on new information</li> </ul>
		<b>Suggested Motion</b>	THAT Council defer consideration of this application until [provide alternative direction here]
<b>C</b>	Reject the application	<b>Pros</b>	<ul style="list-style-type: none"> <li>Setbacks will be maintained as originally determined by the original subdivision</li> <li>Construction would only occur on the buildable area of the lot within the setbacks</li> </ul>
		<b>Cons</b>	<ul style="list-style-type: none"> <li>Would not allow the applicant to build additional housing on their property</li> </ul>
		<b>Implications</b>	<ul style="list-style-type: none"> <li>Unknown</li> </ul>
		<b>Suggested Motion</b>	No motion is required.

**POLICY OR LEGISLATIVE IMPACTS:**

This application is consistent with the *Official Community Plan* and the *Local Government Act*.

**NEXT STEPS:**

If the application is approved by Council:

- Staff will register the DVP with LTSA.
- The applicant will be able to apply for a building permit.

Respectfully submitted:      Monica Whitney-Brown, Planning Assistant  
Bruce Greig, Director of Planning  
Duane Lawrence, Chief Administrative Officer



## BOARD OF VARIANCE APPLICATION

Original submission: January 4<sup>th</sup>  
Updated submission: June 22<sup>nd</sup>

Ucluelet Board of Variance  
District of Ucluelet - Planning Department  
200 Main St. PO Box 999  
Ucluelet, BC V0R 3A0

**Re: Lot-13, District Lot 282, Plan VIP79602 or 1701 Rainforest Lane**  
**Zoning: CD – 3A.1.1**

Three variances are requested:

1. To allow two support posts within the 7.5m front yard setback (setback distance defined in CD-3A.6)

Reason: The neighbouring property (Lot-14) has cleared to the edge property line with no rehabilitation of damaged vegetation. One small section the survey shows that vegetation has been disturbed on our side of the property line. We feel that the privacy along that edge has been significantly reduced. The principal residence in the neighbouring property was built so it directly faces towards our lot.

Because of this, we would like to be able to situate the Principle Residence right at the edge of the front yard setback to maximize our privacy from the neighbouring property, but this results in posts that support an overhang above the side entrance to be inside this 7.5m.

2a: An easing of the Front Yard and Side Yard setbacks with respect to the height of a proposed ADU. Specifically the need to increase the setback for height above the maximum stated. Section 408.2 [Bylaw 1310, 2022]:

*(3) The height of an Accessory Residential Dwelling Unit may be increased by 0.3m vertical distance for every 0.6m increase in excess of the minimum setbacks established by this bylaw, to a maximum height of 6.5m.*

2b: And, an allowance for one corner of the ADU and a portion of the stairs to infringe on this 7.5m setback.

Reason 2a: due to the irregular shape of the property and the narrowing of the lot between the Front and Side Yard as you move south, the property is not wide enough to allow for a coach house and at the same time meet the additional 0.6m of additional setback for every 0.3m of height above the maximum height allowed. See diagram.

Reason 2b: Privacy. We are trying to keep as much distance as we can between the principle residence and the ADU and at the same time keeping as much distance between the ADU and the neighbouring property. Note: the principal residence in the neighbouring property was built so it directly faces towards our lot.

Purpose of the ADU: the coachhouse will be used by used by ourselves and our family initially and potentially be turned into a long term rental in the future.

3. Allowance for the second floor of the ADU to be 100% of the area of the floor. 408.2 [Bylaw 1310, 2022] states:

*(4) For an Accessory Residential Dwelling Unit with flat roofs or roofs with a pitch less than 3:12, the area of a second floor shall be no greater than 60% of the total floor area beneath it.*

Reason: a roof pitch of 1.5:12 matches the design style of the Principle Residence.

Alyne Francis



Site Plan of:  
 Lot 13, District Lot 282;  
 Clayoquot District, Plan VIP79602

Parcel Identifier: 026-432-170

SCALE - 1 : 500



All distances are in metres and decimals thereof

(plot on 8.5" x 11" sheet)

**LEGEND**

Geodetic elevations are shown (in Metres)

Tree bases approximately to scale.

Where tree location is critical, tree species and canopy should be confirmed by qualified arborist.

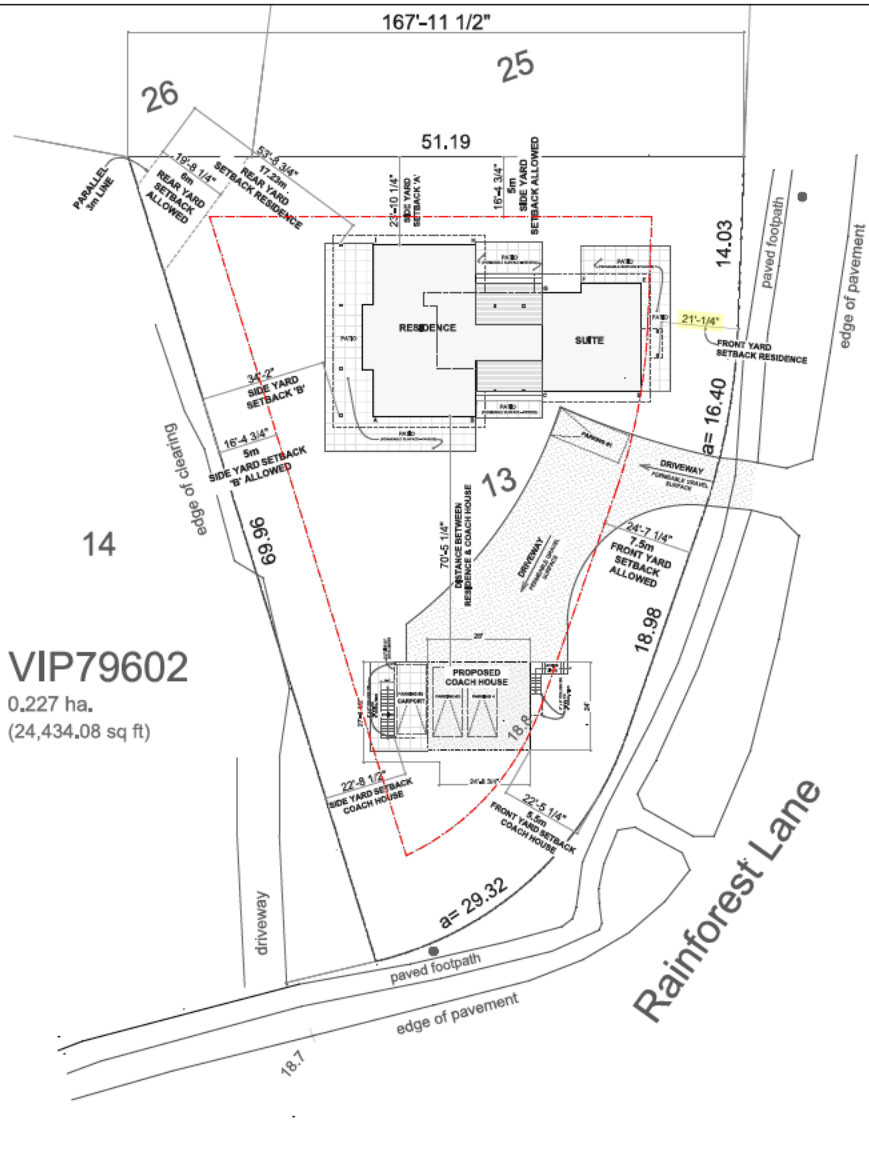
- TRC ○ - denotes cedar tree
- TRH ○ - denotes hemlock tree
- TRP ○ - denotes pine tree

The following non-financial charges are shown on the current title and may affect the property  
 EX119961 - Statutory Building Scheme

Parcel dimensions shown hereon are derived from Land Title Office records.

**Plan VIP79602**

0.227 ha.  
 (24,434.08 sq ft)



SITE INFORMATION			
LEGAL	LOT 13, DISTRICT LOT 282, CLAYOQUOT DISTRICT, PLAN VIP79602, PFI: 026-432-170		
ZONING	CD-3A		
SITE AREA	Imperial	26,434.08 sq ft	2,279.0 sq m
	Metric		N/A
SITE COVERAGE	Imperial		Allowed / Required
	Metric		Allowed / Required
Principal Residence	Site Coverage	2,874.78 sq ft	276.37 sq m
			30%
Coach House	Site Coverage	877.20 sq ft	81.82 sq m
			30%
Total Site Coverage	Imperial	3,862.28 sq ft	357.89 sq m
	Metric		30%
SETBACKS	Imperial		Allowed / Required
	Metric		Allowed / Required
Side A	Imperial	23'-10 1/4"	7.27 m
	Metric		5 m
Side B	Imperial	34'-2"	10.42 m
	Metric		5 m
Rear Yard	Imperial	53'-5 3/4"	16.38 m
	Metric		5 m from Parallel 3 m Line
Front Yard	Imperial	21'-1/4"	6.41 m
	Metric		7.5 m
DENSITY	Imperial		Allowed / Required
	Metric		Allowed / Required
Principal Residence	Main Floor Area	1,545.05 sq ft	143.54 sq m
			N/A
Principal Residence	Subs Floor Area	787.82 sq ft	73.34 sq m
			N/A
Principal Residence	Upper Floor Area	139.50 sq ft	12.84 sq m
			N/A
Coach House	Upper Floor Area	872.01 sq ft	80.43 sq m
			645 sq ft (60 sq m)
Garage Floor Area	Imperial	872.01 sq ft	80.43 sq m
	Metric		N/A
Gross Floor Area	Imperial	3,052.87 sq ft	283.82 sq m
	Metric		12,217 sq sq ft
HEIGHT	Imperial		Allowed / Required
	Metric		Allowed / Required
Principal Residence Height	Imperial	21'-4 3/4"	6.47 m
	Metric		3 m (3 m)

SITE PLAN 1/16" = 1'-0"

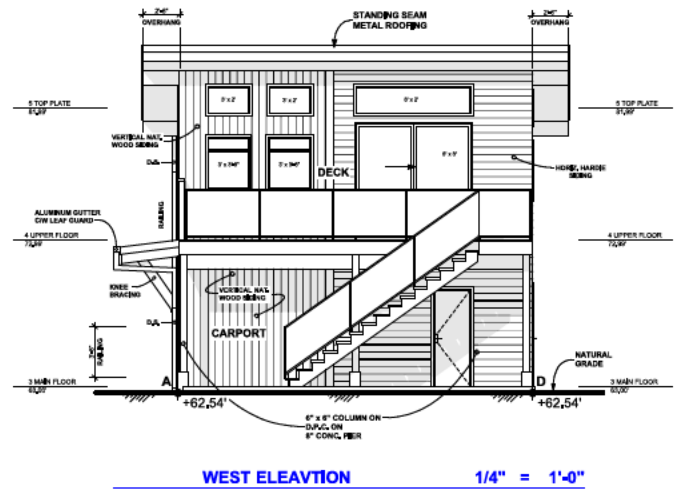
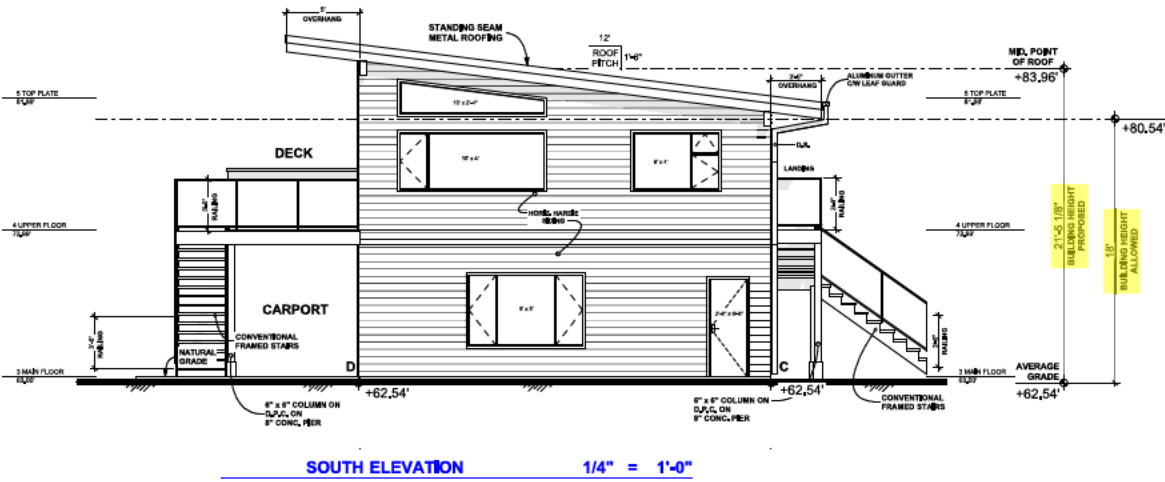
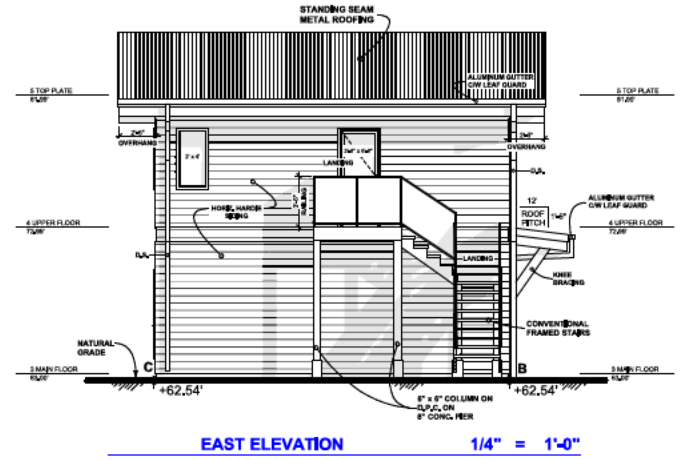
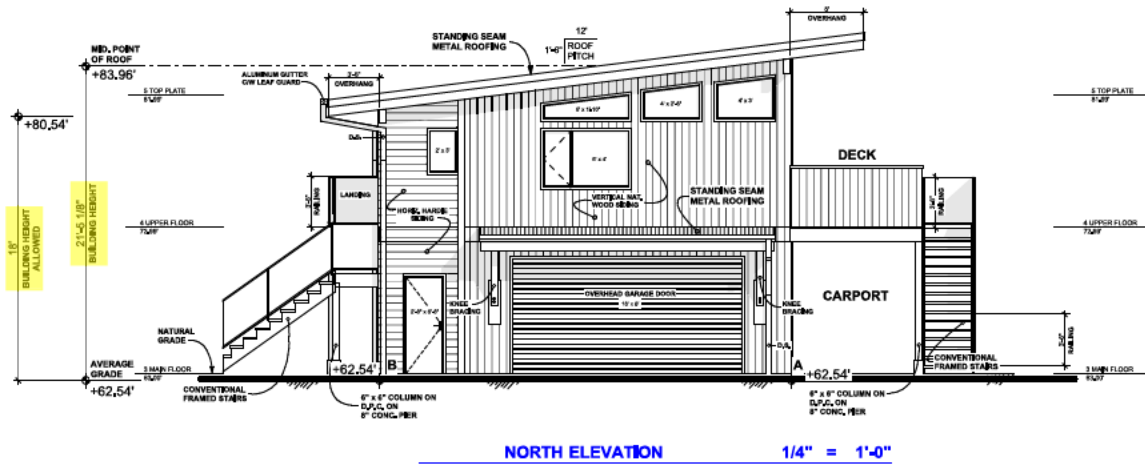
JAMIE A. MARTIN DESIGN LTD.  
 GRAPHTECH DESIGN  
 TEL 604-692-3755 EMAIL: graphtech@shaw.ca  
 SQUAMISH BRITISH COLUMBIA  
 WEB: jamiemartindesigns.com

**NEW RESIDENCE on LOT-13, RAINFOREST LANE,  
 CLAYOQUOT DISTRICT, UCLUELET, B.C.**

REVISED

Scale: AS SHOWN  
 Date: 2017-08-08  
 Drawn by: JAM

Sheet 1 of 264



NEW COACH HOUSE on LOT-13, RAINFOREST LANE, CLAYOQUOT DISTRICT, UCLUELET, B.C.

JAMIE A. MARTIN DESIGN LTD.  
 GRAPHIC-TECH DESIGN  
 TEL: 604-893-2222  
 SQUAMISH BRITISH COLUMBIA  
 WEB: jamiemartindesigns.com



## DEVELOPMENT VARIANCE PERMIT DVP23-06

---

Pursuant to section 498 of the Local Government Act, R.S.B.C 2015 C.1 as amended:

1. This Development Variance Permit is issued to:

*Alyne Francis, 1701 Rainforest Lane, Ucluelet, BC, V0R 3A0*

2. This Development Variance Permit applies to, and only to, those lands within the District of Ucluelet described below, and the buildings, structures, and other development thereon:

*1701 Rainforest Lane PID 026432170, Lot 13, Plan VIP79602, District Lot 282, Clayoquot Land District*

3. The work authorized by this Permit may only be carried out in compliance with the requirements of the District of Ucluelet Zoning Bylaw No. 1160, 2013, except where specifically varied or supplemented by this development variance permit and in compliance with all federal, provincial, and municipal statutes, regulations, and bylaws.

4. This permit authorizes the following variance specific to the plans attached as Schedule "A":

- a. *a minimum front yard setback of 6.4 metres from the front lot line for two overhang support posts attached to the principal dwelling, whereas section CD-3A.6.1(a)(2)(i) of the District of Ucluelet Zoning Bylaw No. 1160, 2013 requires 7.5 metres; and,*
- b. *a minimum front yard setback of 6.4 metres from the front lot line for an accessory residential dwelling unit, whereas section CD-3A.6.1(a)(2)(ii) of the District of Ucluelet Zoning Bylaw No. 1160, 2013 requires 7.5 metres; and,*
- c. *a maximum height of 8 metres for the Accessory Dwelling Unit whereas section 408.2(2) of the District of Ucluelet Zoning Bylaw No. 1160, 2013 allows a maximum height of 3.75 m for ADUs with a pitch less than 3:12; and,*
- d. *an area of the second floor of the accessory dwelling unit no greater than 100% of the total floor area beneath it, whereas Section 408.2(4) of the District of Ucluelet Zoning Bylaw No. 1160, 2013 allows a maximum area of the second floor of an ADU with a roof pitch less than 3:12 of no greater than 60% of the total floor area beneath it; and,*
- e. *a maximum gross floor area for accessory buildings of 65 m<sup>2</sup> whereas CD-3A.4.2(1) of the District of Ucluelet Zoning Bylaw No. 1160, 2013 allows a maximum gross floor area for accessory buildings of 60 m<sup>2</sup>.*

5. No vegetation clearing or tree removal will be permitted within the front yard setback, except as required for minor landscaping and pedestrian paths and access. Prior to receiving a building permit, the permittee shall submit a plan indicating the limits of disturbance required within the front yard setback and receive approval by the Director of Community Planning.

6. The above variance is granted for the proposed structures and use of the land as shown on Schedule A and Schedule B. Should the buildings be later removed or destroyed, this Development Variance Permit shall cease to apply and the zoning requirements in effect at the time shall apply.



7. Notice shall be filed in the Land Title Office under Section 503 of the Local Government Act, and upon such filing, the terms of this Permit or any amendment hereto shall be binding upon all persons who acquire an interest in the land affected by this Permit.

8. This Permit is NOT a Building Permit.

**AUTHORIZING RESOLUTION** passed by the Municipal Council on the    day of                   , 2023.

**ISSUED** the    day of                   , 2023.

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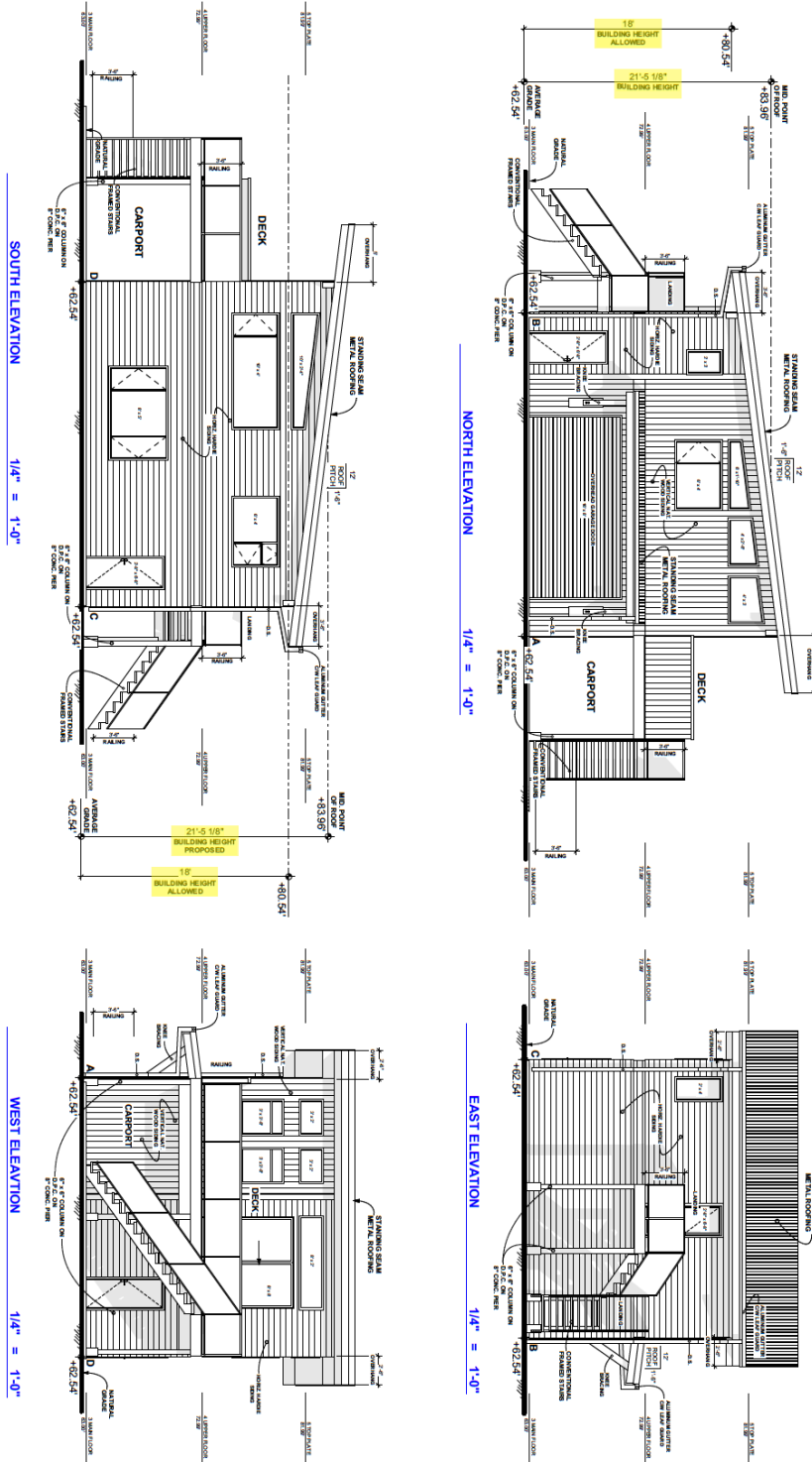
Bruce Greig  
Director of Community Planning







Schedule B – Accessory Dwelling Unit Plans



SCALE: AS SHOWN  
DATE: 09/12/2018  
DRAWN BY: J.A.M.  
CHECKED BY: J.A.M.  
3 OF 9

JAMIE A. MARTIN DESIGN LTD.  
GRAPHIC TECH DESIGN  
TEL 604-892-3755 EMAIL: gtd@techdesign.ca  
SQUAMISH BRITISH COLUMBIA  
WEB: jamiemartindesigns.com

NEW COACH HOUSE on LOT-13, RAINFOREST LANE, CLAYOQUOT DISTRICT, UCLUELET, B.C.

## Joseph Rotenberg

---

**From:** Halfyard Studios [REDACTED]  
**Sent:** July 8, 2023 12:36 PM  
**To:** Community Input Mailbox  
**Subject:** Variance permit DVP23-06

**[External]**

As a new permanent resident of 1722 Rainforest Lane, I am strongly opposed to the proposed plans for lot 282 at 1701 Rainforest Lane.

We built our home following all city bylaws and kept to the height limit and the allotted front and side yard setbacks. We moved here because of the incredible beauty of this land and to live amongst the old growth rainforest. We preserved as many trees as possible for not only ourselves, but our neighbours and our community. This rainforest is irreplaceable and precious to my wife and myself.

We already live across from the eyesore development on the corner of Rainforest Drive and Marine, where the city has allowed for a bigger building and no setbacks to speak of. Multiple trees were destroyed and it has ruined our privacy. Please stop considering these kinds of developments as it is already having a huge negative impact on the rainforest and those of us who call Ukee home.

Sincerely  
Brent Halfyard  
Concerned resident  
Tree Lover  
CEO of Ukee Sound  
[REDACTED]

**Joseph Rotenberg**

---

**From:** Denise Halfyard [REDACTED]  
**Sent:** July 9, 2023 6:19 PM  
**To:** Community Input Mailbox  
**Subject:** 1701 Rainforest Lane input

[External]

To whom it may concern,

Re: District of Ucluelet Development Variance Permit 23-06, Application DVP23-06

I currently reside on Rainforest Lane and am opposed to the request for decreasing the setback for 1701 Rainforest Lane.

When we built our home recently, we were very careful to follow the district bylaws. One of the biggest reasons we chose to make Ucluelet our home was because of the trees. Since moving in, our view has been altered because of this kind of request being allowed.

1701 Rainforest Lane may not directly affect our property now, but if the district keeps allowing people to not follow the setback guidelines, what's to stop future builders from simply asking to not follow the same guidelines that we did. There are still a number of undeveloped properties around us. It worries me that they could make the same request and have it granted. Please stick to your rules. I imagine they were put into place for a reason.

Kind Regards,  
Denise Halfyard  
1722 Rainforest Lane




---

**FROM:** BRUCE GREIG, DIRECTOR OF COMMUNITY PLANNING **FILE NO:** 3070-TUP22-12  
**SUBJECT:** TEMPORARY USE PERMIT LOT 12 – BLACK ROCK OCEANFRONT RESORT **REPORT NO:** 23- 108  
**ATTACHMENT(S):** APPENDIX A – APPLICATION  
APPENDIX B – EXCERPTS OF RELEVANT OCP DEVELOPMENT GUIDELINES

---

**RECOMMENDATION:**

**THAT** Council reject the application for Temporary Use Permit TUP22-12 for temporary staff parking and construction staging on Lot 12 Marine Drive; and,

**THAT** Council suggest that the applicant find an alternative location for the proposed temporary staff parking and construction staging or amend the application to provide a comprehensive sensitively-designed plan for the long term development of Lot 12 in accordance with OCP Bylaw guidelines for Development Permit Areas IV, V, and VII - and show how the clearing and temporary parking area fits as a first phase in the context of the overall plan for the property.

**BACKGROUND:**

A Temporary Use Permit (**TUP**) application was received October 19, 2022, for a parking lot with up to 12 long term camping spaces that could house Black Rock Oceanfront Resort (“**Black Rock**”) employees on Lot 12, Plan VIP84686, District Lot 283, Clayoquot Land District, PID 027473520 (“**Lot 12**”).



Figure 1 – Subject Property – Lot 12

Staff provided feedback on the application, identifying a number of questions that needed to be answered to process the Environmental Development Permit and TUP. Subsequently, Black Rock modified the application to reduce the size of the parking lot and clarify that the requested use at this time is parking for

staff and the staging of materials for an upcoming renovation of the resort. An updated Qualified Environmental Report review of the proposed site was submitted June 29, 2023.

Lot 12 has the CD-5E.1.3 zoning designation. *Parking Lot* is not a principal permitted use under this designation, therefore a Temporary Use Permit would be required to authorize the requested use.

The subject property is a 3.4 acre (1.39 ha) vacant property with a mature forest containing Krummholz trees near the coast, large hemlocks, and significant old cedar snags. The property also contains an important segment of the Wild Pacific Trail (WPT) secured through a Statutory Right of Way (see the SRW below in **Figure 2**).

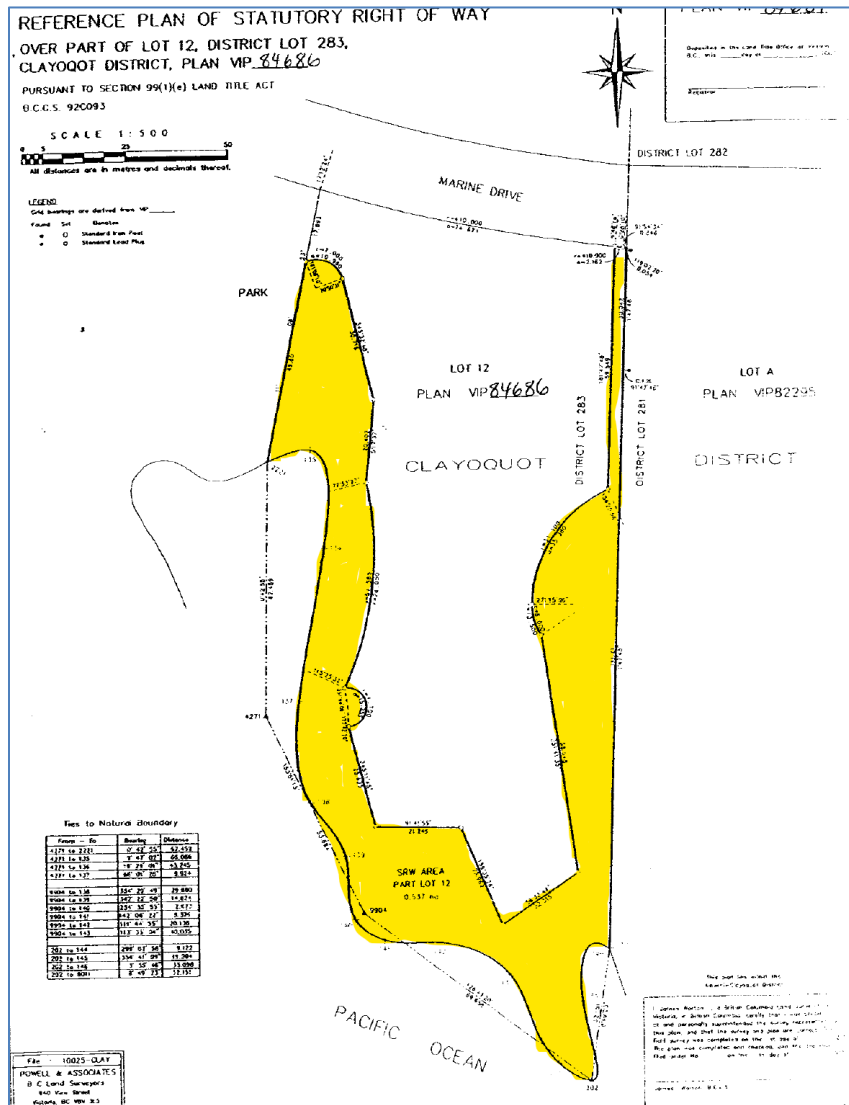


Figure 2 – Trail SRW

This trail segment across Lot 12 retains the wild setting between the developed Black Rock property to the south and the developed areas of the Ocean West subdivision to the north.

This plan, with a reduced footprint, would impact the Lot 12 environment by removing a minimum of 7 large trees plus many other smaller trees and understorey vegetation (see **Figure 3**). The applicant has

completed an environmental assessment report and storm water civil drainage plan. The Redd Fish environmental assessment report identifies that there is a low probability that this area supports species at risk and sets recommendations for development of the temporary parking lot. The drainage plan provided by Herold Engineering would direct rainwater runoff to the shoreline in a manner to avoid erosion (swale and pipe under the WPT to direct water to solid rock).

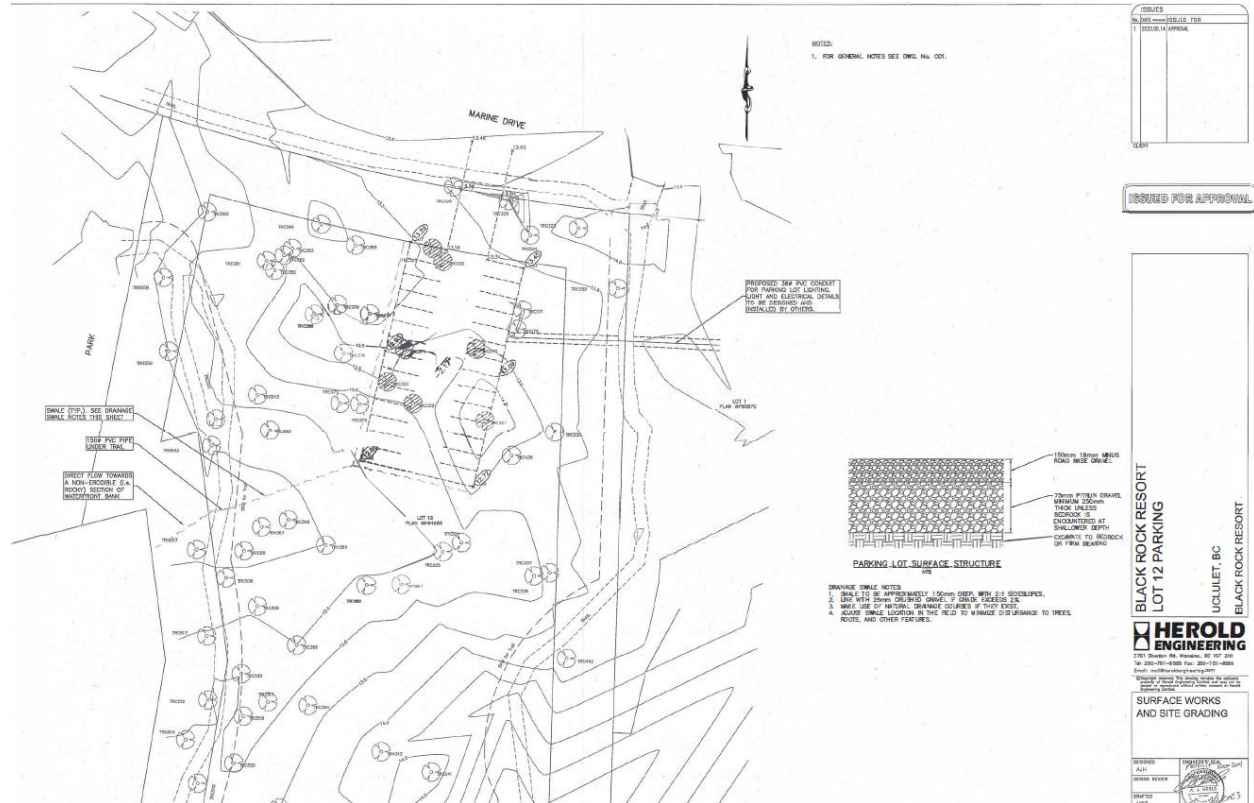


Figure 3 – site plan

**DISCUSSION:**

Due to the proximity to the WPT any development application related to this lot should not be considered until such time as a full development plan for the site has been presented. As such Staff cannot recommend approval to clear a portion of the lot for temporary purposes without assessing the long-term development of the entire site and providing a comprehensive plan to address the on-and off-site impacts of the development.

**A - Environmental Impact**

Lot 12 is a key property along the coast with largely intact environmental attributes. Many have experienced Lot 12 from the Wild Pacific Trail and its wild setting, spectacular viewpoints, and connection to Brown’s Beach, trails to north, and Big Beach Park to the south. It is important to the community for any development on Lot 12 to be done in a considered and sensitive manner. In this case the applicant is looking to clear a section of the lot that contains multiple large and mature trees for the purpose of parking and staging of construction materials for a temporary use and without a comprehensive development plan for



the site. While there is obvious convenience to having a large staging and parking area next door to the subject property, the proposal would impact environment Marine Drive frontage and WPT experience.

Without an overall plan for the future long-term development of Lot 12, staff struggle to recommend support for clearing part of this forested site to create a temporary parking area. If approved, staff recommend that at a minimum the owner be required to provide an arborist assessment and recommendation for protecting the root zone of the trees to be retained on the edge of the clearing.

Development of Lot 12 is to be expected but the current plan - to start by clearing a portion of the lot for temporary uses and figure out the long-term use of the land later - is not consistent with the development practices guided by the bylaws adopted by the community.

## B – Wild Pacific Trail (WPT)

Any new development on this site should be considered in conjunction with improvements to the connectivity of the WPT. A key objective of Ucluelet’s official Community Plan (OCP) bylaw (F31) is for the WPT to continuously follow the exposed outer shore along the length of the peninsula. This vision for the WPT was achieved within Lot 12 by Statutory Right of Way (SRW) but was not secured on the adjacent Black Rock property. A coastal bypass route through the Black Rock parking lot was partially secured but has critical gaps. The map in Figure 4 shows where the WPT bypass route was secured by SRW, shaded in yellow:

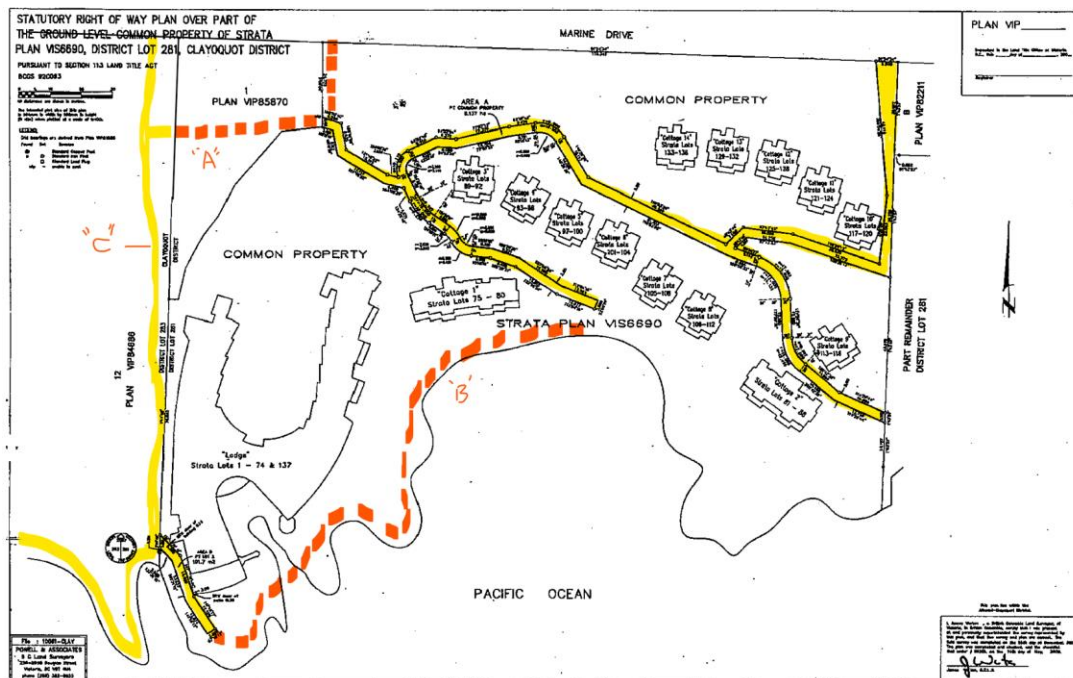


Figure 4 – Secured Trail (yellow) and Unsecured Potential (red).

The trail connectivity in and around Black Rock is disjointed. Development of Lot 12 will impact that section of the trail as well. Before further development is approved a continuous route for the public trail should be secured – closing the gaps and providing a net improvement to the trail experience for public and resort guests alike. Creating a coastal link would augment the WPT while reducing the impact of development on the WPT along the current corridor and therefore allow more intensive development of the site.



### C – Marine Drive frontage

The OCP guides developments to retain an adequate vegetative buffering along the frontage of the road to preserve the unique natural character of Marine Drive (see relevant excerpts in **Appendix B**). In 2018 the resort obtained a Development Permit to build staff housing on the adjacent lot. As part of that permit the applicant committed to landscape the frontage of the new building to ensure the frontage would blend back into the wild forest streetscape that is prevalent in this section of Marine Drive:



Figure 5 – 2018 staff housing DP Landscape Plan



Figure 6 – Installed planting

The plant material installed did not achieve the proposed wild forest character consistent with the rest of the Marine Drive streetscape. Staff recommend that any approvals for development on Lot 12 include conditions requiring details and security deposit for proposed retention and/or replanting to maintain the ecological function and character of the forested corridor.

#### Summary:

Key considerations in this Temporary Use Permit application include that the zoning does not allow for the development of a parking lot, the proposed parking lot would result in aesthetic impacts on the site, the Wild Pacific Trail and the Marine Drive streetscape, and the long-term use of the lot has not been

determined. Staff recommend that - without a comprehensive plan for the long-term development of the site and measures to mitigate the impacts on the environment, public access, trail and road user experience - Council encourage the applicant to look for an alternative approach for project parking and material staging. Additionally, no timeline for the development of this site has been submitted to staff. As such the development of the proposed parking area should be considered a permanent development with a temporary use.

Black Rock Resort is a major employer and part of the community of Ucluelet. The need for the business to renovate their premises and to expand their employee housing is understood and fully supported. Unfortunately, staff cannot recommend that the impacts are fully addressed with the plans currently presented for the development of a portion of Lot 12 for temporary purposes.

#### ANALYSIS OF OPTIONS:

A	Reject the application for Temporary Use Permit TUP22-12	<u>Pros</u>	<ul style="list-style-type: none"> <li>Keeps the forested site intact until a long-term development is designed to balance appropriate scale and environmental protection.</li> <li>Avoids impacting the WPT and Marine Drive until a more comprehensive plan is presented.</li> </ul>
		<u>Cons</u>	<ul style="list-style-type: none"> <li>The applicant would have to utilize its existing parking lot areas or find an alternative site for expanded parking and staging.</li> </ul>
		<u>Implications</u>	<ul style="list-style-type: none"> <li>There are no financial or staffing implications with rejecting this application.</li> </ul>
B	Direct Staff to give Notice for TUP22-12 subject to additional conditions	<u>Pros</u>	<ul style="list-style-type: none"> <li>Allows the application to proceed and receive public input.</li> <li>Mitigates impacts of current proposal.</li> </ul>
		<u>Cons</u>	<ul style="list-style-type: none"> <li>As proposed, the temporary development could permanently impact the environment, WPT and Marine Drive</li> </ul>
		<u>Implications</u>	<ul style="list-style-type: none"> <li>Staff would give notice as required for a future Council meeting with an opportunity for public comment.</li> </ul>
		<u>Suggested Motions</u>	<ul style="list-style-type: none"> <li><b>THAT</b> Council direct staff to give notice of its intent to issue TUP22-12 subject to the applicant providing: <ul style="list-style-type: none"> <li>A detailed arborist's assessment of trees #325, 326, 331, 370, 371 &amp; 375 – 378 with recommendations for their preservation;</li> <li>A detailed landscape plan and security deposit for the preservation and, if necessary, restoration of the trees and understorey along the Marine Drive frontage;</li> <li>A security deposit in the amount of \$10,000 for the restoration and stabilization of the proposed drainage works; and</li> <li>A proposal and timeline for providing a SRW for future public pedestrian trail along the waterfront of the Black Rock properties.</li> </ul> </li> <li><b>THAT</b> Council direct staff to refer the application to the Wild Pacific Trail Society for comment.</li> </ul>
		<u>Pros</u>	<ul style="list-style-type: none"> <li>Allows the application to proceed and receive public input.</li> </ul>

<b>C</b>	Direct Staff to give Notice for TUP22-12	<u>Cons</u>	<ul style="list-style-type: none"> <li>As proposed, the temporary development could permanently impact the environment, WPT and Marine Drive</li> </ul>
		<u>Implications</u>	<ul style="list-style-type: none"> <li>Staff would give notice as required for a future Council meeting with an opportunity for public comment.</li> </ul>
		<u>Suggested Motion</u>	THAT Council direct staff to give notice for public input on TUP22-12.

**POLICY OR LEGISLATIVE IMPACTS:**

The clearing of mature forest for a temporary use is not consistent with the Official Community Plan bylaw environmental development guidelines.

**NEXT STEPS:**

If the application is rejected staff will work with the applicant to look for alternative solutions to their parking and staging and/or provide feedback on a revised proposal. If so directed, staff would give notice for the TUP to enable an opportunity for public comment at a future Council meeting.

**Respectfully submitted:**

BRUCE GREIG, DIRECTOR OF COMMUNITY PLANNING  
DUANE LAWRENCE, CAO



BLACK ROCK MANAGEMENT INC.  
c/o 5403 Buckingham Ave.  
Burnaby, B.C. V5E 1Z9

October 7 2022

District of Ucluelet  
200 Main Street  
Ucluelet B.C., V0R 3A0

Attention: Bruce Greig  
Director of Community Planning

Dear Sir:

Re: Site Preparation – Lot 12

We wish to make an application to the District for the necessary approvals to carry out the creation of a temporary parking area on a portion of Lot 12 Plan VIP84686 located adjacent to Black Rock Resort.

This request is initiated by and the result of the current crises we are as operators of Black Rock Resort are facing in finding housing for our employees. We are proposing that in the short term, i.e. a period of roughly 2 years, we provide an improvement to a portion of the Lot 12 lands so as to provide a temporary parking area that will include service connections for water, sewer and electricity. We estimate this improvement could provide temporary RV parking for approximately 12 units. In the longer term we are proposing that some of this upgraded area would then be repurposed as a site for the creation of additional employee housing units similar to what we did previously next door at 636 Marine Drive. For this initial period the civil services we would construct would be designed so that they could then be implemented into a new freestanding employee housing structure.

Currently we are not able to fully staff the hotel. This summer we simply did not have enough employees to meet the guest load at the hotel. The primary reason for staff shortages has been the community wide lack of accommodation into which we could house new hires. This past summer our management team and staff have been forced to work beyond a level that can be permanently maintained and if we do not find a solution we will be in a position whereby we will be forced to restrict our guest bookings.

To assist Council and Staff to more easily consider our application we have included along with the proposed application and interim construction details a preliminary study of the permanent housing component that we envision being developed.

Thank you in advance for your consideration in this matter . We are hopeful that this interim step will at least provide for the hotel operations some staffing relief for the next 18 to 24 months.



**REDD FISH**  
RESTORATION

286 Main Street  
Po Box 641 Ucluelet BC, V0R 3A0  
250-726-2424  
info@reddfish.org  
reddfish.org

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**September 26, 2022**

Black Rock Oceanfront Resort  
596 Marine Drive  
Ucluelet, BC  
V0R 3A0  
ATTN: Lara Kemps

**RE: BIOPHYSICAL ASSESSMENT OF PROPOSED PARKING EXPANSION AT THE BLACK ROCK OCEANFRONT RESORT**

Dear Ms. Kemps,

**Introduction**

Redd Fish Restoration was asked by Black Rock Oceanfront Resort (Black Rock) to conduct a biophysical assessment of a proposed RV parking area on the east side of the Black Rock property at Strata Lot 1, Plan VIS6690, District Lot 281, Clayoquot Land District (PID 027697312). The property is within the traditional territory of the Yuułu?if?ath Nation.

Black Rock is proposing to construct a gravel parking area with serviced parking for RVs to be used by staff (Appendix A: Survey Drawings). The proposed development falls within the Environmental Development Permit Area per Schedule E of the District of Ucluelet Official Community Plan (2020).

This biophysical assessment was completed to meet the requirement of the District of Ucluelet Official Community Plan (2020) including:

- the General Guidelines Applicable to all Environmental Development Permit Areas (DPAs); and
- the DPA V – Terrestrial Ecosystems (Mature Forest) Category.

**Methods**

A background review of readily available public information sources was conducted for the proposed RV parking area location including:

- a query of the BC Conservation Data Center iMap database for known occurrence records of species at risk within one kilometer of the property;
- review of the provincial Habitat Wizard database for known fish streams in the area of the project; and,
- a review of available SEI mapping from the District of Ucluelet for known watercourses in relation to the property.

The provincial Ecosystems Explorer Database was queried for potential species occurrences in the region based on the following criteria:

- Red or Blue-listed OR SARA listed Animals OR Plants OR Ecosystem; AND 'Municipalities': Ucluelet

The results of this query (Appendix B) produce some obscure results that included species well outside of their home ranges. This list was sorted into species with potential to occur and those that are considered very unlikely based on one or both of the following:

- Study area outside of known range for the species or species is not known in the area; and
- No suitable habitat in the study area

Note that invertebrates identified in this query were beyond the scope of this assessment and were not assessed.

On September 2, 2022 Kim Poupard, R.P.Bio. of Redd Fish Restoration visited the site to assess ecological resources and potential site sensitivities. The proposed development area, as well as an approximately 30 meter buffer area (the 'study area'), was assessed for ecological values (e.g., streams, wetlands, old growth forest, listed species and ecosystems or habitat with the potential to support species at risk) and important wildlife features (nests, dens, wildlife trees, etc.). Conditions were documented with field notes and site photographs. A georeferenced PDF map uploaded to Avenza Maps™ on a GPS enabled handheld device was used to navigate the study area and georeferenced important habitat features.

## Results

The study area is located within the Coastal Western Hemlock Very Wet Hypermaritime biogeoclimatic zone (CWHvh1). The proposed development is within an area of mature coniferous forest that has been modified by historical logging as well as exposure to the Pacific coast. The proposed development has been designed to respect the marine setback area (as shown on the survey plan in Appendix A: Figure 1). The proposed development is bounded by the Wild Pacific Trail on three sides and Marine Drive to the north. Access would be from Marine Drive.

The area hosts mature western redcedar (*Thuja plicata*) and western hemlock (*Tsuga heterophylla*). The understory is variable with areas of very dense tall shrub dominated by salal (*Gaultheria shallon*) and evergreen huckleberry (*Vaccinium ovatum*) with scattered false-azalea (*Menziesia ferruginea*) and salmonberry (*Rubus spectabilis*). The tree canopy becomes more open nearer to the coast on the west side of the development area allowing a denser shrub layer to develop. There are very few herbs and forbs in the understory. On the east side of the property sword fern (*Polystichum munitum*), bracken fern (*Pteridium aquilinum*) and wood horsetail (*Equisetum sylvaticum*) are common in the understory.

Coarse woody debris is abundant and remnant stumps from historical forest harvesting are present in the understory, particularly on the east side of the site.

The diversity of vegetation on the site is generally low and there is no habitat with a high potential to support rare or endangered vegetation species. The coast bluffs to the south of the site have a much

higher likelihood of supporting vegetation species at risk; no impacts to these features is anticipated from the proposed development. No ecosystems at risk (Appendix B: Table B3) were identified within the proposed development area.

The BC Conservation Data Center (BC CDC) iMap application was queried for marked known occurrence records of species at risk (Appendix B: Figure 2). One occurrence overlaps the site: tall woolly-heads (*Psilocarphus elatior*) is a provincially red-listed species and is federally listed as Endangered on Schedule 1 of the Species At Risk Act (SARA). This plant occurs in wet areas and vernal wetlands (Klinkenberg 2020). No suitable habitat to support this species was noted within the proposed development area.

Several potential wildlife trees were noted in the area, three in particular were noted within the proposed development area with some potential value to wildlife (Appendix A: Figure 1). These were correlated with the survey number on the trees, where available. These features may provide perches for raptors and seabirds. They also have some remaining bark on their lower boles that may be used for summer roosting tree bats. No large cavities or stick nests were found.

Wildlife trees of similar quality are common in the region and are not considered a limiting habitat feature on the landscape. These features can provide forage and nesting habitat for birds, including migratory species. The absence of bark on most of the standing dead trees within the development area likely precludes use by migratory tree bats.

Record of northern red-legged frog (*Rana aurora*) occurs approximately 300 m west of the Project. Red-legged frog are provincially blue-listed and listed as 'Special Concern' under the federal SARA. The development area is unlikely to support breeding habitat for obligate aquatic breeding amphibian species as no suitable wetlands were noted, however, the development area may support overwintering.

There are records of California wax-myrtle (*Morella californica*) to the south of the site on the Ucluelet peninsula (Appendix B: Figure 2). This species is provincially blue-listed but is relatively common in the region. No California wax-myrtle plants were noted within the development area.

No streams or wetlands were observed within the study area. The provincial Habitat Wizard (2022) does not indicate any streams within one kilometer of the study area. Schedule E of the District of Ucluelet OCP (2021) indicates one stream approximately 300 m west of the proposed development, identified as #29 with a channel width of 2.0 m and non-fish bearing status. This feature was not assessed in the field; however, no impacts are anticipated as a result of the proposed development.

The BC Ecosystems Explorer Query data is provided in Appendix B. The wildlife results included some obscure results. The list was sorted into species with potential for occurrence on the site (See Table B1 in Appendix B), these are provided below in Table 1.



**Table 1. Wildlife species at risk from the BC Ecosystems Explorer Query (Appendix A) with potential of occurring on the site.**

Group	Common Name	Scientific Name	BC List	SARA Schedule	
				Schedule	Designation
amphibians	Northern Red-legged Frog	<i>Rana aurora</i>	Blue	1	Special Concern
amphibians	Wandering Salamander	<i>Aneides vagrans</i>	Blue	1	Special Concern
amphibians	Western Toad	<i>Anaxyrus boreas</i>	Yellow	1	Special Concern
birds	Band-tailed Pigeon	<i>Patagioenas fasciata</i>	Blue	1	Special Concern
birds	Barn Swallow	<i>Hirundo rustica</i>	Yellow	1	Threatened
birds	Black Swift	<i>Cypseloides niger</i>	Blue	1	Endangered
birds	Black-throated Green Warbler	<i>Setophaga virens</i>	Blue		
birds	Evening Grosbeak	<i>Coccothraustes vespertinus</i>	Yellow	1	Special Concern
birds	Great Blue Heron, <i>fannini</i> subspecies	<i>Ardea herodias fannini</i>	Blue	1	Special Concern
birds	Olive-sided Flycatcher	<i>Contopus cooperi</i>	Yellow	1	Threatened
birds	Pine Grosbeak, <i>carlottae</i> subspecies	<i>Pinicola enucleator carlottae</i>	Blue		
birds	Purple Martin	<i>Progne subis</i>	Blue		
birds	Rough-legged Hawk	<i>Buteo lagopus</i>	Blue		
birds	Western Screech-Owl, <i>kennicottii</i> subspecies	<i>Megascops kennicottii kennicottii</i>	Blue	1	Threatened
mammals	Little Brown Myotis	<i>Myotis lucifugus</i>	Blue	1	Endangered
mammals	Townsend's Big-eared Bat	<i>Corynorhinus townsendii</i>	Blue		
SARA = Species at Risk Act					

Of the species in Table 1, northern red-legged frog, wandering salamander (*Aneides vagrans*) and western toad (*Anaxyrus boreas*) have a low likelihood of occurring on the site based on a lack of proximal breeding habitat and professional experience in the region. The lack of suitable breeding habitat and the marginal suitability of the habitat to support overwintering amphibians likely precludes use. Impacts to amphibians is considered negligible.

Most of the birds in Appendix B: Table B1 are considered to have a low likelihood of occurrence in the region or are uncommon migrants; however, the habitat may support Band-tailed Pigeon (*Patagionas fasciata*) and Great Blue Heron (*Ardea Herodias*). Band-tailed Pigeon commonly use mature forest edges in the region. Great Blue Heron occasionally build solitary nests in mature trees. The habitat within the

proposed development area is also suitable summer roosting habitat for Little Brown Myotis (*Myotis lucifugus*) and Townsend's Big-eared Bat (*Corynorhinus townsendii*).

No nests, dens or other critical wildlife habitat features were detected within the development area; however, the area does support suitable nesting habitat for breeding birds. The regional nesting period is March 26 to August 7 according to Environment Canada (2022) for forested ecosystems in the region (within the A1 Nesting Zone). It is understood that clearing is scheduled for the fall of 2022 so interaction with the nesting season should be avoided.

No large stick nests or cavities of Piliated Woodpecker (*Dryocopus pileatus*; now under specific protections within the Migratory Bird Regulations [2022]) were noted within the proposed development area and the area does not host habitat suitable for tree-nesting seabirds whose nests are also now protected year-round (Migratory Bird Regulation 2022).

The development area may be suitable for bear denning. The area was searched thoroughly for indications of denning; however, dens within dense understory and coarse woody debris can be hard to detect. Typically bear dens are accompanied by trails, scat and other evidence of use. Bear scat was noted along the Wild Pacific Trail adjacent to the site; however, no sign was noted within the development area. The likelihood of denning is considered low, however as the habitat is potentially suitable and the work is proposed for early in the denning season (October – November), a protocol for den encounters should be in place. Recommendations for this protocol are provided in the following section.

The development proposal will result in a loss of approximately 3483 m<sup>2</sup> of maturing second growth forest along the seacoast. The likelihood of the area to support species at risk is generally low.

The proposed development is within a developed area that lacks connectivity with other potentially important habitat features. The value to large-bodied wildlife is considered low.

### **Recommendations**

Site clearing is scheduled for the fall or winter of 2022; therefore, interaction with nesting birds and roosting bats is not anticipated. If any clearing is required during the nesting period (March 26 to August 7), a pre-clearing survey will be required.

If a suspected bear den is encountered during site clearing, work should cease immediately, and a Qualified Environmental Professional should be engaged to develop a mitigation plan. If a marked increase in bear activity in the area (daily encounters of bears or bear sign such as new scat) is noted during the fall season, a pre-clearing survey for bear dens in the area should be conducted.

Care should be taken to not impact amphibians. Keep the site dry and avoid creating pooling water during the late winter and spring months so as not to attract breeding amphibians to the site.

Black Rock Oceanfront Resort  
Lot 12 Biophysical Assessment

P00040

The topography of the site and lack of surface water receptors suggests that the risk of sediment transportation off site is low.

Care should be taken to avoid damage to structural tree roots of retained trees around the periphery of the proposed clearing. Generally, the drip line is a good reference for where these roots occur. If grubbing is required in these areas, or if large tree roots of suspected retained trees are encountered, care should be taken to avoid damaging these roots. A small excavator or hand digging should be utilized for grubbing around structural roots to avoid excessive damage. Use of structural soils should be considered for the base material if tree roots from retained trees are present.

The development area is currently free of weeds and invasive species. Vehicles and equipment must be clean and free of soil and plant parts prior to coming to site to avoid spreading weeds.

Note that conformance with building codes and other bylaws is not part of this assessment.

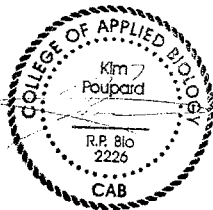
#### **Closure**

We trust that the above meets your current requirements, if you have any questions, please contact the undersigned.

Regards,

#### **Redd Fish Restoration**

**Prepared by:**



Kim Poupard, R.P.Bio

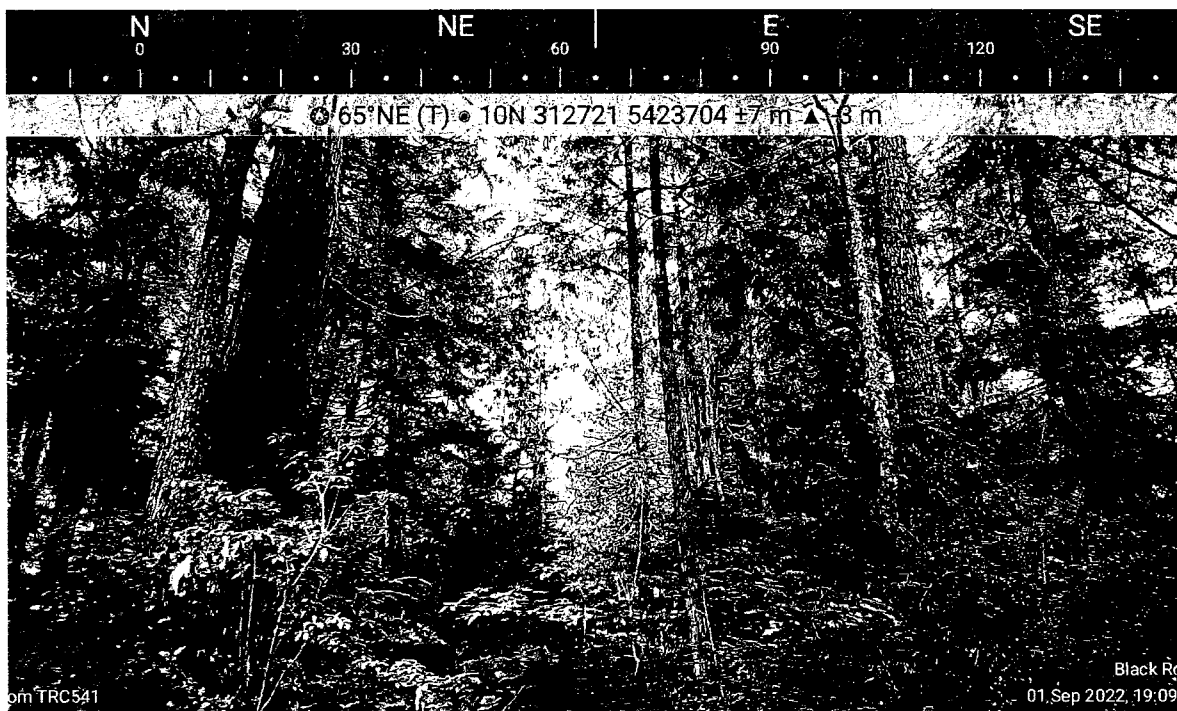
**Attachments:** Site Photographs  
Appendix A: Figure 1  
Appendix B: Figure 2, Tables B1-B3

**References:**

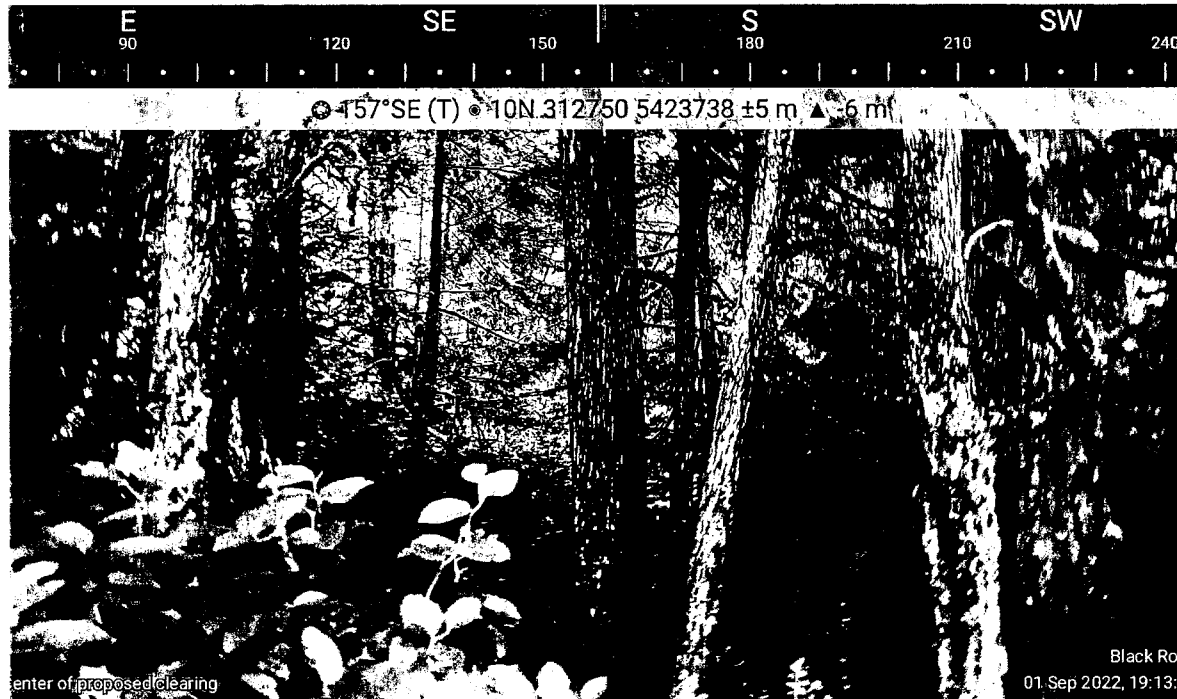
- Environment Canada. 2021. General Nesting Periods of Migratory Birds. Available online: <https://www.canada.ca/en/environment-climate-change/services/avoiding-harm-migratory-birds/general-nesting-periods/nesting-periods.html> (accessed September 13, 2022).
- BC Conservation Data Center. Online mapping application maintained by the Province of British Columbia. Available at: <http://maps.gov.bc.ca/ess/hm/cdc/> (accessed August 17, 2022).
- BC Habitat Wizard. Online mapping application maintained by the Province of British Columbia. Available at: <https://maps.gov.bc.ca/ess/hm/habwiz/> (accessed August 17, 2022).
- Klinkenberg, Brian. (Editor) 2020. E-Flora BC: Electronic Atlas of the Plants of British Columbia [eflora.bc.ca]. Lab for Advanced Spatial Analysis, Department of Geography, University of British Columbia, Vancouver. [Accessed: 2022-09-21 10:34:16 AM ]

**Acts and Regulations**

- Migratory Birds Regulations. 2022. Status update on the modernization of the Migratory Birds Regulations, 2022. Available online at: <https://www.canada.ca/en/environment-climate-change/services/migratory-game-bird-hunting/status-update-modernization-regulations.html> (accessed September 13, 2022).
- District of Ucluelet. 2020. Official Community Plan. Bylaw No 1236 (2020). Adopted Jan 2022. Available online at: <https://ucluelet.ca/community/planning-building-bylaw/community-planning-and-zoning/official-community-plan> (accessed September 14, 2022).



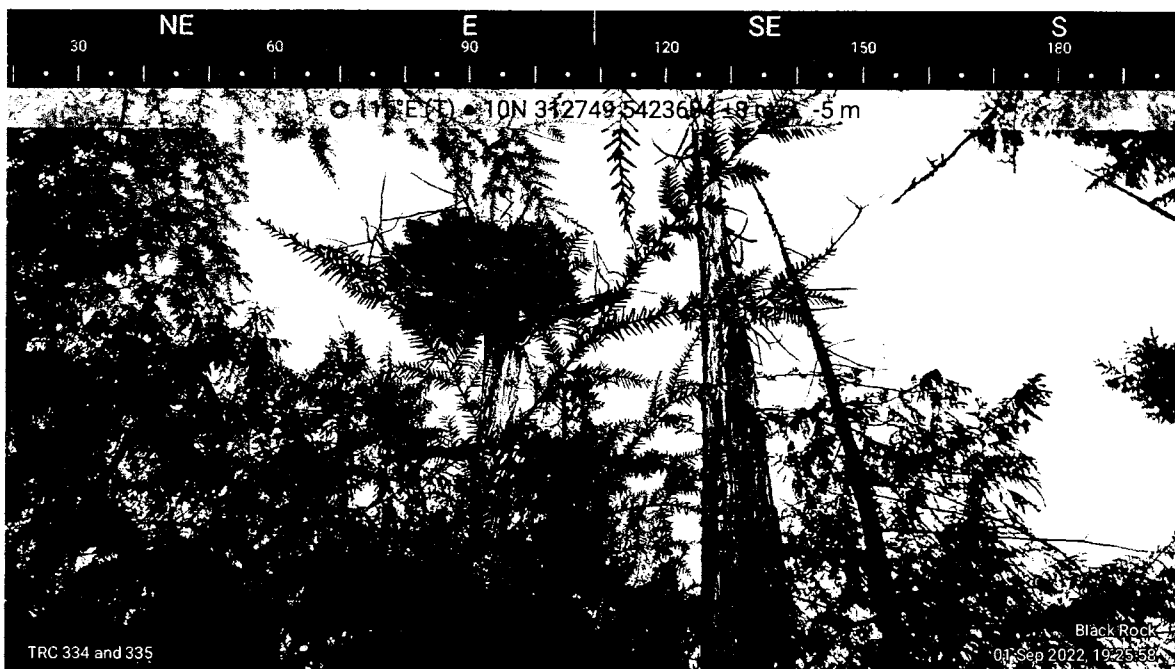
**Photo 1.** Showing habitat conditions within the proposed development area on the east side of the site. Note multistoried coniferous forest with patchy understory shrubs.



**Photo 2.** Showing conditions at the approximate center of the proposed development area.



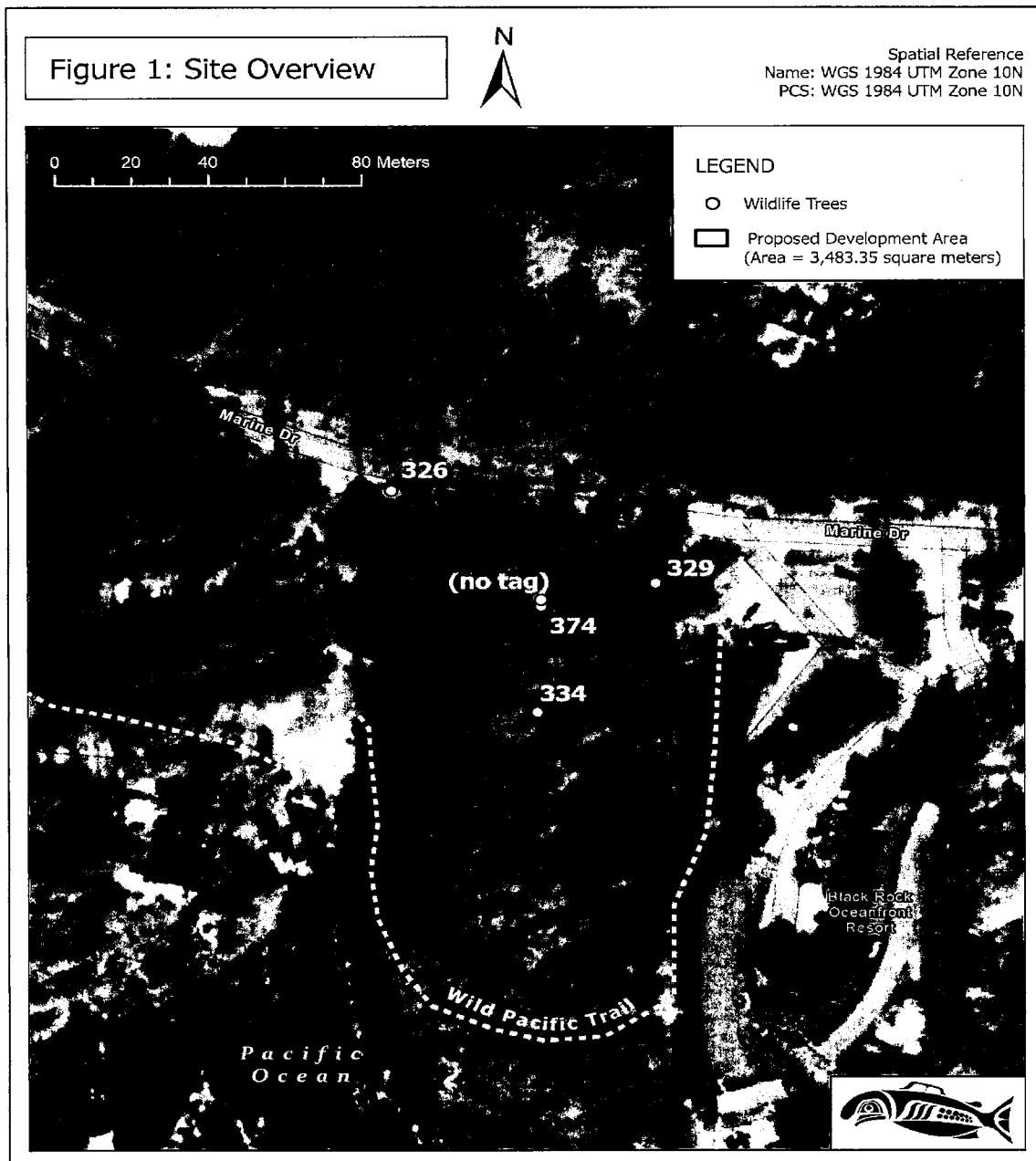
**Photo 3.** Showing modified forest to the west of the proposed development, taken from the Wild Pacific Trail to the north of the proposed project (left of photo).



**Photo 4.** Showing representative wildlife trees within the proposed development area. These are trees 334 and 335 as shown on the survey design drawing. Note that these have relatively little signs of use, relatively low value as wildlife trees and are common on the landscape.

APPENDIX A:

SURVEY DRAWINGS



APPENDIX B:

BC ECOSYSTEMS EXPLORER SEARCH RESULTS

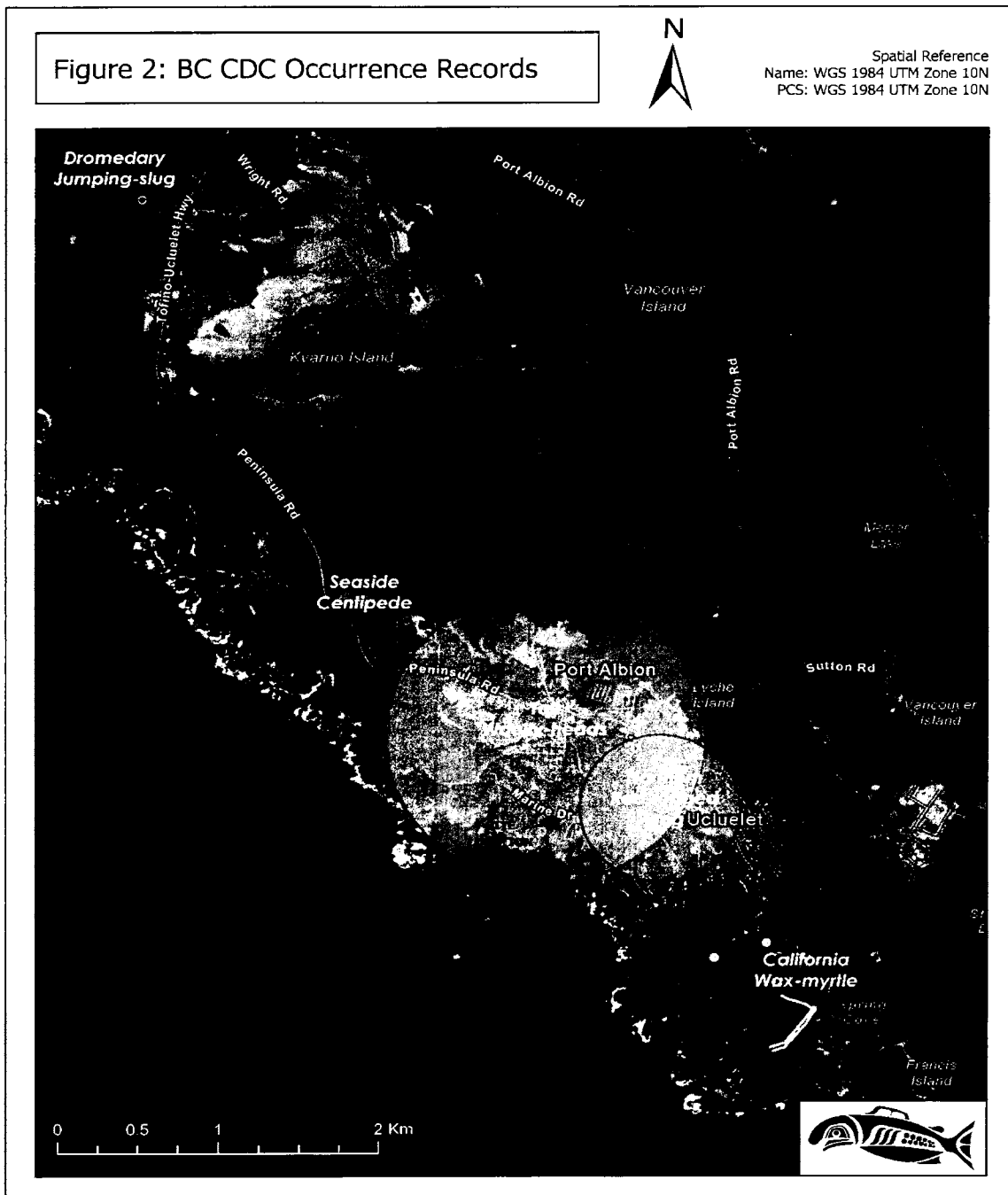




Table B1. BC Ecosystems Explorer Query Results and Likelihood of Occurrence Assessment.

Group	English Name	Scientific Name	BC List	SARA* Schedule	SARA Status	MBCA*	Likelihood of Occurrence (Yes / No)	Rational (If No) <sup>1</sup>
amphibians	Coastal Tailed Frog	<i>Ascaphus truei</i>	Yellow	1	Special Concern		No	1
amphibians	Northern Red-legged Frog	<i>Rana aurora</i>	Blue	1	Special Concern		Yes	
amphibians	Wandering Salamander	<i>Aneides vagrans</i>	Blue	1	Special Concern		Yes	
amphibians	Western Toad	<i>Anaxyrus boreas</i>	Yellow	1	Special Concern		Yes	
birds	American Avocet	<i>Recurvirostra americana</i>	Blue			Y	No	2
birds	American Bittern	<i>Botaurus lentiginosus</i>	Blue			Y	No	2
birds	American Golden-Plover	<i>Pluvialis dominica</i>	Blue			Y	No	2
birds	American White Pelican	<i>Pelecanus erythrorhynchos</i>	Red				No	2
birds	Ancient Murrelet	<i>Synthliboramphus antiquus</i>	Blue	1	Special Concern	Y	No	2
birds	Band-tailed Pigeon	<i>Patagioenas fasciata</i>	Blue	1	Special Concern	Y	Yes	
birds	Barn Owl	<i>Tyto alba</i>	Blue	1	Threatened		No	1, 2
birds	Barn Swallow	<i>Hirundo rustica</i>	Yellow	1	Threatened	Y	Yes	
birds	Bay-breasted Warbler	<i>Setophaga castanea</i>	Red			Y	No	1, 2
birds	Black Scoter	<i>Melanitta americana</i>	Blue			Y	No	2
birds	Black Swift	<i>Cypseloides niger</i>	Blue	1	Endangered	Y	Yes	
birds	Black-crowned Night-heron	<i>Nycticorax nycticorax</i>	Red			Y	No	1, 2
birds	Black-throated Green Warbler	<i>Setophaga virens</i>	Blue			Y	Yes	
birds	Bobolink	<i>Dolichonyx oryzivorus</i>	Red	1	Threatened	Y	No	1, 2
birds	Brandt's Cormorant	<i>Urile penicillatus</i>	Red				No	2
birds	Brant	<i>Branta bernicla</i>	Blue			Y	No	2
birds	California Gull	<i>Larus californicus</i>	Red			Y	No	2
birds	Canada Goose, <i>occidentalis</i> subspecies	<i>Branta canadensis occidentalis</i>	Red				No	2
birds	Canada Warbler	<i>Cardellina canadensis</i>	Blue	1	Threatened	Y	No	1

birds	Caspian Tern	<i>Hydroprogne caspia</i>	Blue						Y	No	2
birds	Cassin's Auklet	<i>Ptychoramphus aleuticus</i>	Red	1	Special Concern	Y	No	Y	No	2	
birds	Common Murre	<i>Uria aalge</i>	Red			Y	No	Y	No	2	
birds	Common Nighthawk	<i>Chordeiles minor</i>	Blue	1	Threatened	Y	No	Y	No	2	
birds	Connecticut Warbler	<i>Oporornis agilis</i>	Blue			Y	No	Y	No	1, 2	
birds	Double-crested Cormorant	<i>Nannopterum auritum</i>	Blue				No		No	2	
birds	Evening Grosbeak	<i>Coccothraustes vespertinus</i>	Yellow	1	Special Concern	Y	Yes	Y	Yes		
birds	Forster's Tern	<i>Sterna forsteri</i>	Red			Y	No	Y	No	2	
birds	Great Blue Heron, <i>fannini</i> subspecies	<i>Ardea herodias fannini</i>	Blue	1	Special Concern		Yes		Yes		
birds	Green Heron	<i>Butorides virescens</i>	Blue			Y	No	Y	No	2	
birds	Gyrfalcon	<i>Falco rusticolus</i>	Blue				No		No	1, 2	
birds	Horned Lark, <i>strigata</i> subspecies	<i>Eremophila alpestris strigata</i>	Red	1	Endangered		No		No	2	
birds	Horned Puffin	<i>Fratercula corniculata</i>	Red			Y	No	Y	No	2	
birds	Hudsonian Godwit	<i>Limosa haemastica</i>	Red			Y	No	Y	No	2	
birds	Lark Sparrow	<i>Chondestes grammacus</i>	Blue			Y	No	Y	No	1	
birds	Lewis's Woodpecker	<i>Melanerpes lewis</i>	Blue	1	Threatened	Y	No	Y	No	1, 2	
birds	Long-billed Curlew	<i>Numenius americanus</i>	Yellow	1	Special Concern	Y	No	Y	No	2	
birds	Marbled Murrelet	<i>Brachyramphus marmoratus</i>	Blue	1	Threatened	Y	No	Y	No	2	
birds	Northern Fulmar	<i>Fulmarus glacialis</i>	Red			Y	No	Y	No	2	
birds	Northern Goshawk, <i>laingi</i> subspecies	<i>Accipiter gentilis laingi</i>	Red	1	Threatened		No		No	2	
birds	Northern Pygmy-owl, <i>swarthi</i> subspecies	<i>Glaucidium gnoma swarthi</i>	Blue				No		No	2	
birds	Olive-sided Flycatcher	<i>Contopus cooperi</i>	Yellow	1	Threatened	Y	Yes	Y	Yes		
birds	Peregrine Falcon	<i>Falco peregrinus</i>	No Status	1	Special Concern		No		No	2	
birds	Peregrine Falcon, <i>anatum</i> subspecies	<i>Falco peregrinus anatum</i>	Red	1	Special Concern		No		No	2	

birds	Peregrine Falcon, <i>pealei</i> subspecies	<i>Falco peregrinus pealei</i>	Blue	1	Special Concern	No	2
birds	Pine Grosbeak, <i>carlottae</i> subspecies	<i>Pinicola enucleator carlottae</i>	Blue			Yes	
birds	Prairie Falcon	<i>Falco mexicanus</i>	Red			No	2
birds	Purple Martin	<i>Progne subis</i>	Blue		Y	Yes	
birds	Red Knot	<i>Calidris canutus</i>	Blue	1	Threatened / Endangered	No	2
birds	Red-necked Phalarope	<i>Phalaropus lobatus</i>	Blue	1	Special Concern	No	2
birds	Rough-legged Hawk	<i>Buteo lagopus</i>	Blue			Yes	
birds	Rusty Blackbird	<i>Euphagus carolinus</i>	Blue	1	Special Concern	No	2
birds	Sage Thrasher	<i>Oreoscoptes montanus</i>	Red	1	Endangered	No	2
birds	Short-billed Dowitcher	<i>Limnodromus griseus</i>	Blue		Y	No	2
birds	Short-eared Owl	<i>Asio flammeus</i>	Blue	1	Special Concern	No	1, 2
birds	Smith's Longspur	<i>Calcarius pictus</i>	Blue		Y	No	2
birds	Surf Scoter	<i>Melanitta perspicillata</i>	Blue		Y	No	2
birds	Thick-billed Murre	<i>Uria lomvia</i>	Red		Y	No	2
birds	Tufted Puffin	<i>Fratercula cirrhata</i>	Blue		Y	No	2
birds	Upland Sandpiper	<i>Bartramia longicauda</i>	Red		Y	No	2
birds	Wandering Tattler	<i>Tringa incana</i>	Blue		Y	No	2
birds	Western Grebe	<i>Aechmophorus occidentalis</i>	Red	1	Special Concern	No	2
birds	Western Screech-Owl	<i>Megascops kennicottii</i>	No Status	1	Threatened	Yes	
birds	Western Screech-Owl, <i>kennicottii</i> subspecies	<i>Megascops kennicottii kennicottii</i>	Blue	1	Threatened	Yes	
birds	White-tailed Ptarmigan, <i>saxatilis</i> subspecies	<i>Lagopus leucura saxatilis</i>	Blue			No	2
birds	Yellow-billed Cuckoo	<i>Coccyzus americanus</i>	Red		Y	No	2
birds	Yellow-breasted Chat	<i>Icteria virens</i>	Red	1	Endangered	No	2
bivalves	Long Fingernailclam	<i>Musculium transversum</i>	Blue			N/A	
bivalves	Olympia Oyster	<i>Ostrea lurida</i>	Blue	1	Special Concern	N/A	
bivalves	Striated Fingernailclam	<i>Sphaerium striatulum</i>	Blue			N/A	

bivalves	Swamp Fingernailclam	<i>Musculium partumeium</i>	Blue					N/A
gastropods	Blue-grey Taildropper	<i>Prophysaon coeruleum</i>	Blue	1	Threatened			N/A
gastropods	Broadwhorl Tightcoil	<i>Pristiloma johnsoni</i>	Blue					N/A
gastropods	Dromedary Jumping-slug	<i>Hemphillia dromedarius</i>	Red	1	Threatened			N/A
gastropods	Evening Fieldslug	<i>Deroceras hesperium</i>	Red					N/A
gastropods	Haida Gwaii Slug	<i>Staalta gwaii</i>	Red	1	Special Concern			N/A
gastropods	Meadow Rams-horn	<i>Planorbula campestris</i>	Blue					N/A
gastropods	Northern Abalone	<i>Haliotis kamtschatkana</i>	Red	1	Endangered			N/A
gastropods	Oregon Forestsnail	<i>Allogona townsendiana</i>	Red	1	Endangered			N/A
gastropods	Prairie Fossaria	<i>Galba bulimoides</i>	Blue					N/A
gastropods	Puget Oregonian	<i>Cryptomastix devia</i>	Red	1	Extinct			N/A
gastropods	Rocky Mountain Physa	<i>Physella propinqua</i>	Blue					N/A
gastropods	Sunset Physa	<i>Physella virginea</i>	Blue					N/A
gastropods	Threaded Vertigo	<i>Nearctula sp. 1</i>	Blue	1	Special Concern			N/A
gastropods	Warty Jumping-slug	<i>Hemphillia glandulosa</i>	Red	1	Special Concern			N/A
gastropods	Western Thorn	<i>Carychium occidentale</i>	Blue					N/A
gastropods	Wrinkled Marshsnail	<i>Stagnicola caperata</i>	Blue					N/A
insects	Alkali Bluet	<i>Enallagma clausum</i>	Blue					N/A
insects	Audouin's Night-stalking Tiger Beetle	<i>Omus audouini</i>	Red	1	Threatened			N/A
insects	Autumn Meadowhawk	<i>Sympetrum vicinum</i>	Blue					N/A
insects	Black Petaltail	<i>Tanypteryx hageni</i>	Blue					N/A
insects	Blue Dasher	<i>Pachydiplax longipennis</i>	Blue					N/A
insects	Boisduval's Blue, <i>blackmorei</i> subspecies	<i>Icaricia icarioides blackmorei</i>	Blue					N/A
insects	Clodius Parnassian, <i>claudianus</i> subspecies	<i>Parnassius clodius claudianus</i>	Blue					N/A
insects	Common Ringlet, <i>insulana</i> subspecies	<i>Coenonympha californica insulana</i>	Red					N/A
insects	Common Wood-nymph, <i>incana</i> subspecies	<i>Cercyonis pegala incana</i>	Red					N/A
insects	Dun Skipper	<i>Euphyes vestris</i>	Blue	1	Threatened			N/A

insects	Edith's Checkerspot, <i>taylori</i> subspecies	<i>Euphydryas editha taylori</i>	Red	1	Endangered		N/A
insects	Edwards' Beach Moth	<i>Anarta edwardsii</i>	Red	1	Endangered		N/A
insects	Greenish Blue, <i>insulanus</i> subspecies	<i>Icaricia saepiolus insulanus</i>	Red	1	Endangered		N/A
insects	Johnson's Hairstreak	<i>Callophrys johnsoni</i>	Red				N/A
insects	Large Marble, <i>insulanus</i> subspecies	<i>Euchloe ausonides insulanus</i>	Red	1	Extinct		N/A
insects	Monarch	<i>Danaus plexippus</i>	Red	1	Special Concern		N/A
insects	Moss' Elfin, <i>mossii</i> subspecies	<i>Callophrys mossii mossii</i>	Red				N/A
insects	Propertius Duskywing	<i>Erynnis propertius</i>	Red				N/A
insects	Rocky Mountain Parnassian, <i>olympiannus</i> subspecies	<i>Parnassius smintheus olympiannus</i>	Blue				N/A
insects	Sand-verbena Moth	<i>Copablepharon fuscum</i>	Red	1	Endangered		N/A
insects	Silver-spotted Skipper	<i>Epargyreus clarus</i>	Blue				N/A
insects	Silver-spotted Skipper, <i>californicus</i> subspecies	<i>Epargyreus clarus californicus</i>	Red				N/A
insects	Sinuous Snaketail	<i>Ophiogomphus occidentis</i>	Blue				N/A
insects	Western Branded Skipper, <i>oregonia</i> subspecies	<i>Hesperia colorado oregonia</i>	Red				N/A
insects	Western Pine Elfin, <i>sheltonensis</i> subspecies	<i>Callophrys eryphon sheltonensis</i>	Blue				N/A
insects	Western Pondhawk	<i>Erythemis collocata</i>	Blue				N/A
insects	Zerene Fritillary, <i>bremnerii</i> subspecies	<i>Speyeria zerene bremnerii</i>	Red				N/A
Lampreys	Cowichan Lake Lamprey	<i>Entosphenus macrostomus</i>	Red	1	Threatened		N/A
Lampreys	Western Brook Lamprey (Morrison Creek Population)	<i>Lampetra richardsoni</i> pop. 1	Red	1	Endangered		N/A

malacostracans	Quatsino Cave Amphipod	<i>Stygobromus quatsinensis</i>	Blue					N/A	
mammals	Caribou (Northern Mountain Population)	<i>Rangifer tarandus</i> pop. 15	Blue	1	Special Concern			No	1,2
mammals	Ermine, <i>anguinae</i> subspecies	<i>Mustela richardsonii anguinae</i>	Blue						
mammals	Fisher	<i>Pekania pennanti</i>	No Status						
mammals	Grey Whale	<i>Eschrichtius robustus</i>	Blue	1	Special Concern			No	2
mammals	Grizzly Bear	<i>Ursus arctos</i>	Blue	1	Special Concern			No	2
mammals	Hoary Bat	<i>Lasiurus cinereus</i>	Blue						
mammals	Little Brown Myotis	<i>Myotis lucifugus</i>	Blue	1	Endangered			Yes	
mammals	Mountain Goat	<i>Oreamnos americanus</i>	Blue					No	1, 2
mammals	Roosevelt Elk	<i>Cervus elaphus roosevelti</i>	Blue					No	2
mammals	Steller Sea Lion	<i>Eumetopias jubatus</i>	Blue	1	Special Concern			No	2
mammals	Townsend's Big-eared Bat	<i>Corynorhinus townsendii</i>	Blue					Yes	
mammals	Townsend's Vole, <i>cowani</i> subspecies	<i>Microtus townsendii cowani</i>	Red						
mammals	Vancouver Island Marmot	<i>Marmota vancouverensis</i>	Red	1	Endangered			No	1, 2
mammals	Western Water Shrew, <i>brooksi</i> subspecies	<i>Sorex navigator brooksi</i>	Blue						
mammals	Wolverine	<i>Gulo gulo</i>	No Status	1	Special Concern			No	1
mammals	Wolverine, <i>luscus</i> subspecies	<i>Gulo gulo luscus</i>	Blue	1	Special Concern			No	1
mammals	Wolverine, <i>vancouverensis</i> subspecies	<i>Gulo gulo vancouverensis</i>	Red	1	Special Concern				
mammals	Yuma Myotis	<i>Myotis yumanensis</i>	Blue						
oligochaetes	an earthworm	<i>Arctiostrotus perrieri</i>	Blue					N/A	
ray-finned fishes	Bull Trout	<i>Salvelinus confluentus</i>	Blue					No	2

ray-finned fishes	Cutthroat Trout, <i>clarkii</i> subspecies	<i>Oncorhynchus clarkii clarkii</i>	Blue			No	2
ray-finned fishes	Eulachon	<i>Thaleichthys pacificus</i>	Blue			No	2
ray-finned fishes	Inconnu	<i>Stenodus leucichthys</i>	Blue			No	2
ray-finned fishes	Misty Lake "Lake" Stickleback	<i>Gasterosteus sp. 18</i>	Red	1	Endangered	No	2
ray-finned fishes	Misty Lake "Stream" Stickleback	<i>Gasterosteus sp. 19</i>	Red	1	Endangered	No	2
reptiles	Common Sharp-tailed Snake	<i>Contia tenuis</i>	Red	1	Endangered	No	2
reptiles	Gophersnake	<i>Pituophis catenifer</i>	No Status	1	Extinct / Threatened	No	1, 2
reptiles	Gophersnake, <i>catenifer</i> subspecies	<i>Pituophis catenifer catenifer</i>	Red	1	Extinct	No	1, 2
turtles	Leatherback Sea Turtle	<i>Dermodochelys coriacea</i>	Red	1	Endangered	No	2
turtles	Northern Painted Turtle	<i>Chrysemys picta</i>	No Status	1	Endangered / Special Concern	No	2
turtles	Northern Painted Turtle - Pacific Coast Population	<i>Chrysemys picta</i> pop. 1	Red	1	Endangered	No	2

\* SARA = Species at Risk Act; MBCA = Migratory Bird Convention Act

Notes 1:

1. Outside of known range for the species or species is not known in the area
2. No suitable habitat in the study area

Table B2. BC Ecosystems Explorer Query Results for Vegetation.

Name Category	English Name	Scientific Name	BC List	SARA Schedule	SARA Status	Habitats (Type / Subtype / Dependence)
Bryophyte	rigid apple moss	<i>Bartramia aprica</i>	Red	1	Endangered	Rock/Sparsely Vegetated Rock / Garry Oak Coastal Bluffs / Facultative - frequent use
Bryophyte	Roell's brotherella	<i>Brotherella roellii</i>	Red	1	Endangered	
Bryophyte	banded cord-moss	<i>Entosthodon fascicularis</i>	Blue	1	Special Concern	Grassland/Shrub / Garry Oak Maritime Meadow / Facultative - frequent use
Bryophyte	acuteleaf small limestone moss	<i>Seligeria acutifolia</i>	Red	1	Endangered	
Vascular Plant	yellow sand-verbena	<i>Abronia latifolia</i>	Blue			Other Unique Habitats / Beach / Obligate ; Other Unique Habitats / Sand Dune / Facultative - frequent use
Vascular Plant	pink sand-verbena	<i>Abronia umbellata</i> var. <i>breviflora</i>	Red	1	Endangered	Other Unique Habitats / Beach / Facultative - frequent use ; Other Unique Habitats / Sand Dune / Facultative - frequent use
Vascular Plant	dwarf maiden-hair fern	<i>Adiantum aleuticum</i> var. <i>subpumilum</i>	Blue			Other Unique Habitats / Beach / Facultative - frequent use ; Rock/Sparsely Vegetated Rock / Cliff / Facultative - frequent use
Vascular Plant	mountain hemlock dwarf mistletoe	<i>Arceuthobium tsugense</i> ssp. <i>mertensiana</i>	Blue			Forest / Conifer Forest - Mesic (average) / Unknown
Vascular Plant	three-forked mugwort	<i>Artemisia furcata</i>	Blue			Alpine/Tundra / Alpine/Subalpine Meadow / Unknown ; Alpine/Tundra / Krummholtz / Unknown ; Alpine/Tundra / Tundra / Unknown ; Rock/Sparsely Vegetated Rock / Cliff / Unknown ; Rock/Sparsely Vegetated Rock / Talus / Unknown



Vascular Plant	corrupt spleenwort	<i>Asplenium adluerinum</i>	Blue				Rock/Sparsely Vegetated Rock / Cliff / Facultative - frequent use ; Rock/Sparsely Vegetated Rock / Rock/Sparsely Vegetated Rock / Facultative - frequent use
Vascular Plant	river bulrush	<i>Bolboschoenus fluviatilis</i>	Blue				Other Unique Habitats / Estuary / Facultative - frequent use ; Riparian / Riparian Shrub / Facultative - frequent use ; Wetland / Marsh / Obligate
Vascular Plant	two-edged water-starwort	<i>Callitriche heterophylla</i> var. <i>heterophylla</i>	Unknown				Lakes / Pond/Open Water / Facultative - occasional use
Vascular Plant	beach bindweed	<i>Calystegia soldanella</i>	Blue				Other Unique Habitats / Sand Dune / Obligate
Vascular Plant	angled bittercress	<i>Cardamine angulata</i>	Blue				Forest / Conifer Forest - Moist/wet / Facultative - frequent use ; Forest / Old Forest / Facultative - occasional use ; Riparian / Riparian Forest / Facultative - frequent use ; Stream/River / Stream/River / Facultative - frequent use
Vascular Plant	estuarine paintbrush	<i>Castilleja ambigua</i> var. <i>ambigua</i>	Blue				Grassland/Shrub / Garry Oak Maritime Meadow / Facultative - frequent use ; Other Unique Habitats / Estuary / Facultative - frequent use ; Other Unique Habitats / Vernal Pools/Seasonal Seeps / Facultative - frequent use
Vascular Plant	Fischer's chickweed	<i>Cerastium fischerianum</i>	Blue				Grassland/Shrub / Meadow / Facultative - occasional use ; Lakes / Lake / Facultative - frequent use ; Riparian / Riparian Herbaceous / Facultative - occasional use ; Stream/River / Stream/River / Facultative - frequent use
Vascular Plant	tooth-leaved monkey-flower	<i>Erythranthe dentata</i>	Blue				Riparian / Riparian Forest / Unknown ; Stream/River / Stream/River / Unknown

Vascular Plant	white glacier lily	<i>Erythronium montanum</i>	Blue			Alpine/Tundra / Alpine/Subalpine Meadow / Unknown ; Other Unique Habitats / Avalanche Track / Unknown
Vascular Plant	dwarf red fescue	<i>Festuca rubra ssp. mediana</i>	Yellow			
Vascular Plant	Haida Gwaii avens	<i>Geum schofieldii</i>	Blue			Rock/Sparsely Vegetated Rock / Cliff / Facultative - frequent use ; Rock/Sparsely Vegetated Rock / Rock/Sparsely Vegetated Rock / Facultative - frequent use ; Rock/Sparsely Vegetated Rock / Talus / Facultative - frequent use
Vascular Plant	American glehnia	<i>Glehnia littoralis ssp. leiocarpa</i>	Blue			Other Unique Habitats / Beach / Obligate ; Other Unique Habitats / Sand Dune / Obligate
Vascular Plant	hairy goldfields	<i>Lasthenia maritima</i>	Blue			Ocean / Marine Island / Unknown ; Rock/Sparsely Vegetated Rock / Cliff / Unknown ; Rock/Sparsely Vegetated Rock / Rock/Sparsely Vegetated Rock / Unknown
Vascular Plant	silky beach pea	<i>Lathyrus littoralis</i>	Red			Other Unique Habitats / Beach / Facultative - frequent use ; Other Unique Habitats / Sand Dune / Facultative - frequent use
Vascular Plant	California wax-myrtle	<i>Morella californica</i>	Blue			Grassland/Shrub / Shrub - Natural / Unknown
Vascular Plant	redwood sorrel	<i>Oxalis oregana</i>	Blue			Forest / Conifer Forest - Moist/wet / Facultative - frequent use ; Forest / Old Forest / Facultative - occasional use
Vascular Plant	whitebark pine	<i>Pinus albicaulis</i>	Blue	1	Endangered	Forest / Conifer Forest - Dry / Facultative - frequent use ; Forest / Conifer Forest - Mesic (average) / Facultative - frequent use ; Rock/Sparsely Vegetated Rock / Cliff / Facultative - frequent use ; Rock/Sparsely Vegetated Rock / Rock/Sparsely Vegetated Rock / Facultative - frequent use ;

Vascular Plant	black knotweed	<i>Polygonum paronychia</i>	Blue				Rock/Sparsely Vegetated Rock / Talus / Facultative - frequent use
Vascular Plant	Alaska holly fern	<i>Polystichum setigerum</i>	Blue				Forest / Conifer Forest - Moist/wet / Facultative - frequent use ; Riparian / Riparian Forest / Facultative - occasional use ; Riparian / Riparian Shrub / Facultative - occasional use ; Rock/Sparsely Vegetated Rock / Rock/Sparsely Vegetated Rock / Facultative - occasional use ; Stream/River / Stream/River / Facultative - occasional use
Vascular Plant	wedge-leaf primrose	<i>Primula cuneifolia</i> ssp. <i>saxifragifolia</i>	Blue				Grassland/Shrub / Meadow / Facultative - frequent use ; Rock/Sparsely Vegetated Rock / Rock/Sparsely Vegetated Rock / Facultative - occasional use
Vascular Plant	Smith's fairybells	<i>Prosartes smithii</i>	Blue				Forest / Conifer Forest - Moist/wet / Unknown ; Forest / Deciduous/Broadleaf Forest / Unknown ; Forest / Mixed Forest (deciduous/coniferous mix) / Unknown ; Riparian / Riparian Forest / Unknown
Vascular Plant	leafless wintergreen	<i>Pyrola aphylla</i>	Blue				Forest / Conifer Forest - Mesic (average) / Facultative - frequent use
Vascular Plant	Hibberson's trillium	<i>Trillium hibbersonii</i>	Blue				Rock/Sparsely Vegetated Rock / Cliff / Facultative - occasional use

Table B3. BC Ecosystems Explorer Query Results for Ecosystems.

English Name	Scientific Name	Ecosystem Group	BC List
red alder / salmonberry / common horsetail	<i>Alnus rubra</i> / <i>Rubus spectabilis</i> / <i>Equisetum arvense</i>	Terrestrial Realm - Flood Group (F): Low Bench Flood Class (Fl)	Blue
Lynghye's sedge herbaceous vegetation	<i>Carex lynghyei</i> Herbaceous Vegetation	Estuarine Realm: Estuarine Marsh Class (Em)	Red
large-headed sedge Herbaceous Vegetation	<i>Carex macrocephala</i> Herbaceous Vegetation	Terrestrial Realm - Beach Group (B): Beachland Class (Bb)	Red
tufted hairgrass - meadow barley	<i>Deschampsia cespitosa</i> ssp. <i>beringensis</i> - <i>Hordeum brachyantherum</i>	Estuarine Realm: Estuarine Meadow Class (Ed)	Red
common spike-rush Herbaceous Vegetation	<i>Eleocharis palustris</i> Herbaceous Vegetation	Wetland Realm - Mineral Wetland Group: Marsh Wetland Class (Wm); Estuarine Realm: Estuarine Marsh Class (Em)	Blue
dune wildrye - beach pea	<i>Leymus mollis</i> ssp. <i>mollis</i> - <i>Lathyrus japonicus</i>	Terrestrial Realm - Beach Group (B): Beachland Class (Bb)	Red
Sitka spruce / Pacific reedgrass	<i>Picea sitchensis</i> / <i>Calamagrostis nutkaensis</i>	Terrestrial Realm - Forest: Coniferous - dry	Blue
Sitka spruce / slough sedge	<i>Picea sitchensis</i> / <i>Carex obtusata</i>	Terrestrial Realm - Forest: Coniferous - moist/wet	Blue
Sitka spruce / salal	<i>Picea sitchensis</i> / <i>Gaultheria shallon</i>	Terrestrial Realm - Forest: Coniferous - dry	Blue
Sitka spruce / Oregon beaked-moss	<i>Picea sitchensis</i> / <i>Kindbergia oregana</i>	Terrestrial Realm - Forest: Coniferous - dry	Blue
Sitka spruce / false lily-of-the-valley Very Wet Hypermaritime 1	<i>Picea sitchensis</i> / <i>Maianthemum dilatatum</i> Very Wet Hypermaritime 1	Terrestrial Realm - Flood Group (F): Highbench Flood	Red
Sitka spruce / Pacific crab apple	<i>Picea sitchensis</i> / <i>Malus fusca</i>	Terrestrial Realm - Forest: Coniferous - moist/wet	Blue

Sitka spruce / sword fern	<i>Picea sitchensis</i> / <i>Polystichum munitum</i>	Terrestrial Realm - Forest: Coniferous - moist/wet	Blue
Sitka spruce / tall trisetum	<i>Picea sitchensis</i> / <i>Trisetum canescens</i>	Terrestrial Realm - Flood Group (F): Middle Bench Flood Class (Fm); Terrestrial Realm - Forest: Coniferous - moist/wet	Red
dune bluegrass Herbaceous Vegetation	<i>Poa macrantha</i> Herbaceous Vegetation	Terrestrial Realm - Beach Group (B): Beachland Class (Bb)	Red
beaked ditch-grass Herbaceous Vegetation	<i>Ruppia maritima</i> Herbaceous Vegetation	Estuarine Realm: Estuarine Marsh Class (Em)	Red
Sitka willow - Pacific willow / skunk cabbage	<i>Salix sitchensis</i> - <i>Salix lasiandra</i> var. <i>lasiandra</i> / <i>Lysichiton americanus</i>	Wetland Realm - Mineral Wetland Group: Swamp Wetland Class (Ws)	Blue
American glasswort - sea-milkwort	<i>Sarcocornia pacifica</i> - <i>Lysimachia maritima</i>	Estuarine Realm: Estuarine Marsh Class (Em)	Red
western redcedar - Sitka spruce / skunk cabbage	<i>Thuja plicata</i> - <i>Picea sitchensis</i> / <i>Lysichiton americanus</i>	Terrestrial Realm - Forest: Coniferous - moist/wet; Wetland Realm - Mineral Wetland Group: Swamp Wetland Class (Ws)	Blue
western redcedar - Sitka spruce / devil's club Very Wet Hypermaritime 1	<i>Thuja plicata</i> - <i>Picea sitchensis</i> / <i>Oplopanax horridus</i> Very Wet Hypermaritime 1	Terrestrial Realm - Forest: Coniferous - moist/wet	Blue
western redcedar - Sitka spruce / sword fern	<i>Thuja plicata</i> - <i>Picea sitchensis</i> / <i>Polystichum munitum</i>	Terrestrial Realm - Forest: Coniferous - dry; Terrestrial Realm - Forest: Coniferous - mesic	Blue
western hemlock - Sitka spruce / lanky moss	<i>Tsuga heterophylla</i> - <i>Picea sitchensis</i> / <i>Rhytidadelphus loreus</i>	Terrestrial Realm - Forest: Coniferous - mesic	Blue



**REDD FISH**  
RESTORATION

Page 138 of 264  
Appendix A  
286 Main Street  
Po Box 641 Ucluelet BC, VOR 3A0  
250-726-2424  
info@reddfish.org  
reddfish.org

June 29, 2023

Black Rock Oceanfront Resort  
596 Marine Drive  
Ucluelet, BC  
VOR 3A0  
ATTN: Lara Kempes

**RE: REVIEW OF PARKING LOT DRAINAGE PLAN AT THE BLACK ROCK OCEANFRONT RESORT**

Dear Ms. Kempes,

In September of 2022, Redd Fish Restoration conducted a biophysical assessment of a proposed RV parking area on the east side of the Black Rock property at Strata Lot 1, Plan VIS6690, District Lot 281, Clayoquot Land District (PID 027697312; Redd Fish Restoration 2022). Since, a drainage plan update has been prepared by Herold Engineering. The details of this plan were discussed with Al Hearle, P. Eng. of Herold Engineering. The proposed drainage plan was assessed in the field on June 27, 2023.

Herold Engineering is proposing to construct a drainage swale at the southeast corner of the parking area. The drainage swale will direct water into the adjacent forest and towards the marine foreshore. There is approximately 15 m of vegetation between the southeast edge of the parking lot and the Wild Pacific Trail along the shoreline.

The proposed swale will be a maximum of 20 cm deep and armoured with coarse rock to protect native soils from erosion. The swale should be constructed to allow for infiltration, primarily. A small culvert (100 mm diameter) should be installed under the Wild Pacific Trail at the low spot (of natural drainage) to allow water to drain from the area if the water volume exceeds the rate of infiltration. The culvert will prevent water from being impounded by the trail and causing standing surface water. The foreshore area is primarily coarse, vertical bedrock (Photo 1) where the culvert would likely be installed (Photo 2).

The risk of shoreline erosion as a result of the proposed design is considered negligible. The forested area that will initially receive the water is slightly sloped with mature western hemlock (*Tsuga heterophylla*) and a dense shrub understory. The soil appears to be a shallow, friable, loam, likely over shallow bedrock. Increased moisture in this area is not expected to have an adverse effect on the vegetation.

The following mitigation measures are provided to minimize potential risks to the environment from the proposed development:

- The swale should be “field fit” once the parking area is cleared and there is a clearer understanding of the drainage pattern.
- Avoid damage to tree roots when installing the swale. The swale should be micro-routed around structural tree roots to the extent possible. If a root cannot be avoided, soil should be excavated by hand and drainage rock installed around the root so that the root can be left in place.
- The culvert under the Wild Pacific Trail should be installed at the lowest point with a deep inlet so that surface water drains freely and is not impounded by the trail.
- Ensure that the culvert outlet extends beyond the trail fill and deposits water onto an unerodable surface (such as bedrock) or install a rock splash pad to minimize risk of erosion at the outlet.
- Minimize vegetation clearing. Route the swale in a manner that minimizes clearing requirements. No trees should be removed to facilitate the drainage swale.

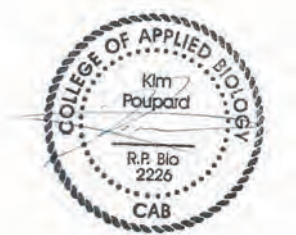
### Closure

We trust that the above meets your current requirements, if you have any questions, please contact the undersigned.

Regards,

### Redd Fish Restoration

#### Prepared by:



Kim Poupard, R.P.Bio

**Attachments:** Site Photographs

#### Reference:

Reddfish Restoration Society. 2022. Biophysical Assessment of Proposed Parking Expansion at the Black Rock Oceanfront Resort. Non-refereed technical report prepared for the Black Rock Oceanfront Resort. 7 pages + appendices.





**Photo 1.** Showing the shoreline area below where the culvert would cross the Wild Pacific Trail (just left of center). Note the non-erodable bedrock and beach sand.



**Photo 2.** Approximate area where the culvert would be installed along the Wild Pacific Trail, facing southwest. Note the dense low shrub vegetation.



ISSUES

No. DATE ISSUED FOR	1 2023/04/14 APPROVAL
---------------------	-----------------------

ISSUED FOR APPROVAL



- GENERAL NOTES:
1. ALL WORK AND MATERIALS ARE TO BE AS DESCRIBED IN THE DETAILS OF UTILITY ENGINEERING STANDARDS & SPECIFICATIONS LATEST EDITION OR AS NOTED OTHERWISE APPROVED BY THE CITY ENGINEER, WITH ALL APPLICABLE MINISTRY OF TRANSPORTATION AND INFRASTRUCTURE, FEDERAL DEPARTMENT OF FISHERIES & OCEANS CANADA REQUIREMENTS AT ALL TIMES DURING CONSTRUCTION.
  2. ALL UTILITY DEPT. CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL CITY ENGINEERING STANDARDS AND SPECIFICATIONS LATEST EDITION OR AS NOTED OTHERWISE APPROVED BY THE CITY ENGINEER, WITH ALL APPLICABLE MINISTRY OF TRANSPORTATION AND INFRASTRUCTURE, FEDERAL DEPARTMENT OF FISHERIES & OCEANS CANADA REQUIREMENTS AT ALL TIMES DURING CONSTRUCTION.
  3. ALL UTILITIES SHALL BE INSTALLED AT ALL TIMES DURING CONSTRUCTION AND SHALL BE INSTALLED TO MATCH EXISTING UTILITY DEPT. CONSTRUCTION.
  4. ALL UTILITIES SHALL BE INSTALLED TO MATCH EXISTING UTILITY DEPT. CONSTRUCTION AND SHALL BE INSTALLED TO MATCH EXISTING UTILITY DEPT. CONSTRUCTION. ALL OR PARTIAL CONSTRUCTION SHALL BE NOTED IN THE SURFACE GRADING DATA.
  5. ALL SURFACE RESTORATION AS PER MMD TYPE OR UNLESS OTHERWISE NOTED.

BLACK ROCK RESORT  
LOT 12 PARKING  
UCULEFT, BC  
BLACK ROCK RESORT

**HEROLD ENGINEERING**  
2475 Stephens Avenue, West Vancouver, BC V8W 2R1  
2475 Stephens Avenue, West Vancouver, BC V8W 2R1  
Phone: 779-7423 / Fax: 779-7424  
Email: info@heroldeng.com / herold@heroldeng.com

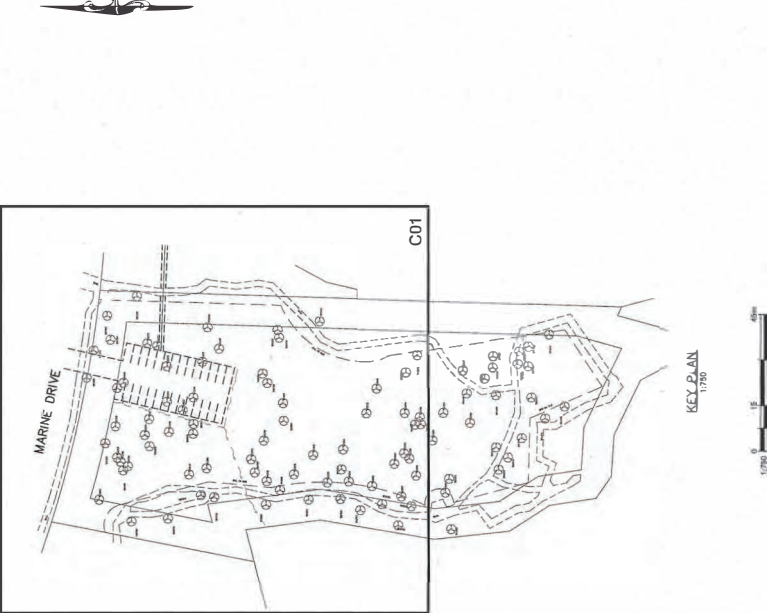
KEY PLAN, DRAWING LIST AND GENERAL NOTES

DATE	REVISION	BY	DATE
2023/04/14	1	AG	2023/04/14

PROJECT: LOT 12 PARKING  
DRAWING NO: C01  
SCALE: AS SHOWN  
DATE: 2023/04/14  
DRAWN BY: AG

PROJECT: ALL THINGS SURFACING INC. 779-7423

EXISTING	PROPOSED	DESCRIPTION	EXISTING	PROPOSED	DESCRIPTION
REINFORCED CONCRETE	—	REINFORCED CONCRETE	—	—	REINFORCED CONCRETE
ASPHALT	—	ASPHALT	—	—	ASPHALT
GRAVEL	—	GRAVEL	—	—	GRAVEL
CONCRETE	—	CONCRETE	—	—	CONCRETE
WATER MAIN	—	WATER MAIN	—	—	WATER MAIN
SEWER	—	SEWER	—	—	SEWER
UTILITY POLE AND STREET LIGHT	—	UTILITY POLE AND STREET LIGHT (LABELED IN PIP/P&S ETC.)	—	—	UTILITY POLE AND STREET LIGHT (LABELED IN PIP/P&S ETC.)
PROPANE	—	PROPANE	—	—	PROPANE
CEMENT	—	CEMENT	—	—	CEMENT
CONCRETE	—	CONCRETE	—	—	CONCRETE
GRAVEL	—	GRAVEL	—	—	GRAVEL
CONCRETE	—	CONCRETE	—	—	CONCRETE



LIST OF DRAWINGS

- | DWG. NO. | DESCRIPTION                            |
|----------|--|
| C01      | KEY PLAN, DRAWING LIST & GENERAL NOTES |
| C02      | SURFACE WORK AND SITE GRADING          |

ISSUES	ISSUED FOR
NO. DATE	BY
1 2023.04.14	APPROVAL
	CLIENT

ISSUED FOR APPROVAL

BLACK ROCK RESORT  
LOT 12 PARKING  
UCLULET, BC  
BLACK ROCK RESORT

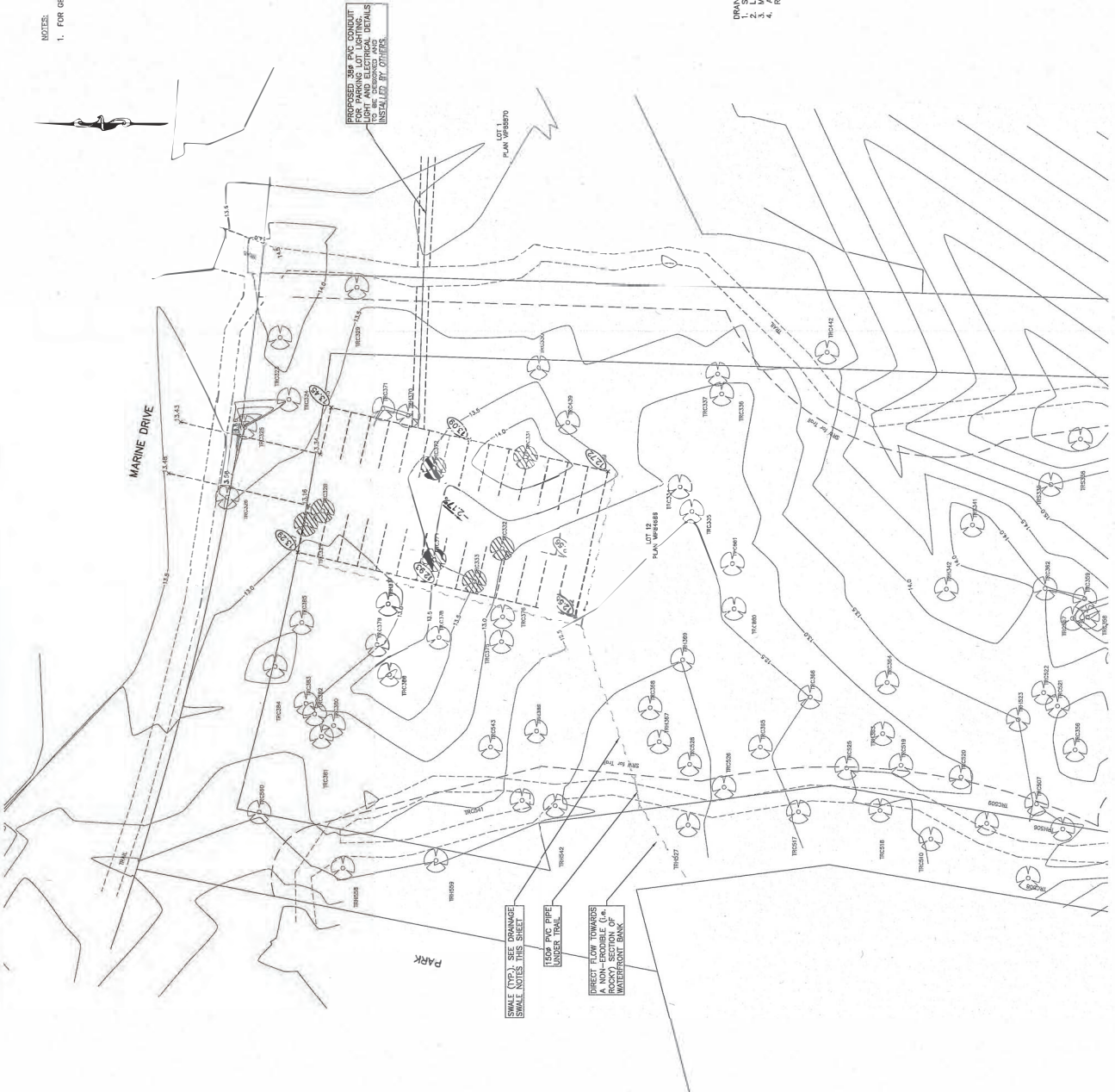
**HEROLD**  
**ENGINEERING**  
270 Stouffville Rd, Burnaby, BC V3T 2H1  
HeroldEngineering.com

**SURFACE WORKS  
AND SITE GRADING**

PROJECT NO.	1524-001-04
DATE	2023-04-14
CLIENT	Black Rock Resort
PROJECT	LOT 12 PARKING

**C02**

- NOTES:
- FOR GENERAL NOTES SEE DWG. No. C01.



PROPOSED 3/4" PVC CONDUIT FOR PARKING LOT LIGHTING. PER THE 2023.04.14 APPROVAL TO BE ADDED AND INSTALLED BY OTHERS.

**DRAINAGE SWALE NOTES:**

- SWALE TO BE APPROXIMATELY 150mm DEEP, WITH 2% SLOPES.
- SWALE TO BE 150mm WIDE AT TOP.
- MAKE USE OF NATURAL DRAINAGE COURSES IF THEY EXIST.
- ADJUST SWALE LOCATION IN THE FIELD TO MINIMIZE DISTURBANCE TO TREES, ROADS, AND OTHER FEATURES.

**PARKING LOT SURFACE STRUCTURE**

75mm PITRUN GRAVEL  
20mm 19mm MINUS ROAD BASE GRAVEL

EXAMINE TO BEDROCK ON 15% SLOPES  
EXAMINE TO BEDROCK ON 2% SLOPES

SWALE (TOP), SEE DRAINAGE SWALE NOTES THIS SHEET

150P PVC PIPE UNDER SWALE

DIRECT FLOW TOWARDS A NON-EROSIVE (i.e. WATERPROOF) BANK

**Appendix B**

Excerpts from *Ucluelet Official Community Plan Bylaw No. 1306, 2022*, development guidelines:

**Multi-Family / Commercial / Mixed-Use (DPA IV)**

TUP's are not subject to form and character Development Permits but because this application considers substantial clearing of the subject lot the application should consider the following guidelines:

**F4.** *Parking shall be located at the rear of lots, if possible, and screened from street view with either a structure or landscaping, or where feasible, below grade;*

**F5.** *Parking areas with more than 10 spaces should be broken into smaller groups, divided by landscaped areas and trees;*

**F21.** *Landscape plans submitted for a development permit shall illustrate type, size, and location of proposed planting, and shall detail all hard and soft landscaping elements to convey a comprehensive design for the site;*

**F22.** *Landscape planting schemes must provide definition and clarity within the public realm. Plant material should be used to:*

*a. Define the edges of outdoor space such as a café seating area;*

*b. Signify a particular spot such as an entrance or gateway;*

*c. Highlight pedestrian corridors; d. Delineate private and semi-private space from public space;*

*d. Delineate private and semi-private space from public space;*

*e. Beautify a streetscape; and,*

*f. Soften the transition of adjacent land uses.*

**F31.** *When locating buildings allow space for the Wild Pacific Trail, Safe Harbour Trail and Harbour Walk within vegetated corridors along the coastline, as an integrated part of the design for properties located on the waterfront, as shown on Schedule 'C' Parks and Trails Network.*

**F.IV.9.** *Where visitor parking or common parking areas are required, small groupings of parking stalls interspersed with tree planting should be employed rather than 1 uninterrupted lot wherever possible. Native plants are preferred;*

**F.IV.10.** *Parking areas that are visible from the street and/or adjacent to residential buildings should be screened by substantial landscaping.*

**F.IV.12.** *Preserving as much of the natural shoreline condition as possible, as well as the forest and its underlying shrub layer is critical to maintaining the character of the community. All development must recognise these values and strive to minimize the adverse effects on the natural environment development can often bring. The form and character of buildings should reflect the natural beauty of the area. This can be achieved through:*

**F.IV.17.** *Clear-cutting forested sites is prohibited. Developments must present plans showing tree retention and measures to ensure protection of existing significant trees and shrubs, clearly delineated limits of disturbance during construction, along with new plantings. The plans shall show pre- and post-development conditions to prevent over-cutting. Protection of adequate root zone buffers around retained trees shall be identified by a qualified professional and shown on the plans;*

**F.IV.18.** *Mature Western Red Cedar and Sitka Spruce must be identified by a qualified arborist and, where they are determined to be healthy, preserved;*

**F.IV.19.** *The siting of new buildings, extensions to existing buildings as well as campsites and roads etc., must work sensitively around established existing vegetation and must be located to minimize alterations to the foreshore and other environmentally sensitive areas. As part of the efforts to maintain and enhance the landscape character of the area, all efforts must be made to retain landscape and ecological integrity;*

**Appendix B**

**F.IV.20.** *Minimal blacktop and hardscape paving should be used for driveways and patio areas, particularly in front yards. Gravel or grass driveways and wood decks are preferred*

**F.IV.22.** *All developments must provide robust visual buffers of parking, loading and service areas by way of retained and enhanced native vegetation along all boundaries. In the case of those boundaries fronting the road, reasonable efforts must be made to retain significant trees and shrubs between driveways;*

**Terrestrial (Mature Forest) (DPA V)**

**E.V.1.** *Development should be planned to avoid intrusion into DPA V areas of the site and to minimize the impact of any activity on these areas.*

**Marine Shorelines (DPA VII)**

**E.VII.3.** *Land shall be retained in its natural state where possible, preserving indigenous vegetation and trees. If an adequate suitable building envelope exists on a parcel outside of the DPA, the proposed development should be directed to that site or area. Encroachment into the DPA shall only be permitted where the applicant can demonstrate that the encroachment is necessary to protect environmentally sensitive features, due to hazardous conditions or topographical considerations, or to relate the development to surrounding buildings and structures.*

**E.VII.4.** *The removal of trees and vegetation within DPA VII is discouraged and must be limited to only those areas that must be cleared to support the development. Any clearing required to accommodate roads, buildings, structures, and utilities, with the exception of necessary hydraulic, percolation, or geotechnical testing, shall not occur until after the issuance of a Development Permit to minimize the potential for soil erosion, runoff and spread of invasive species.*



## REPORT TO COUNCIL

Council Meeting: July 18, 2023

500 Matterson Drive, Ucluelet, BC V0R 3A0

**FROM:** ABBY FORTUNE, DIRECTOR OF PARKS & RECREATION

**FILE NO:** 6240-70

**SUBJECT:** CONTRACT AUTHORIZATION – VILLAGE GREEN PLAYGROUND INSTALL

**REPORT NO:** 23-103

**ATTACHMENT(S):** APPENDIX A – RENDERINGS

### RECOMMENDATION(S)

**THAT** Council authorize the Mayor and Corporate Officer to execute a \$290,000, plus GST, contract between the District of Ucluelet and Kinsol Timber Systems Ltd. (KinsolPlay) for the Village Green Playground Project.

### BACKGROUND:

The purpose of this report is to provide a request for the consideration and authorization of a contract to construct the Village Green Playground Project. This project is fully funded through Resort Municipality Initiative Funds (RMI) and a part of the 2022-2025 Resort Development Strategy (RDS) as approved by Council.

Staff published the project on BC Bids to engage an experience play space design company for the design and installation of a new playground in the Village Green as well as to provide cost estimates with a closing date of June 9, 2023. Eight proposals were received. Staff then evaluated the proposals based on: project schedule, design sample, equipment and materials, proposal package, firm experience, cost, value added and alignment with elements identified through the community public engagement process. These elements included a tower play sculpture with slide, swing, climbing/balance, natural play structures and uniqueness. From there staff was able to determine the top three choices, staff then further examined the equipment fit for the playground area and determined that [KinsolPlay](#) best met the criteria of the goal for the Village Green Playground project which is to create an iconic playground at the Village Green through natural play equipment that fits the feel and look of the community while providing children with an interactive creative play space to move.

Play features include:

1. **Shipwreck inspired Climbing and Parkour course with a Crowsnest Tower**, offering plenty of accessible, low-level play value for tots as well as opportunity to be challenged, while also catering to kids 6 and upwards. The Crowsnest provides a higher elevation for the more adventurous and risk tolerant children, while also providing a hiding place for those who may wish to escape the noise and chaos below;

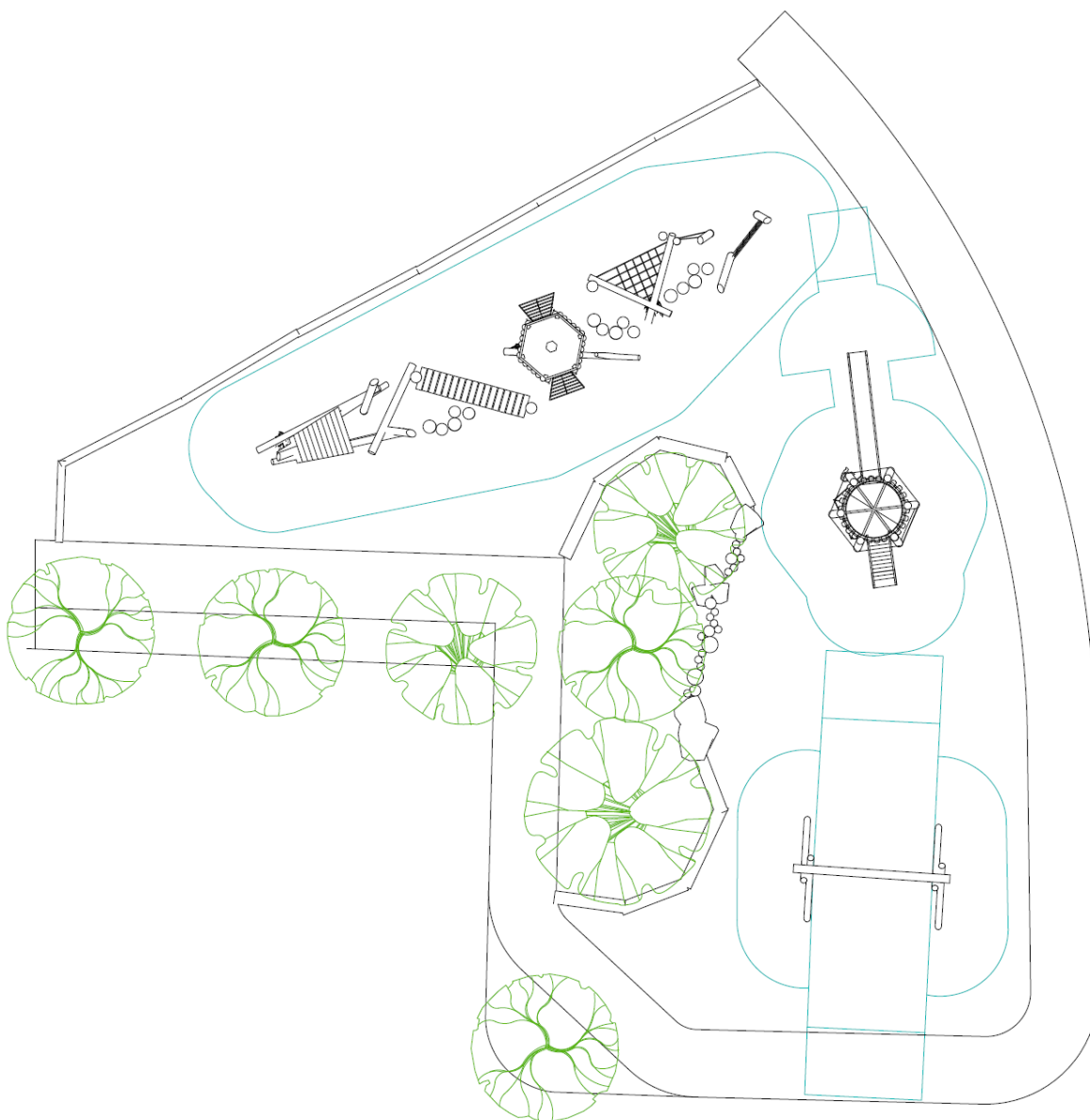


2. **Large Tower**, with a platform at 2m high, it provides some compromise between the younger kids and the older ones who might be seeking more adventurous play. A spider web net underneath provides an accessible play option as well as serving the tot age group;

### 3. Double Swing

To accommodate both tots and regular swing seats

District Staff recommend awarding the project to Kinsol Timber Systems Ltd. If approved, the contractor would begin preparations for late winter/early spring which includes site removal, preparation and installation.



**ANALYSIS OF OPTIONS**

<b>A</b>	Approve the contract between the District of Ucluelet and Kinsol Timber Systems Ltd.	<b><u>Pros</u></b>	<ul style="list-style-type: none"> <li>The contractor has a positive reputation and successful history with similar projects</li> <li>The contractor meets the scope as laid out in the RFP</li> <li>The contractor meets the fixed price budget of \$290,000</li> </ul>
		<b><u>Cons</u></b>	<ul style="list-style-type: none"> <li>None</li> </ul>
		<b><u>Implications</u></b>	<ul style="list-style-type: none"> <li>RMI funds will be used for this project as laid out in the RDS</li> <li>\$290,000 project cost funded through RMI</li> </ul>
<b>B</b>	Do not proceed with the contract	<b><u>Pros</u></b>	<ul style="list-style-type: none"> <li>Cost savings for RMI funds</li> </ul>
		<b><u>Cons</u></b>	<ul style="list-style-type: none"> <li>The project would be deferred or cancelled</li> <li>Playground would not be constructed</li> <li>Project would not meet project funding approval deadlines</li> </ul>
		<b><u>Implications</u></b>	<ul style="list-style-type: none"> <li>RMI funds would need to be reallocated through the RDS</li> </ul>
		<b><u>Suggested Motion</u></b>	No motion is required

**POLICY OR LEGISLATIVE IMPACTS**

- Procurement and Disposal Policy No 3-1200-5 which requires Council to authorize contracts above \$100,000.

**NEXT STEPS**

- Finalize and award contract
- Finalize schedule for shop fabrication, site removal and preparation, and installation

Submitted by: **Abby Fortune, Director of Parks & Recreation**  
**Duane Lawrence, CAO**





























## REPORT TO COUNCIL

Council Meeting: July 18, 2023

500 Matterson Drive, Ucluelet, BC V0R 3A0

**FROM:** ABBY FORTUNE, DIRECTOR OF PARKS & RECREATION

**FILE NO:** 2380-20

**SUBJECT:** NOTICE OF LAND DISPOSITION – STRAWBERRY ISLE MARINE RESEARCH SOCIETY

**REPORT NO:** 23-104

**ATTACHMENT(S):** N/A

### RECOMMENDATION:

**THAT** Council authorize staff to issue a public Notice of Property Disposition for a portion of the lands having the PID 025926691 and legal description Lot 12, Plan VIP76147, District Lot 284, Clayoquot Land District, and more commonly referred to as 334 Forbes Road, by way of lease, for a term of five years with an annual fee of \$10.00 plus gst.

### BACKGROUND:

Strawberry Isle Marine Research Society reached out to Council at the April 11, 2023, Council meeting to request an in-kind donation of District property for the placement of a 20 x 8 ft storage container. This container would house essential research and marine mammal response equipment that services the region between Tofino and Ucluelet. The Society would be required to obtain any required permits or other compliance measures at their own expense.

Some of the major equipment being stored will include:

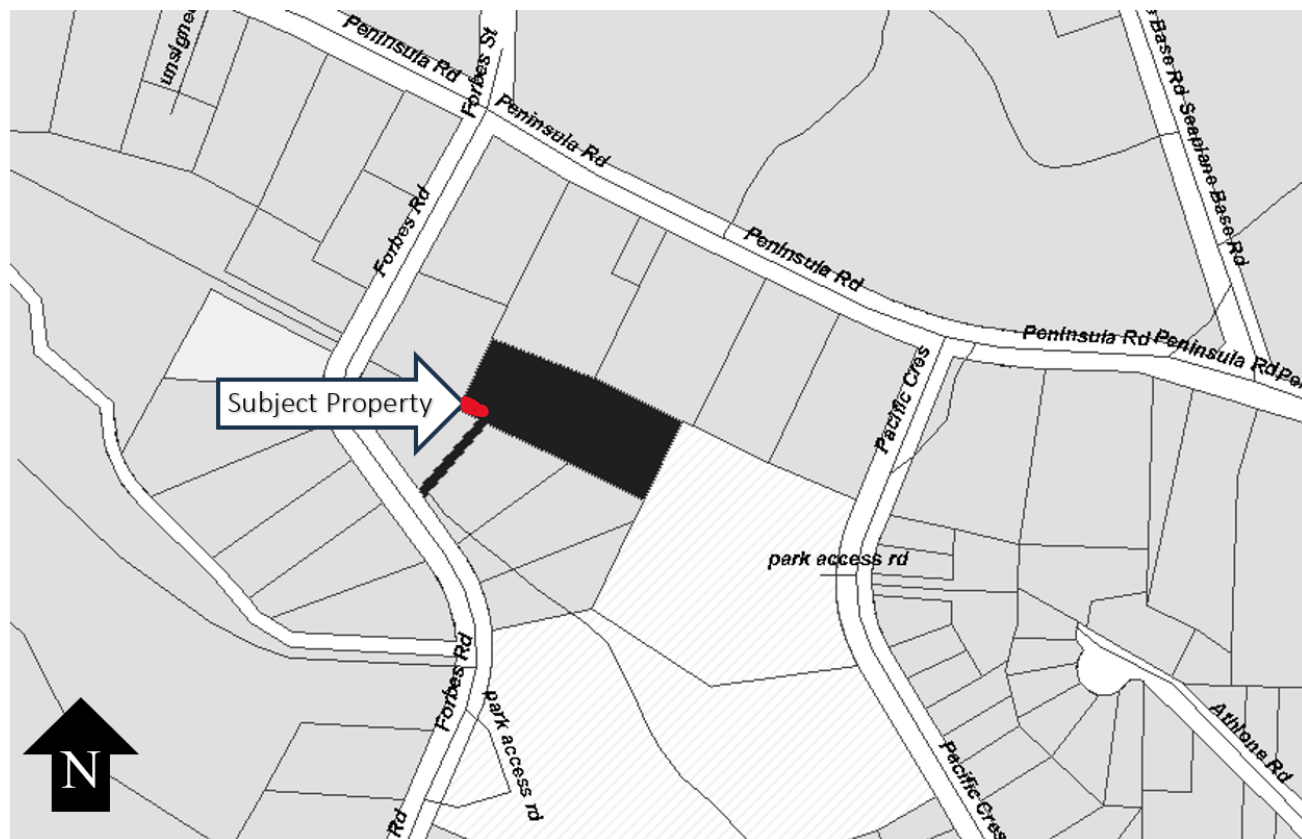
- whale disentanglement gear
- marine mammal necropsy equipment bins
- animal crates of various sizes
- signage (various sizes and types)
- animal stranding slings & body bags
- various research equipment

There will be no dangerous materials stored excluding filleting knives for necropsies. Access is required on an as needed basis, typically once or twice a month depending on the response to calls received.

### ANALYSIS OF OPTIONS

Although the District has limited property space, staff determined that the District property on Forbes Road could accommodate the storage container without being overly disruptive to public works yard operations. If Council wishes to lease to Strawberry Isle Marine Research Society a portion of the property at 334 Forbes Road, a Notice of Proposed Property Disposition is required pursuant to Section 26 of the Community Charter.

<b>A</b>	Provide Public Notice of disposition of land and execute lease agreement	<u>Pros</u>	<ul style="list-style-type: none"> <li>• A storage area is secured for marine mammal response.</li> <li>• Legislative requirements are met for a five-year lease.</li> </ul>
		<u>Cons</u>	<ul style="list-style-type: none"> <li>• The space is locked-in.</li> <li>• The space cannot be utilized for other District uses.</li> </ul>
		<u>Implications</u>	<ul style="list-style-type: none"> <li>• Space would need to be cleaned out.</li> <li>• Compliance confirmed as an accessory building.</li> </ul>
<b>B</b>	Do not renew the Lease.	<u>Pros</u>	<ul style="list-style-type: none"> <li>• The District could potentially use this space for other storage requirements.</li> <li>• A notice of property disposition would not be required.</li> </ul>
		<u>Cons</u>	<ul style="list-style-type: none"> <li>• The Strawberry Isle Marine Research Society would need to find an alternate location for storage.</li> </ul>
		<u>Implications</u>	<ul style="list-style-type: none"> <li>• None</li> </ul>
		<u>Suggested Motions</u>	No motion is required.



**POLICY OR LEGISLATIVE IMPACTS:**

Pursuant to Section 26 of the Community Charter notice is required to be given in accordance with section 94 of the *Community Charter*, that the District of Ucluelet intends to lease a portion of the District of Ucluelet Works Yard property for a term of five years for the purpose of storing marine mammal response equipment for the Westcoast.

***Notice of proposed property disposition***

*26 (1) Before a council disposes of land or improvements, it must publish notice of the proposed disposition in accordance with section 94 [public notice].*

*(2) In the case of property that is available to the public for acquisition, notice under this section must include the following: (a) a description of the land or improvements; (b) the nature and, if applicable, the term of the proposed disposition; (c) the process by which the land or improvements may be acquired.*

*(3) In the case of property that is not available to the public for acquisition, notice under this section must include the following: (a) a description of the land or improvements; (b) the person or public authority who is to acquire the property under the proposed disposition; (c) the nature and, if applicable, the term of the proposed disposition; (d) the consideration to be received by the municipality for the disposition.*

**NEXT STEPS**

- Issue Notice of Proposed Property Disposition
- Submit a follow-up report to Council, if required
- Execute the lease agreement

**Respectfully submitted:**

ABBY FORTUNE, DIRECTOR OF PARKS & RECREATION  
DUANE LAWRENCE, CAO





## TAFF REPORT TO COUNCIL

Council Meeting: July 18, 2023  
500 Matterson Drive, Ucluelet, BC V0R 3A0

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**FROM:** JOSEPH ROTENBERG, MANAGER OF CORPORATE SERVICES

**FILE NO:** 0640-20

**SUBJECT:** 2022 ANNUAL REPORT

**REPORT NO:** 23-101

**ATTACHMENT(S):** APPENDIX A - 2022 ANNUAL REPORT

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**RECOMMENDATION(S):**

**THAT** Council adopt the District of Ucluelet 2022 Annual Report as attached.

**PURPOSE:**

The purpose of this report is for Council to review and adopt the annual report after considering submissions and questions from the public.

**BACKGROUND:**

The District must prepare an Annual Report each year in accordance with the *Community Charter*.

Section 99 of the *Community Charter* requires Council to consider the report and any submissions and questions from the public at a public meeting. This meeting must occur after the report is available to review for the prescribed period, so the public can provide informed comments and questions.

The report was posted to the District website and available at the District Office for the prescribed period. Statutory notices were published in accordance with Community Charter requirements. At the time that this report was drafted, the District had not received any written submissions from the public. Council should provide an opportunity for the public to comment on the report at this meeting, prior to adopting the report.

**Respectfully submitted:** Joseph Rotenberg, Manager of Corporate Services  
Duane Lawrence, CAO







DISTRICT OF  
**UCLUELET**



# 2022 Annual Report

2022 Annual Report Joseph Rotenberg, Manager of Corporate Services



# 2022 Annual Report



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**2022 Annual Report**  
January 1 to December 31, 2022

This document was prepared by the Corporate Services Department, with departmental information provided by each Department Head.

**Photography** Mike Dandurand, Jen McLeod, and District of Ucluelet Staff  
**Layout & Design** Sarita Mielke - [wildfreecreative.com](http://wildfreecreative.com)



# Overview

2022 Annual Report



## Our Commitment

- Lead by example
- Own our decisions and the outcomes
- Be prepared and informed as we make decisions
- Be collaborative with our partners
- Have an open mind
- Be consistent



## Our Community, Our Future

The District of Ucluelet is a self-contained community located on the rugged west coast of Vancouver Island within the traditional territory of the Yuułu?it?ath. Ucluelet has the benefit of a range of assets and amenities relative to its size and although remote, enjoys excellent physical and digital access to the rest of the world.

The community is defined by a deep appreciation for the natural environment and a culture of creativity and resilience. With a strong sense of community, residents rely on one another and take pride in their spirit of partnership, volunteerism, and entrepreneurship.

Despite fluctuations in the economy and local industries over time, Ucluelet has always adapted and thrived. We see a bright future for our community with quality, sustainable infrastructure and services to support a population of all ages, from young families to active retirees who choose to call Ucluelet home. As our community faces demands for growth, we strive to preserve our quality of life and our natural assets while ensuring that future development is aligned with our community's values.

## Our Role

The District of Ucluelet provides leadership in the community with emphasis on inclusive and strategic planning for the future. We play a role in unifying the community towards a common vision and communicating with our residents on issues that are important to them and the District. We collaborate with our neighbors to enhance our collective provision of services and to ensure effective advocacy on regional issues. Ultimately, our role is to pursue the aspirations of our community and leave a legacy for future generations.



# Message from the Mayor

2022 saw us gradually emerging from the blackness known as COVID-19. Although a lot of on-line only meetings and events finally became hybrid, many of us were thankful to have face to face meetings once again; yet knowing that Zoom and other on-line platforms are no doubt here to stay.

I am so proud of how our District senior managers and staff carried on getting District business done these past three years while adhering to all the ever-changing health regulations and personal struggles we have all experienced. Ucluelet businesses and residents were kind to each other through it all, and most of us have come through the experience more deeply appreciating each other, and especially realizing how much we love social gatherings and celebrations!

Our staff and council had a busy year of preparing/adopting some very important documents that will lead discussions and decisions for the future of our community:

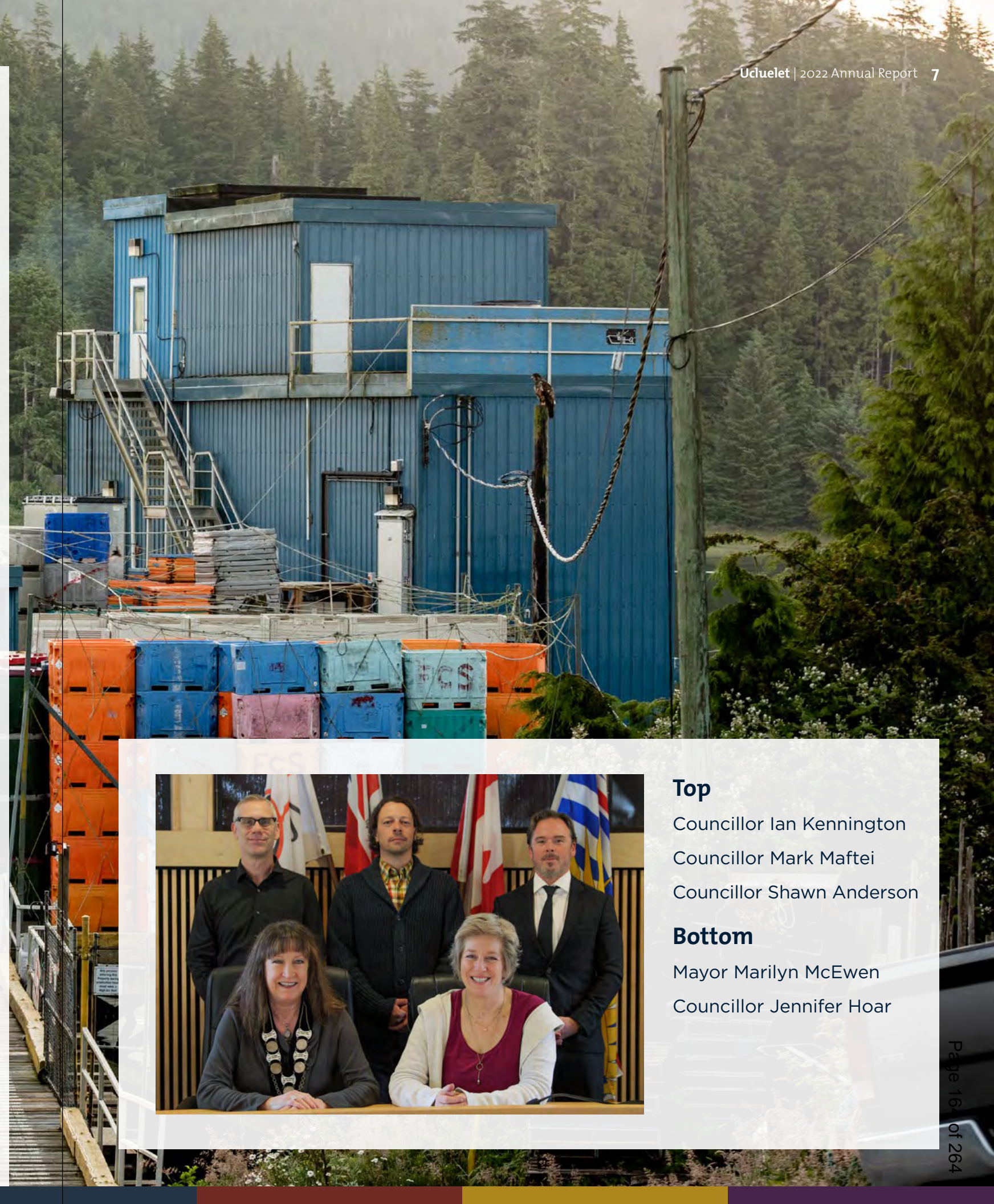
- Ucluelet Housing Needs Report
- Ucluelet Harbour Master Plan
- Ucluelet Tourism Master Plan
- Ucluelet Official Community Plan
- Single-Use Item Regulations

We also embarked on several capital projects to improve the liveability and beauty of our community, such as the Amphitrite Lightkeepers House & Grounds project, the Village Green Beautification project, and our Water Treatment & Filtration System upgrades.

Housing projects such as Lot 13 Marine Drive Affordable Housing Development; Lot 16 mix of small single-family lots, townhouses and a 48-unit apartment building; and Minato Bay Development have been rezoned and are in various stages of moving forward to ensure a wide range of housing options for our community in the not too distant future.

And of course, the municipal election on October 15th saw four councillors acclaimed, and your Mayor elected. It has only been a few months but already we are working well together, and I look forward to the progress we will make over the next three and a half years serving the people of Ucluelet.

**Marilyn McEwen**  
Mayor



## Top

Councillor Ian Kennington  
Councillor Mark Maftai  
Councillor Shawn Anderson

## Bottom

Mayor Marilyn McEwen  
Councillor Jennifer Hoar



# Message from the CAO

This report provides an overview of how your tax dollars work to enhance District of Ucluelet services and capital assets. As we move into 2023, we intend to progress key community projects, improve communications, and modernize our systems to be more responsive.

I would like to begin by thanking our past Council: Mayco Noël, Marilyn McEwen, Jennifer Hoar, Lara Kemps, and Rachelle Cole. This Council achieved many strategic objectives during their term including completing a housing needs assessment, adopting zoning amendments to allow additional housing units, adopting an updated Official Community Plan, and initiating an asset management program. This Council also advanced key capital projects related to Peninsula Road, redevelopment of the Amphitrite House, and the expansion of the Village Green.

I would also like to welcome our new Council, Mayor Marilyn McEwen and Councillors Jennifer Hoar, Ian Kennington, Shawn Anderson, and Mark Maftai. I look forward to working with Council over the coming years to address local challenges and realize Council's strategic objectives.

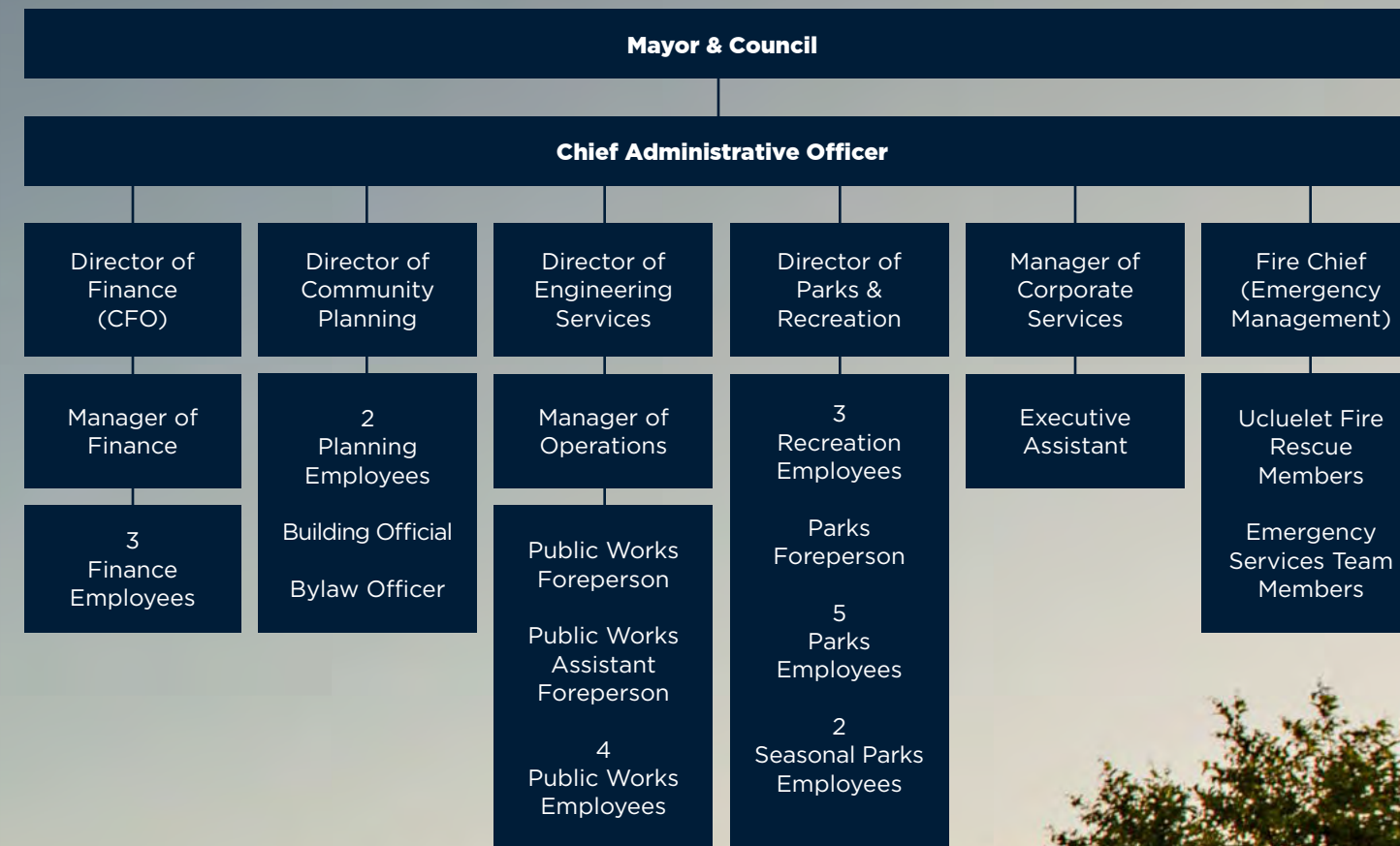
One key challenge in Ucluelet is the lack of affordable and attainable housing, which reduces affordability for residents and constrains business growth and function. In 2022 the District implemented bylaw reforms intended to increase housing supply by permitting accessory dwelling units and curbing the conversion of secondary suites to short-term rental units. Work will continue at the Council table and Staff level to address this challenge in 2023.

2022 also saw a significant work toward long-term high priority community projects. The expansion of the Village Green was initiated late in 2022 and completed in May 2023. The Amphitrite House project was also awarded, with work to commence this year. A key component of our water and sanitary system was also completed which will provide substantial relief to the overburdened Victoria Road Lift Station.

Thank you for taking the time to review this report and learn more about the many services your local government provides and how your tax dollars are at work for you and your community.

**Duane Lawrence**  
Chief Administrative Officer

## Organizational Structure





# Community Planning

2022 Annual Report Joseph Rotenberg, Mayor of District of Ucluelet

## Key Responsibilities

### Planning Duties

- Prepare long range land use plans and policies
- Process development permits, board of variance referrals, rezoning and subdivision applications
- Serve the community by responding to a wide range of inquiries and applications related to the use and development of land
- Plan and design improvements for public pathways, roads, trails and open space
- Building Inspection services and permit administration

### Bylaw Duties

- Bylaw enforcement and business licensing
- Administer land use bylaws, standards and policies in light of legislation and other approving agency jurisdictions
- Provide public education and respond to inquiries

## Department Overview

The Community Planning Department provides professional and technical advice to Council on current and future uses of land in the District and on issues concerning housing, the environment, culture and heritage preservation, transportation, tourism, harbour and managed water uses, and socioeconomic policies.

The planning division of this Department is responsible for the administration of zoning, land use and development applications, community planning, parks and trail network systems, streamside protection, and long-term visions such as the Official Community Plan (OCP) bylaw; keeping these all current to reflect community priorities guides the yearly work plans and objectives of this Department.

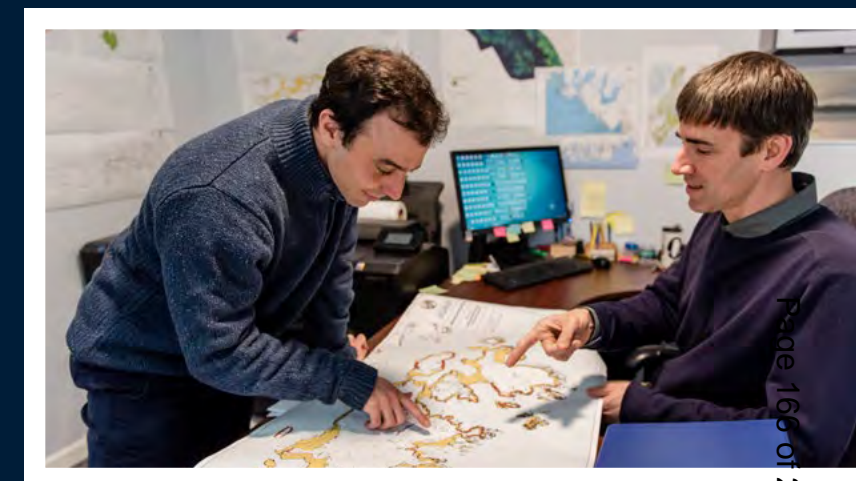
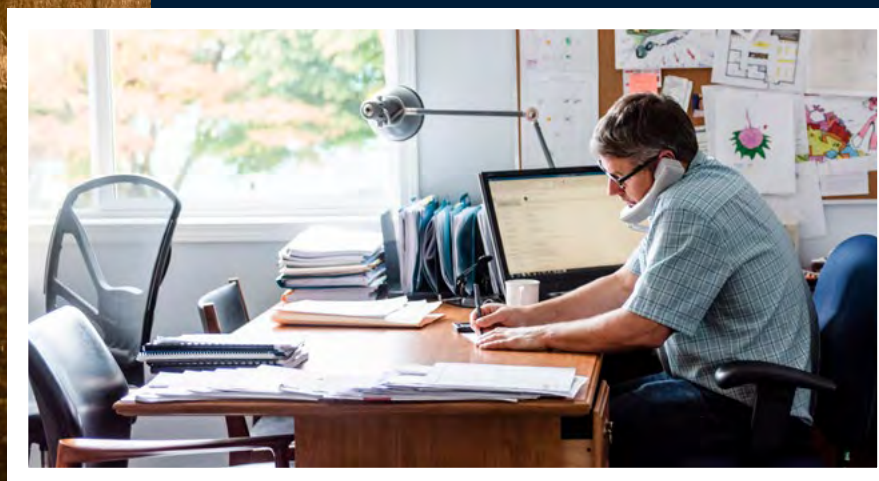
The building, license and bylaw division of this Department maintains the quality of life for the District of Ucluelet's citizens, by ensuring safety through compliance with established building codes and the community's adopted bylaws. This division also receives and processes complaints and coordinates the bylaw enforcement activities for the District.

## 2022 Completed Projects

- OCP Bylaw adoption
- Interim policy for early referrals to Yuułu?it?at? Government
- Interim policy on Tsunami Flood Risk
- Village Green Phase I design & tendering
- Larch Rd. Multi-Use Path grant applications
- Secondary Suites/Cottage Dwelling zoning project
- West Coast Housing Need and Demand Study
- Minato Bay housing development rezoning

## 2023 Planned Projects

- Revisit OCP growth scenario analysis
- Review of short-term rental regulations
- CMHC Rapid Housing Initiative grant
- 1300 Peninsula Road - Supportive Housing design
- Development Application Procedures bylaw update





# Parks & Recreation

## Key Responsibilities

- Community health & safety
- Community & adaptable programming
- Community special events & partnerships
- Support for Community Services
- Tourism & Recreation facilities and amenities
- Tourism partnerships & planning
- Trails & green space maintenance and planning
- Beautification of green spaces & recreation facilities
- Playground maintenance & planning
- Public Realm Projects (parks, paths, facilities)

## Department Overview

The Parks and Recreation Department provides the fundamental building blocks for a healthy and flourishing community. Our focus is to provide excellent, accessible programs through community involvement and outstanding facilities. Ucluelet Parks and Recreation Department is committed to ensuring a high level of excellence in its service to the community and continues to strive to promote an atmosphere of friendly, effective, and inclusive service. The Department also supports and plans various tourism infrastructure projects with its focus on the Resort Development Strategy.

## 2022 Completed Projects

- Amphitrite Lightkeeper’s Design Phase
- Village Green Playground community input
- Electric Vehicle station installs
- Tourism Master Plan
- Additional heritage signage
- Edna Batchelor Park pathway

## 2023 Planned Projects

- Parks & Recreation Master Plan
- First Nation Tourism projects & planning
- Recreation Hall Replacement Study
- Accessibility Policy
- Tourism Metrics
- Amphitrite Lightkeeper’s House Phase II
- Hard Sports Facility design
- Village Green playground install
- Winter Lights
- Bridge replacement
- Wayfinding signage installation
- Additional heritage signage
- Wild Pacific trail upgrades
- Kayak Launch





# Fire & Emergency Services

## Key Responsibilities

- Response for fire, rescue, motor vehicle incidents, and medical first responder calls in Ucluelet and contracted areas
- Fire prevention and public education
- Fire safety inspections
- Community emergency preparedness
- Emergency Support Services (ESS)
- Ucluelet Emergency Program (UEP)
- Emergency Operations Centre (EOC)

## Department Overview

Ucluelet Fire Rescue (UFR) has been providing fire services for the District of Ucluelet and contracted areas since 1949. 2022 was the fire department's busiest year on record with 189 calls. Four new recruits were added to the team and immediately began the training program.

The Emergency Support Services (ESS) team of volunteers is responsible for coordinating the provision of shelter, food, clothing, transportation, medical services, and reunification services to victims of emergencies and disasters.

The Ucluelet Emergency Program (UEP) is comprised of a multi-jurisdictional emergency planning committee that consists of representatives from the District of Ucluelet and its partner agencies.

## 2022 Completed Projects

- Development of Ucluelet's first community wildfire resiliency plan. This project was funded through a Union of BC Municipalities (UBCM) grant
- Joint UBCM grant application with the ACRD and District of Tofino. This will provide training and upgrades to the District's EOC communication/technology equipment
- Firehall feasibility study
- Installation of a the ESS trailer carport
- Installation of the emergency back-up generator at Ucluelet Secondary School

- Training of UEP staff and volunteers
- Several firefighters completed National Fire Protection Association (NFPA) 1001 certification
- Ongoing training for firefighters

## 2023 Planned Projects

- Hiring of a fulltime Deputy Fire Chief
- Safety repairs/renovations to the firehall
- Completion of the community assembly area/emergency kiosk at Tugwell Field
- Joint EOC training with ACRD and District of Tofino. Funded through a UBCM grant
- Upgrade EOC comm/tech equipment
- Continue fire safety inspection program
- EOC Essentials course for Ucluelet Emergency Program staff and volunteers
- Continue joint wildfire training with Parks Canada and the District of Tofino
- High Ground Hike community evacuation drill
- National Fire Protection Association (NFPA) 1001 certification for firefighters
- Fire Officer development training, recruit class for four new fire department members and ongoing training for firefighters
- Updating of fire services and emergency support services agreements with ACRD



## Key Responsibilities

- Management and maintenance of the municipal water, wastewater, and storm networks as well as all District roads, sidewalks, street-lights, facilities, and fleet
- Infrastructure support and development for the District's growing utilities needs
- 24-hour emergency services for the community's public works

## Department Overview

The Ucluelet Public Works Department is on call 365 days a year to ensure the community's infrastructure is in a state of good repair and provide necessary services to locals, visitors and businesses.

In addition to daily infrastructure, facility maintenance, and long-term infrastructure planning, the Public Works department takes on key projects each year.

## 2022 Completed Projects

- Initiation of new water treatment facilities
- Full implementation of Ucluelet's Clean Drinking Water Action Plan including reservoir and District-wide pipe flushing, a Water Conservation Plan, and updated testing records available on the District website
- Completion of the Master Plans: Sewer and Water
- Implementation of digital service and maintenance management using Citywide including updated District rounds and inspections to include portfolio integration
- Completion of roads and sidewalk maintenance including the replacement of the damaged school sidewalk
- Procurement of fleet vehicles including Janitorial van, Building Inspector vehicle, excavator, skid steer, small & large tractor
- Installation of new storm and water lines on Peninsula Road between Matterson Drive and Otter Street

- Utilities upgrades to provide sewer and water services for Lot 16 on Matterson Drive and Victoria Road
- Installation of Cedar Hub washroom
- Initiation of Peninsula Road Safety and Revitalization Project in unison with the Planning and Parks Departments
- Ongoing maintenance and state of good repair for all Public Works portfolio

## 2023 Planned Projects

- Water treatment facilities design
- Peninsula Road design and construction
  - Safety and Revitalization Project
  - Storm system design and replacement
  - Highway resurfacing
- Larch Road multi-use path design and installation
- Complete Village Green Revitalization
- Victoria Road Lift Station Bypass
- Replacement of the water supply submarine line to Ittatsoo
- Construction of the Amphitrite House
- New fleet storage structure at Public Works yard
- SCADA development and upgrades
- Completion of Master Plan: Storm
- Ongoing maintenance of roads, pathways and line painting



# Finance & Corporate Services

## Key Responsibilities

### Finance Services

- Financial planning and budgeting
- Reporting and fiscal management
- Procurement and purchasing
- Treasury and taxation
- Manage business licensing
- Accounting for transactions
- Support services to all departments

### Corporate Services

- Corporate leadership and administrative support to Council and Chief Administrative Officer
- Management, information and support services to Council, Committees, and Boards
- Information technology services, legislative services and records management
- HR and communications
- Freedom of information, land acquisitions, legal/risk management

## Department Overview

The Finance and Corporate Services Department's primary responsibility is to maintain the business foundation of the District. Its objective is to provide accurate, timely information and support to the community, District departments, and Council. The department invests a considerable portion of time and resources to Council-decision support and managing the District's financial, administrative, and legislative responsibilities. Additionally, the department provides IT-related support to improve internal and external effectiveness and holds the communications and human resources portfolios.

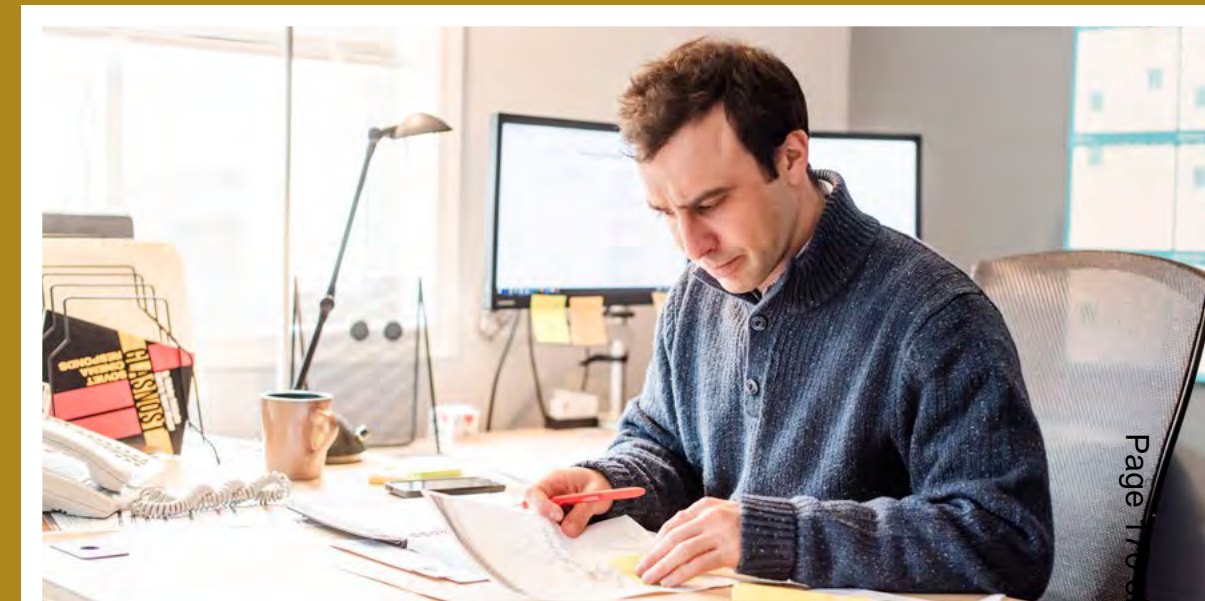
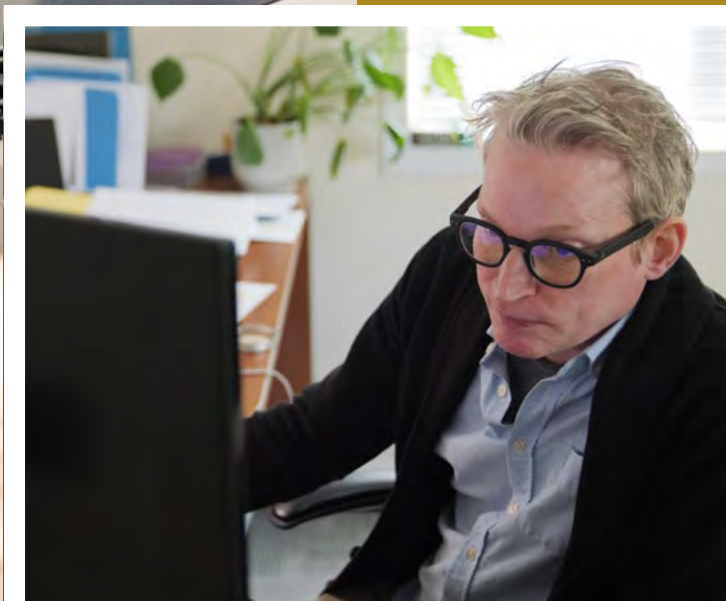
## 2022 Completed Projects

- 2022 General Municipal Election
- Council Procedure Bylaw updates
- Alternative Approval Process for Water System and Filtration Improvements Project
- Reserves and Surplus Policy and Bylaw

- Single-Use Items Regulation update
- Business License fees and regulation review
- District server update and migration
- George Fraser Room audio visual upgrades
- Officers and Officials Bylaw
- Paperless Council agendas

## 2023 Planned Projects

- Privacy Management updates
- Accessibility Committee support
- 20-year Capital Plan
- Development Cost Charges (DCC) Bylaw update
- Ongoing bylaw and policy updates
- Website Rebuild
- Collective Bargaining





# Small Craft Harbour

2022 Annual Report Joseph Rotenberg, Manager of Corporate Services

## Department Overview

Ucluelet's Small Craft Harbour is the West Coast's most comprehensive marine facility. Our Small Craft Harbour is a classic example of a true working harbour, situated on the outskirts of Barkley Sound.

The jurisdictional boundary for the District of Ucluelet extends approximately 200 metres into the Pacific Ocean surrounding the Ucluth Peninsula. The facilities include, the Boat Basin, Whiskey Dock and 52 Steps which are all within walking distance of the village center.

The Small Craft Harbour is overseen by the Ucluelet Harbour Authority and the Department of Fisheries and Oceans.

## 2022 Completed Projects

- Harbour Master Plan roll out
- Small Craft Harbour beautification work
- Cleaning station education signage
- New pilings at Whiskey Dock
- Electric vehicle charger install

## 2023 Planned Projects

- 52 Steps upgrade
- Fish Cleaning Station upgrade
- Additional new pilings at Whiskey Dock
- Small Craft Harbour beautification work
- Inner Boat Basin Pathway study
- Boat launch design

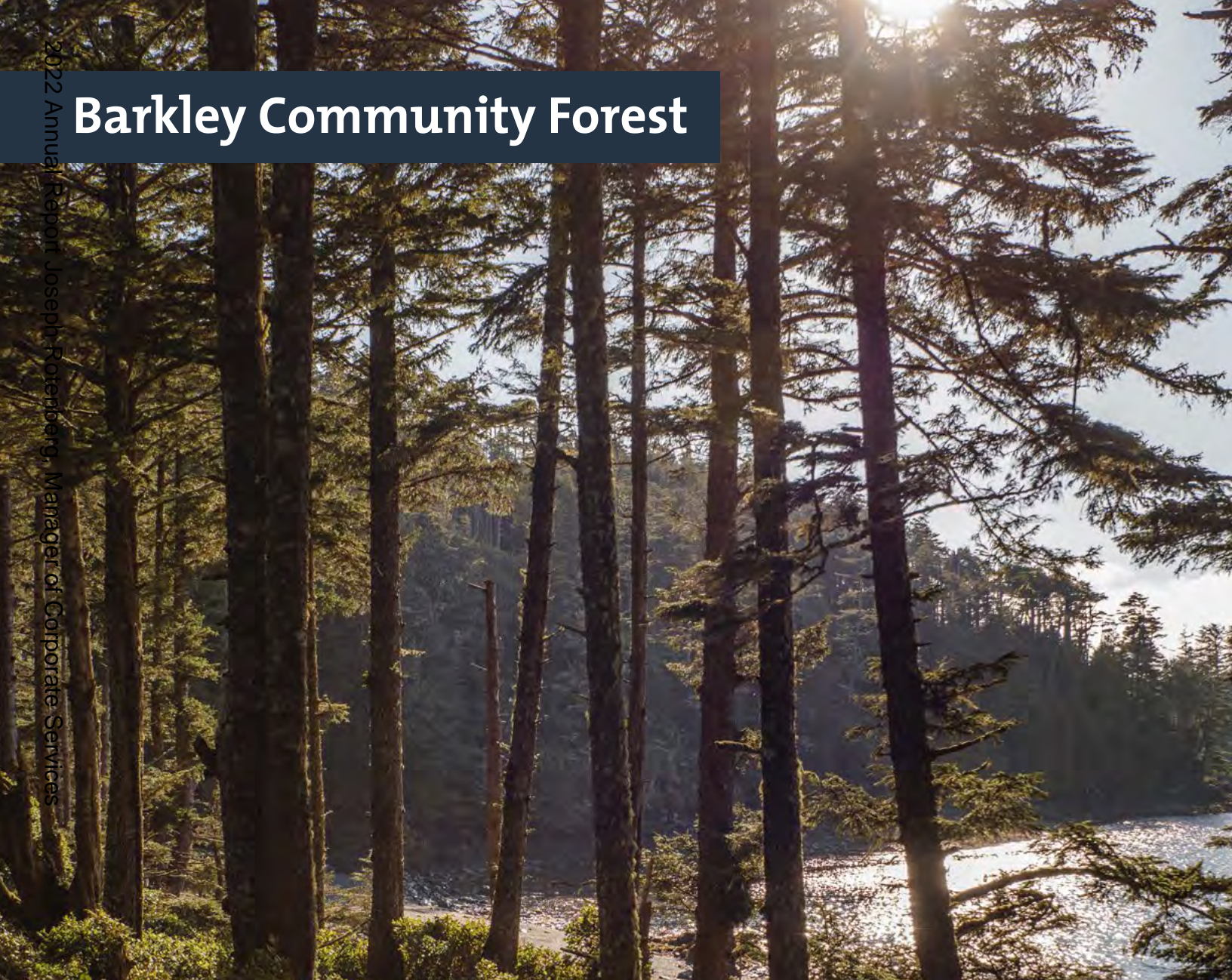
## Key Responsibilities

- Support of Commercial Fisheries
- Support of Recreational Fisheries and businesses
- Harbour Master Plan recommendations
- Provision of safe, clean, and clear dock ways
- Support of navigable waterways
- Beautification of assets
- Environmental health & safety
- User education





# Barkley Community Forest

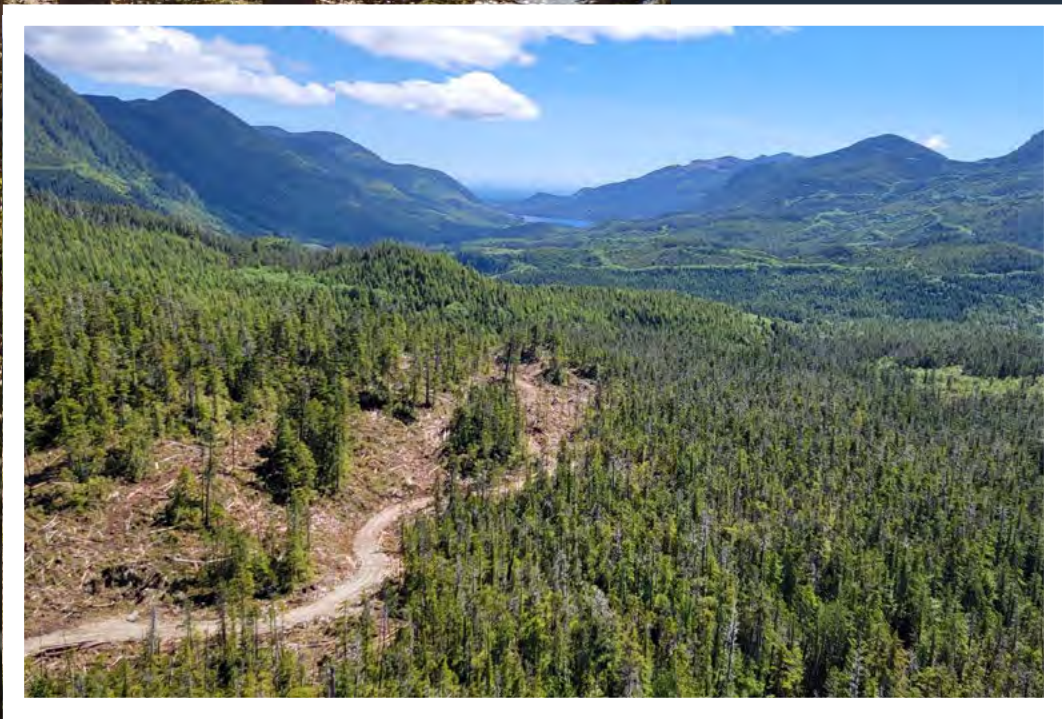


The Barkley Community Forest Corp (BCF) was established in 2004 in a joint partnership between the Toquaht Nation and the District of Ucluelet, to enhance community stability and quality of life for local residents through community control of forest resources. This corporation provides employment and utilizes forest resources in a diversified manner.

The District periodically receives dividends from the BCF when harvesting occurs, beginning with the first harvest in 2017. In 2022, the District received a \$367,000 dividend from BCF.

The District of Ucluelet has established the Barkley Community Forest Reserve Fund for the purpose of funding project or initiatives Council has determined would provide the most benefit to the community. Council has also established a Barkley Community Forest Legacy Reserve Fund which funds community grant in aid initiatives in accordance with the District of Ucluelet Grants in Aid Policy.

We are proud to be part of this organization which utilizes forest resources for the benefit of current and future generations.





# Sustainability & Climate Action

## Department Overview

In March of 2019, Ucluelet adopted its first Climate Action Plan, which set ambitious 2050 targets of 100% Renewable Energy and 80% reduction in Greenhouse Gas (GHG) emissions. Funded by the FCM Municipalities for Climate Innovation Program, the plan includes an inventory of community emissions, goals to achieve the targets, and strategies to achieve those goals. This effort led to the awarding of FCM Partners for Climate Protection (PCP) Milestone 4 and Milestone 2 for action community and corporate emissions, respectively.

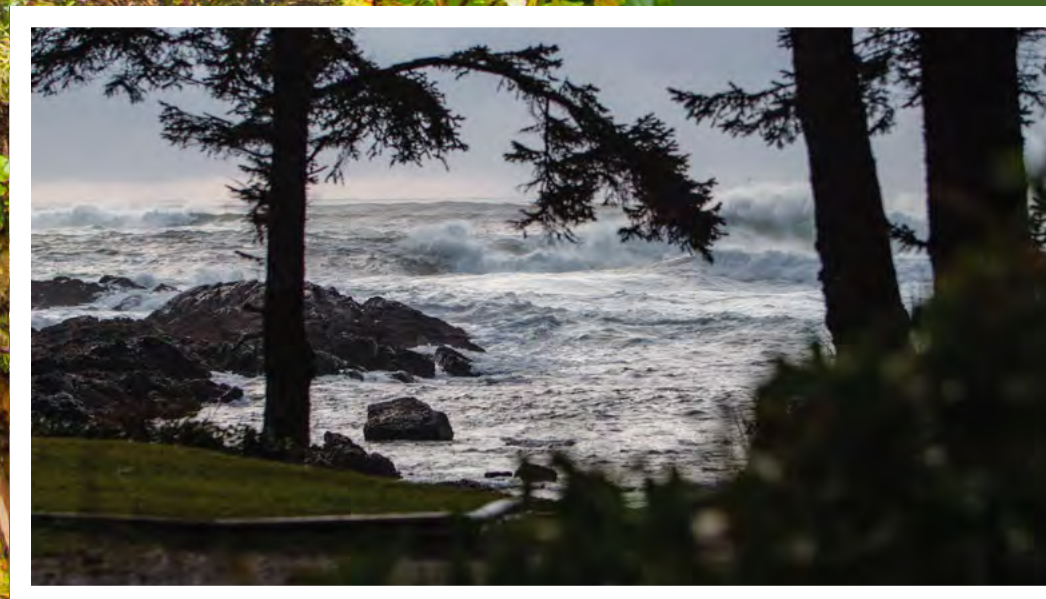
In January of 2021, Ucluelet adopted its first Climate Change Adaptation Plan after conducting risk assessments to identify current and future climate impacts to the coastal community. This project was funded under the ICLEI Changemakers Project.

## 2022 Completed Projects

Ucluelet has moved forward on other important climate action initiatives including:

- The District installed 2 dual port Level 2 EV Charging Stations at strategic locations in conjunction with the Mid Island Network, Community Energy Association.
- The conversion of many gas-powered hand tools to electric.
- Council's adoption of the updated 2022 Official Community Plan Bylaw incorporates new maps from the Ucluelet flood risk mapping study, and new policies from the Climate Change Adaption Plan and 100% Renewable Energy Plan.

Please visit our Sustainability and Climate webpage at [ucluelet.ca](http://ucluelet.ca) to view our Climate Change Adaption Plan and 100% Renewable Energy Plan - Clean Energy for the Safe Harbour.





# Financial Statement

District of Ucluelet - December 31, 2022



## Management's Responsibility

The accompanying consolidated financial statements of the District of Ucluelet (the "District") are the responsibility of management and have been prepared in compliance with applicable legislation, and in accordance with generally accepted accounting standards for local governments as established by the Public Sector Accounting Board of the Chartered Professional Accountants of Canada. A summary of significant accounting policies is described in Note 1 to the consolidated financial statements. The preparation of the consolidated financial statements necessarily involves the use of estimates based on management's judgement, particularly when transactions affecting the current accounting period cannot be finalized with certainty until future periods.

The District's management maintains a system of internal controls designed to provide reasonable assurance that assets are safeguarded, transactions are properly authorized and recorded in compliance with legislative and regulatory requirements, and reliable financial information is available on a timely basis for preparation of the consolidated financial statements. These systems are monitored and evaluated by management.

Mayor and Council meet with management and the external auditor to review the consolidated financial statements and discuss any significant financial reporting or internal control matters prior to their approval of the consolidated financial statements.

The consolidated financial statements have been audited by MNP LLP; independent external auditors appointed by the District. The accompanying Independent Auditor's Report outlines their responsibilities, the scope of their examination and their opinion on the District's consolidated financial statements.

June 27, 2023

Duane Lawrence  
Chief Administrative Officer & Finance Officer



## Independent Auditor's Report

To the Mayor and Council of the District of Ucluelet:

### Qualified Opinion

We have audited the consolidated financial statements of the District of Ucluelet (the "District"), which comprise the consolidated statement of financial position as at December 31, 2022, and the consolidated statements of operations, changes in net financial assets and cash flows and related schedules for the year then ended, and notes to the consolidated financial statements, including a summary of significant accounting policies.

In our opinion, except for the possible effects of the matter described in the Basis for Qualified Opinion section of our report, the accompanying consolidated financial statements present fairly, in all material respects, the consolidated financial position of the District as at December 31, 2022, and the results of its consolidated operations, changes in its net debt and its consolidated cash flows for the year then ended in accordance with Canadian public sector accounting standards.

### Basis for Qualified Opinion

The District holds an investment in the Barkley Community Forest Limited Partnership. The audited financial statements of the Limited Partnership was not available as at the audit report date and our audit opinion has been qualified as a result. We were unable to determine whether any adjustments to the following line items were necessary as of December 31, 2022: Investment in Government Business Enterprise, Earnings from investment in Government Business Enterprise, annual surplus, and accumulated surplus.

We conducted our audit in accordance with Canadian generally accepted auditing standards. Our responsibilities under Statements section of our report. We are independent of the District in accordance with the ethical requirements that are those standards are further described in the Auditor's Responsibilities for the Audit of the Consolidated Financial relevant to our audit of the consolidated financial statements in Canada, and we have fulfilled our other ethical responsibilities in accordance with these requirements. We believe that the audit evidence we have obtained is sufficient and appropriate to provide a basis for our qualified opinion.

### Other Information

Management is responsible for the other information, consisting of an annual report, which is expected to be made available to us after the date of this auditor's report.

Our opinion on the consolidated financial statements does not cover the other information and we will not express any form of assurance conclusion thereon.

In connection with our audit of the consolidated financial statements, our responsibility is to read the other information identified above when it becomes available and, in doing so, consider whether the other information is materially inconsistent with the consolidated financial statements or our knowledge obtained in the audit or otherwise appears to be materially misstated.

When we read the annual report, if we conclude that there is a material misstatement therein, we are required to communicate the matter to those charged with governance.

### Responsibilities of Management and Those Charged with Governance for the Consolidated Financial Statements

Management is responsible for the preparation and fair presentation of the consolidated financial statements in accordance with Canadian public sector accounting standards, and for such internal control as management determines is necessary to enable the preparation of consolidated financial statements that are free from material misstatement, whether due to fraud or error.

In preparing the consolidated financial statements, management is responsible for assessing the District's ability to continue as a going concern, disclosing, as applicable, matters related to going concern and using the going concern basis of accounting unless management either intends to liquidate the District or to cease operations, or has no realistic alternative but to do so.

Those charged with governance are responsible for overseeing the District's financial reporting process.

### Auditor's Responsibilities for the Audit of the Consolidated Financial Statements

Our objectives are to obtain reasonable assurance about whether the consolidated financial statements as a whole are free from material misstatement, whether due to fraud or error, and to issue an auditor's report that includes our opinion. Reasonable assurance is a high level of assurance, but is not a guarantee that an audit conducted in accordance with Canadian generally accepted auditing standards will always detect a material misstatement when it exists. Misstatements can arise from fraud or error and are considered material if, individually or in the aggregate, they could reasonably be expected to influence the economic decisions of users taken on the basis of these consolidated financial statements.

As part of an audit in accordance with Canadian generally accepted auditing standards, we exercise professional judgment and maintain professional skepticism throughout the audit. We also:

- Identify and assess the risks of material misstatement of the consolidated financial statements, whether due to fraud or error, design and perform audit procedures responsive to those risks, and obtain audit evidence that is sufficient and appropriate to provide a basis for our opinion. The risk of not detecting a material misstatement resulting from fraud is higher than for one resulting from error, as fraud may involve collusion, forgery, intentional omissions, misrepresentations, or the override of internal control.
- Obtain an understanding of internal control relevant to the audit in order to design audit procedures that are appropriate in the circumstances, but not for the purpose of expressing an opinion on the effectiveness of the District's internal control.
- Evaluate the appropriateness of accounting policies used and the reasonableness of accounting estimates and related disclosures made by management.
- Conclude on the appropriateness of management's use of the going concern basis of accounting and, based on the audit evidence obtained, whether a material uncertainty exists related to events or conditions that may cast significant doubt on the District's ability to continue as a going concern. If we conclude that a material uncertainty exists, we are required to draw attention in our auditor's report to the related disclosures in the consolidated financial statements or, if such disclosures are inadequate, to modify our opinion. Our conclusions are based on the audit evidence obtained up to the date of our auditor's report. However, future events or conditions may cause the District to cease to continue as a going concern.
- Evaluate the overall presentation, structure and content of the consolidated financial statements, including the disclosures, and whether the consolidated financial statements represent the underlying transactions and events in a manner that achieves fair presentation.
- Obtain sufficient appropriate audit evidence regarding the financial information of the entities or business activities within the District to express an opinion on the consolidated financial statements. We are responsible for the direction, supervision and performance of the group audit. We remain solely responsible for our audit opinion.

We communicate with those charged with governance regarding, among other matters, the planned scope and timing of the audit and significant audit findings, including any significant deficiencies in internal control that we identify during our audit.

Nanaimo, British Columbia

June 27, 2023

Chartered Professional Accountants



**District of Ucluelet**  
**Consolidated Statement of Financial Position**  
*As at December 31, 2022*

	2022	2021
<b>Financial Assets</b>		
Cash and cash equivalents	\$ 2,244,260	\$ 5,701,168
Investments (Note 2)	11,462,768	8,242,966
Accounts receivable (Note 3)	1,972,170	520,439
Investment in Government Business Enterprise (Note 4)	2,516,852	1,723,371
	<b>\$ 18,196,050</b>	<b>\$ 16,187,944</b>
<b>Financial Liabilities</b>		
Accounts payable and accrued liabilities (Note 5)	\$ 803,676	\$ 812,345
Refundable deposits (Note 6)	192,610	221,064
Deferred revenue (Note 7)	2,372,629	2,151,297
Prepaid property taxes and utilities	100,074	75,526
Development cost charges (Note 8)	770,715	1,038,469
Equipment financing (Note 9)	434,044	143,825
Debt (Note 10)	1,653,969	1,754,565
	<b>\$ 6,327,717</b>	<b>\$ 6,197,091</b>
<b>Net Financial Assets</b>	<b>\$ 11,868,333</b>	<b>\$ 9,990,853</b>
<b>Non-Financial Assets</b>		
Tangible capital assets (Note 11, Schedule 1)	\$ 41,156,769	\$ 40,979,160
Inventory of supplies	20,944	20,944
Prepaid expenses	114,643	83,988
	<b>\$ 41,292,356</b>	<b>\$ 41,084,092</b>
<b>Accumulated Surplus (Note 12)</b>	<b>\$ 53,160,689</b>	<b>\$ 51,074,945</b>

Commitments and contingencies (Note 17)

  
 Chief Administrative Officer

**District of Ucluelet**  
**Consolidated Statement of Operations**  
*For the year ended December 31, 2022*

	2022 Budget (Note 18)	2022	2021
<b>Revenue</b>			
Taxation, net (Note 14)	\$ 3,949,711	\$ 3,952,968	\$ 3,426,783
Sale of services	2,147,463	2,171,429	1,838,444
Other revenue from own sources	-	389,791	372,999
Investment income	85,300	162,587	48,562
Grants and contributions	5,091,713	1,532,055	1,061,452
DCC revenue	940,056	379,769	-
Ministry and Regional District Tax	484,000	740,359	545,737
Earnings from Investment in Government Business Enterprise (Note 4)	-	1,160,481	985,066
	<b>\$ 12,698,243</b>	<b>\$ 10,489,439</b>	<b>\$ 8,279,043</b>
<b>Expenses</b>			
General government services	\$ 3,150,038	\$ 1,538,222	\$ 1,278,282
Protective services	403,648	748,273	564,529
Transportation services	1,113,551	1,562,875	1,432,303
Planning and environmental services	754,902	382,442	452,855
Recreation and cultural services	1,847,636	2,628,959	2,316,108
Water utility	950,583	870,715	709,383
Sewer utility	633,462	672,209	711,467
	<b>\$ 8,853,820</b>	<b>\$ 8,403,695</b>	<b>\$ 7,464,927</b>
<b>Annual surplus</b>	3,844,423	2,085,744	814,116
	51,074,945	51,074,945	50,260,829
<b>Accumulated surplus, Beginning of the year</b>			
<b>Accumulated surplus, End of the year</b>	<b>\$ 54,919,368</b>	<b>\$ 53,160,689</b>	<b>\$ 51,074,945</b>

**District of Ucluelet**  
**Consolidated Statement of Change in Net Financial Assets**  
*For the year ended December 31, 2022*

	2022 Budget (Note 18)	2022	2021
<b>Annual surplus</b>	\$ 3,844,423	\$ 2,085,744	\$ 814,116
Acquisition of tangible capital assets	(8,281,516)	(1,467,998)	(1,014,296)
Loss on disposal of tangible capital assets	-	-	113
Amortization of tangible capital assets	1,168,995	1,290,391	1,300,714
Change in prepaid expenses	-	(30,655)	(17,980)
<b>Increase (decrease) in Net Financial Assets</b>	(3,268,098)	1,877,482	1,082,667
<b>Net Financial Assets, Beginning of the year</b>	9,990,853	9,990,853	8,908,186
<b>Net Financial Assets, End of the year</b>	\$ 6,722,755	\$ 11,868,335	\$ 9,990,853

**District of Ucluelet**  
**Consolidated Statement of Cash Flows**  
*For the year ended December 31, 2022*

	2022	2021
Operating Transactions		
Annual surplus	\$ 2,085,744	\$ 814,116
Non-cash items included in surplus:		
Amortization of tangible capital assets	1,290,391	1,300,714
Loss on disposal of tangible capital assets	-	113
Earnings from investment in Government Business Enterprise	(1,160,481)	(985,066)
Actuarial adjustment on debt	(22,861)	(22,169)
	\$ 2,192,793	\$ 1,107,708
Change in non-cash working capital balances related to operations		
Accounts receivable	\$ (1,451,731)	\$ 196,196
Accounts payable and accrued liabilities	(8,670)	(877,314)
Refundable deposits	(28,455)	123,564
Deferred revenue	221,332	1,072,877
Prepaid property taxes and utilities	24,548	6,436
Development cost charges	(267,755)	213,526
Prepaid expenses	(30,655)	(17,980)
	\$ 651,407	\$ 1,825,013
Cash provided by operating transactions		
Capital Transactions		
Acquisition of tangible capital assets	\$ (1,467,998)	\$ (1,014,296)
Investment Transactions		
Decrease (increase) in investments	\$ (3,219,802)	\$ (34,224)
Dividends received from Government Business Enterprise	367,000	-
	(2,852,802)	(34,224)
Financing activities		
Proceeds from equipment financing	\$ 350,000	\$ -
Debt repaid	(137,515)	(112,300)
	\$ 212,485	\$ (112,300)
Net change in cash and cash equivalents	(3,456,908)	664,193
Cash and cash equivalents, Beginning of the year	5,701,168	5,036,975
Cash and cash equivalents, End of the year	\$ 2,244,260	\$ 5,701,168

**District of Ucluelet**  
**Notes to the Consolidated Financial Statements**  
**For the year ended December 31, 2022**

**District of Ucluelet**  
**Notes to the Consolidated Financial Statements**  
**For the year ended December 31, 2022**

The District of Ucluelet (the "District") is a municipality in the Province of British Columbia and operates under the provisions of the Local Government Act and the Community Charter of British Columbia. The District's principal activities include the provision of local government services to residents of the incorporated area.

**1. Significant accounting policies**

The consolidated financial statements of the District are prepared by management in accordance with Canadian public sector accounting standards, as recommended by the Public Sector Accounting Board (PSAB) of the Chartered Professional Accountants Canada. Significant accounting policies adopted by the District are as follows:

**(a) Reporting entity**

The consolidated financial statements reflect the combination of all the assets, liabilities, revenues, expenses, and accumulated surplus of the District. Inter-departmental balances and transactions have been eliminated.

The District's business partnerships, jointly owned and controlled by the District but not dependent on the District for their continuing operations, are included in the consolidated financial statements using the modified equity method.

The modified equity method of accounting is modified only to the extent that the business entity accounting principles are not adjusted to conform to those of the District. Thus, the District's investment in these entities is recorded at acquisition cost and is increased for the proportionate share of post-acquisition earnings and decreased by post acquisition losses and distributions received.

Entities accounted for by the modified equity basis include:

- Barkley Community Forest Limited Partnership (50% ownership)
- Ucluelet Economic Development Corporation (wholly owned)

The District administers certain trust assets on behalf of external parties which are excluded from the financial statements.

**(b) Basis of presentation**

The District follows the accrual method of accounting for revenues and expenses. Revenues are normally recognized in the year in which they are earned and measurable. Expenses are recognized as they are incurred and measurable as a result of receipt of goods or services and/or the creation of a legal obligation to pay.

**(c) Government transfers**

Government transfers are recognized in the consolidated financial statements as revenues in the period in which events giving rise to the transfer occur, providing the transfers are authorized, any eligibility criteria have been met, and reasonable estimates of the amounts can be made, except when and to the extent the transfer gives rise to an obligation that meets the definition of a liability.

**(d) Property tax revenue**

Property tax revenue is recognized on an accrual basis using the approved tax rates and the anticipated assessment related to the current year.

**(e) Deferred revenue**

Deferred revenue includes grants, contributions and other amounts received from third parties pursuant to legislation, regulation and agreement which may only be used in certain programs, in the completion of specific work, or for the purchase of tangible capital assets. In addition, certain user charges and fees are collected for which related services have yet to be performed. Revenue is recognized in the period when the related expenses are incurred, services performed, or the tangible capital assets are acquired, thereby extinguishing the related liability.

**1. Significant accounting policies (continued)**

**(f) Development cost charges**

Development cost charges are amounts which are restricted by government legislation or agreement with external parties. When qualifying expenditures are incurred development cost charges are recognized as revenue in amounts which equal the associated expenses.

**(g) Cash and cash equivalents**

Cash and cash equivalents include short-term, highly liquid investments with a term to maturity of 90 days or less at acquisition.

**(h) Deposits and repayments**

Receipts restricted by third parties are deferred and recorded as deposits and are refundable under certain circumstances. Deposits and prepayments are recognized as revenue when qualifying expenditures are incurred.

**(i) Employee future benefits**

The District and its employees make contributions to the Municipal Pension Plan. These contributions are expensed as incurred.

Sick leave and other benefits are available to the District's employees. The costs of these benefits are estimated based on accumulated sick leave and best estimates of future usage and expected future salary and wage increases. The obligations under these benefit plans are accrued based on projected benefits as the employees render services necessary to earn the future benefits.

**(j) Investment income**

Investment income is reported as revenue in the period earned. When required by the funding government or related Act, investment income earned on deferred revenue, development cost charges and deposits and prepayments is added to the investment and forms part of the liability balance.

**(k) Debt**

Debt is recorded net of related payments and actuarial earnings.

**(l) Non-financial assets**

Non-financial assets are not available to discharge existing liabilities and are held for use in the provision of services. They have useful lives extending beyond the current year and are not intended for sale in the ordinary course of operations.

**a. Tangible capital assets**

Tangible capital assets are recorded at cost which includes amounts that are directly attributable to the acquisition, construction, development, or betterment of the asset. The cost, less residual value, of the tangible capital assets, excluding land, are amortized on a straight-line basis over their estimated useful lives as follows:

Asset	Useful life - years
Buildings	10 - 60
Vehicles and Equipment	5 - 25
Other structures	15 - 50
Roads	20 - 60
Drainage structures	30 - 50
Water structures	10 - 50
Sewer structures	10 - 50

**1. Significant accounting policies (continued)**

Amortization is charged annually, including the year of acquisition and disposal. Assets under construction are not amortized until the asset is available for productive use.

Tangible capital assets are written down when conditions indicate that they no longer contribute to the District's ability to provide goods and services or when the value of the future economic benefits associated with the asset are less than the book value of the asset.

- b. Contributions of tangible capital assets  
Tangible capital assets received as contributions are recorded at their fair value at the date of receipt and are recorded as revenue.
- c. Natural resources  
Natural resources that have not been purchased are not recognized as assets in the consolidated financial statements.
- d. Works of art and cultural historic assets  
Works of art and cultural and historic assets are not recorded as assets in these consolidated financial statements.
- e. Interest capitalization  
The District does not capitalize interest costs associated with the acquisition or construction of a tangible capital asset.
- f. Leased tangible capital assets  
Leases which transfer substantially all the benefits and risks incidental to ownership of property are accounted for as operating leases and the related payments are charged to expenses as incurred.
- g. Inventory of supplies  
Inventory of supplies held for consumption are recorded at lower of cost and replacement cost.

**(m) Contaminated sites**

A liability for remediation of contaminated site is recognized at the best estimate of the amount required to remediate the contaminated site when contamination exceeding an environmental standard exists, the District is either directly responsible or accepts the responsibility, it is expected that future economic benefits will be given up, and a reasonable estimate of the amount is determinable. The best estimate of the liability includes all costs directly attributable to remediation activities and is reduced by expected net recoveries based on information available at December 31, 2022.

At each financial reporting date, the District reviews the carrying amount of the liability. Any revisions required to the amount previously recognized is accounted for in the period revisions are made. The District continues to recognize the liability until it is settled or otherwise extinguished. Disbursements made to settle the liability are deducted from the reported liability when made. As at December 31, 2022, the District has not recorded any liability for contaminated sites as no such sites exist.

**(n) Use of estimates**

The preparation of the financial statements requires management to make estimates and assumptions that affect the reported amount of assets and liabilities, and disclosure of contingent assets and liabilities at the date of the financial statements and reported amounts of revenues and expenses during the period. Significant areas requiring the use of management estimates relate to the collectability of accounts receivable, accrued liabilities, employee future benefits, provisions for contingencies and amortization, useful lives, and salvage values for determining tangible capital asset values. Actual results could differ from these estimates.

**(o) Recent accounting pronouncements**

PS 3280 Asset Retirement Obligations, issued August 2018, establishes standards for recognition, measurement, presentation and disclosure of legal obligations associated with the retirement of tangible capital assets and is effective for the District as of January 1, 2023. A liability will be recognized when, as at the financial reporting date:

- There is a legal obligation to incur retirement costs in relation to a tangible capital asset;
- The past transaction or event giving rise to the liability has occurred;
- It is expected that future economic benefits will be given up; and
- A reasonable estimate of the amount can be made.

Liabilities are recognized for statutory, contractual or legal obligations associated with the retirement of tangible capital assets when those obligations result from the acquisition, construction, development or normal operation of the assets. The obligations are measured initially at fair value, determined using present value methodology, and the resulting costs capitalized into the carrying amount of the related tangible capital asset. In subsequent periods, the liability is adjusted for accretion and any changes in the amount or timing of the underlying future cash flows. The capitalized asset retirement cost is amortized on the same basis as the related asset and accretion expense is included in the Statement of Operations.

Management is in the process of assessing the impact of adopting this standard on the District's financial results.

**2. Investments**

Investments include funds invested in Guaranteed Investment Certificates and Money Market funds with CIBC Wood Gundy and the Municipal Finance Authority of B.C. The investments are carried at market value which is equal to the carrying value.

**3. Accounts receivable**

	2022	2021
Property taxes	\$ 342,898	\$ 147,796
Due from other governments	250,428	39,425
User fee and other	1,378,844	333,218
	<b>\$ 1,972,170</b>	<b>\$ 520,439</b>



**District of Ucluelet**  
**Notes to the Consolidated Financial Statements**  
**For the year ended December 31, 2022**

**4. Investment in Government Business Enterprise**

The Barkley Community Forest Limited Partnership is a limited partnership owned by the District and Toquaht Nation as limited partners and Barkley Community Forest Corporation as the general partner. The objective and purpose of the partnership is to hold one or more Community Forest Agreements and to carry on such business and activities as may be desirable and permitted under the Community Forest Agreements.

The following table provides condensed supplementary financial information for the limited partnership at December 31, 2022.

	2022	2021
<b>Financial position</b>		
Assets	\$ 6,224,737	\$ 4,519,020
Liabilities		
Current	\$ 631,950	\$ 600,746
Silviculture accrual	559,082	471,532
	1,191,032	1,072,278
Equity		
Retained earnings	5,033,705	3,446,742
	\$ 6,224,737	\$ 4,519,020
<b>Operations</b>		
Revenue	\$ 2,700,927	\$ 2,588,909
Expenses	379,965	618,778
	\$ 2,320,962	\$ 1,970,131

The District's share of income from the government business enterprise was a total of \$1,160,481 (2021 - \$985,066). During 2022, the District received \$367,000 (2021 - nil) dividends from the government business enterprise, which was recorded as a reduction in its investment. No other transactions occurred between the two entities.

**5. Accounts payable and accrued liabilities**

	2022	2021
Trade accounts payable	\$ 522,121	\$ 490,016
Salaries and wages payable	110,748	118,041
Employee future benefits	113,362	112,414
Due to other governments	40,472	74,901
Accrued interest	16,973	16,973
	\$ 803,676	\$ 812,345

**6. Refundable deposits**

	2022	2021
Damage deposits	\$ 127,850	\$ 113,150
Developer performance deposits	64,760	107,914
	\$ 192,610	\$ 221,064

**District of Ucluelet**  
**Notes to the Consolidated Financial Statements**  
**For the year ended December 31, 2022**

**7. Deferred revenue**

Deferred revenue consists of the following balances:

	Opening balance	Interest	Receipts	Revenue Recognized	Ending balance
Resort Municipality Initiative	\$ 1,058,347	\$ 16,565	\$ 211,671	\$ -	\$ 1,286,584
Other	1,092,950	-	12,367	19,271	1,086,046
	\$ 2,151,297	\$ 16,565	\$ 224,038	\$ 19,271	\$ 2,372,629

**8. Development cost charges**

Development cost charges represent funds received from developers and deposited into a separate fund for capital expenditures. The District records these funds as a liability upon receipt which is then recognized as revenue when the related costs are incurred.

	Opening balance	Interest	Receipts	Revenue recognized	Ending balance
Roads	\$ 121,978	\$ 1,006	\$ 30,756	\$ -	\$ 153,741
Storm water	210,885	1,965	-	144,469	68,381
Sewer	275,525	1,917	15,633	-	244,189
Water	203,441	1,699	32,930	-	238,070
Parks	226,640	2,594	23,515	235,300	66,334
	\$ 1,038,469	\$ 9,181	\$ 102,834	\$ 379,769	\$ 770,715

**9. Equipment financing**

The District is party to two equipment loan financed through the Municipal Finance Authority for the acquisition of vehicles. The loans have a term of five years and bear interest at a rate of 1.525% and 2.11%. The vehicles under this loan have a carrying value of \$150,399 (2021 - \$166,771) and are recorded as non-financial assets in the consolidated financial statements.

Principal payments on the debt for the next five years are as follows:

2023	\$ 104,066
2024	100,892
2025	90,043
2026	68,329
2027	70,714

**District of Ucluelet**  
**Notes to the Consolidated Financial Statements**  
**For the year ended December 31, 2022**

**10. Debt**

The District obtains debenture debt through the Municipal Finance Authority (MFA), pursuant to security issuing bylaws under authority of the Local Government Act, to finance capital expenditures.

	Interest Rate	Original Amount	Repayments and actuarial earnings	Balance 2022	Balance 2021
MFA issue 1074	2.90%	\$ 1,948,000	\$ 633,440	\$ 1,314,560	\$ 1,386,411
MFA issue 1195	2.65%	475,000	135,591	339,409	368,154
		\$ 2,423,000	\$ 769,031	\$ 1,653,969	\$ 1,754,565

As a condition of the borrowing through MFA, a portion of the debenture proceeds is retained by the MFA as a debt reserve fund. As at December 31, 2022, the cash balance of the District's debt reserve funds was \$31,465 (2021 - \$30,778). Debt reserve funds are not recorded elsewhere in the consolidated financial statements.

The loan agreements with the Alberni-Clayoquot Regional District and the MFA provide that, if at any time the scheduled payments provided for in the agreements are not sufficient to meet the MFA's obligations in respect to such borrowings, the resulting deficiency becomes a liability of the District.

Principal payments on debt for the next five years are as follows:

2023	\$ 77,734
2024	77,734
2025	77,734
2026	77,734
2027	77,734

Interest paid during the year was \$41,936 (2021 - \$76,610).

**11. Tangible capital assets****(a) Contributed tangible capital assets**

Contributed tangible capital assets of nil (2021 – nil) were recognized during the year.

**(b) Tangible capital assets disclosed at nominal values**

Where an estimate of fair value could not be made, the tangible capital asset has been recognized at a nominal value.

**(c) Write-down of tangible capital assets**

No write-down of tangible capital assets occurred during the year.

**(d) Work in progress**

During the year there were net transfers from work in progress of \$219,997 (2021 - \$3,348,700). Amortization of work in progress commences in the year the asset is transferred to tangible capital assets and is put into service.

**12. Accumulated surplus**

Accumulated surplus consists of individual fund surplus and reserve funds as follows:

	2022	2021
Investment in tangible capital assets	\$ 39,068,757	\$ 39,080,774
Reserves (Note 13)	6,898,234	6,258,399
Unrestricted surplus	7,193,698	5,735,722
	\$ 53,160,689	\$ 51,074,945

**13. Community Works Fund and COVID-19 Safe Restart Fund**

The Community Works Fund (Gas Tax) is provided by the Government of Canada. The use of the funding is established by a funding agreement between the District and the Union of British Columbia Municipalities. Gas Tax funding may be used toward designated public transit, community energy, water, wastewater, solid waste, and capacity building projects, as specified in the funding agreements.

	2022	2021
Opening balance of unspent funding	\$ 1,279,120	\$ 1,250,929
Add: funding received during the year	133,449	260,800
Add: interest	18,546	5,196
Less: amount spent on projects	(49,067)	(237,885)
	\$ 1,382,048	\$ 1,279,120

The COVID-19 Safe Restart Grant for Local Governments was provided to local governments to assist with the increased operating costs and revenue short-falls as a result of the COVID-19 pandemic. The COVID-19 Safe Restart Grant may be used towards specific eligible costs for funding such as addressing revenue short-falls, facility reopening and operating costs, emergency planning and response costs, bylaw enforcement and protective services, computer and other technology costs, and services for vulnerable persons.

The District of Ucluelet received \$764,000 in COVID-19 Safe Restart Grant in 2020 and reports the balance in a reserve fund until it is used to fund eligible costs.

	2022	2021
Opening balance of unspent funding	\$ 324,706	\$ 550,514
Add: funding received during the year	-	-
Add: interest	3,160	1,797
Less: amount spent on projects		
Lost recreation and other revenue	204,210	141,058
Temporary part-time janitor	-	14,660
RCMP reservist/Bylaw officer	-	37,888
Temporary sanitation labourer	-	33,999
	\$ 123,656	\$ 324,706

**District of Ucluelet  
Notes to the Consolidated Financial Statements  
For the year ended December 31, 2022**

**13. Taxation**

Taxation revenue, reported on the consolidated statement of operations, is comprised of the following:

	2022	2021
Municipal purposes		
General	\$ 3,603,249	\$ 3,083,572
Utility	46,114	46,114
Parcel taxes	244,860	244,695
Grants in lieu of taxes	58,745	52,402
	<b>3,952,968</b>	<b>3,426,783</b>
Taxes levied for other authorities		
School authorities	1,773,376	1,552,895
RCMP	199,724	180,265
Regional Hospital	183,149	171,241
Regional District	445,242	381,216
BC Assessment Authority	46,024	37,954
Vancouver Island Regional Library	133,373	122,169
Municipal Finance Authority	249	178
	<b>2,781,137</b>	<b>2,448,918</b>
	<b>\$ 6,734,105</b>	<b>\$ 5,872,701</b>

**14. Trust funds**

Trust funds administered by the District have not been included in the consolidated statement of financial position nor have their operations been included in the consolidated statement of operations. The District holds trust funds under British Columbia law for the purposes of maintaining a public cemetery.

	2022	2021
Opening balance	\$ 26,327	\$ 26,267
Funds used	(22,686)	
Interest earned	-	60
Ending balance	<b>\$ 3,641</b>	<b>\$ 26,327</b>

**15. Pension plan**

The District and its employees contribute to the Municipal Pension Plan (a jointly trustee pension plan). The board of trustees, representing plan members and employers, is responsible for administering the plan, including investment of assets and administration of benefits. The plan is a multi-employer defined benefit pension plan. Basic pension benefits are based on a formula. As at December 31, 2021, the plan has about 227,000 active members and approximately 118,000 retired members. Active members include approximately 42,000 contributors from local governments.

Every three years, an actuarial valuation is performed to assess the financial position of the plan and adequacy of plan funding. The actuary determines an appropriate combined employer and member contribution rate to fund the plan. The actuary's calculated contribution rate is based on the entry-age normal cost method, which produces the long-term rate of member and employer contributions sufficient to provide benefits for average future entrants to the plan. This rate may be adjusted for the amortization of any actuarial funding surplus and will be adjusted for the amortization of any unfunded actuarial liability.

The most recent actuarial valuation for the Municipal Pension Plan as at December 31, 2021, indicated a \$3,761 million funding surplus for basic pension benefits on a going concern basis.

**District of Ucluelet  
Notes to the Consolidated Financial Statements  
For the year ended December 31, 2022**

**15. Pension plan (continued)**

The District paid \$219,697 (2021 - \$207,974) for employer contributions to the plan in fiscal 2022.

The next valuation will be as at December 31, 2024, with results available on 2025.

Employers participating in the plan record their pension expense as the amount of employer contributions made during the fiscal year (defined contribution pension plan accounting). This is because the plan records accrued liabilities and accrued assets for the plan in aggregate, resulting in no consistent and reliable basis for allocating the obligation, assets and cost to individual employers participating in the plan.

**16. Commitments and contingencies**

- (a) Debt incurred by the District is issued by the Alberni Clayoquot Regional District (ACRD), under provisions of the Local Government Act, is a direct, joint and several liability of the ACRD and each member municipality within the ACRD, including the District.
- (b) In the normal course of a year, claims for damages are made against the District. The District records an accrual in respect to legal claims that are likely to be successful and for which a liability amount is reasonably determinable. The District is self-insured for general liability claims through membership in the Municipal Insurance Association of British Columbia. Under this program, member municipalities are to share jointly for general liability claims against any member in excess of \$5,000. Should the Association pay out claims in excess of premiums received, it is possible that the District, along with the other participants, would be required to contribute towards the deficit.
- (c) The District has entered into two agreements during the year. Under the terms of these contracts, the District is committed to costs of \$1,000,000 related to Amphitrite Point work and \$1,138,000 related to the Village Green revitalization project.

**17. Budget**

The budget presented in these consolidated financial statements includes both operating and capital budgets. The District of Ucluelet budget was approved by Council on April 26, 2022, with the adoption of the Five-Year Financial Plan (2022 – 2026) Bylaw No 1307, 2022. The chart below reconciles the approved budget to the budget figures reported in these financial statements. Cemetery expenses are included in the budget but excluded from the annual surplus because these funds are held in trust and not reported in the consolidated financial statements of the District (Note 15).

	2022 Budget
Consolidated Budgeted Surplus, per District of Ucluelet Financial Plan Bylaw 1307	\$ -
Add	
Acquisition of tangible capital assets	8,281,516
Debt repayment	140,564
Transfers to reserves	1,122,406
Net cemetery expenses	(9,566)
Less	
Proceeds of borrowing	(350,000)
Transfers from reserves	(4,171,502)
Amortization	(1,168,995)
Consolidated Budgeted Deficit, per Consolidated Statement of Operations	<b>\$ 3,844,423</b>

**District of Ucluelet  
Notes to the Consolidated Financial Statements  
For the year ended December 31, 2022**

**18. Segmented information**

The District is a diversified municipal organization that provides a wide range of services to its citizens. District services are provided by departments and their activities reported separately. Certain functions that have been separately disclosed in the segmented information, along with the services they provide, are as follows:

**General government services**

The general government operations provide the functions of corporate administration and legislative services and any other functions categorized as non-departmental.

**Protective services**

Protective services are comprised of three different functions, including the District's emergency management agency, fire, and regulatory services. The emergency management agency prepares the District to be more prepared and can respond to, recover from, and be aware of, the devastating effects of a disaster or major catastrophic event that will impact the community. The fire department is responsible for providing critical, life-saving services in preventing or minimizing the loss of life and property from fire and natural or man-made emergencies. The mandate of the regulatory services function is to promote, facilitate and enforce general compliance with the provisions of bylaws that pertain to the health, safety and welfare of the community and provide a full range of planning services related to zoning, development permits, variance permits, and current regulatory issues.

**Transportation services**

Transportation services is responsible for a wide variety of transportation functions such as roads and streets. As well, services are provided around infrastructure, transportation planning, pedestrian and cycling issues, harbour facilities, and on-street parking regulations, including street signs and painting.

**Planning and environmental services**

Planning works to achieve the District's community planning goals through the official community plan, and other policy initiatives. Environmental services were established to assist the Emergency, Planning, Public Works, and Recreation Departments with programs associated with the maintenance or improvement of the natural ecosystem.

**Recreation and cultural services**

Parks is responsible for the maintenance and development of all park facilities. Cultural services facilitate the provision of recreation and wellness programs and services.

**Water and Sewer utilities**

The water and sewer utilities operate and distribute the water and sewer networks. They are responsible for the construction and maintenance of the water and sewer distribution systems, including mains and pump stations.

The accounting policies used in these segments are consistent with those followed in the preparation of the consolidated financial statements as disclosed in Note 1. Taxation revenue is recognized as general government revenue and has not been allocated to other segments.

**Schedule 1**

**District of Ucluelet  
Consolidated Schedule of Tangible Capital Assets  
Year ended December 31, 2022**

	Land	Buildings	Vehicles and equipment	Other structures	Roads	Drainage structures	Water structures	Sewer Structures	Work in progress	Total
<b>2022</b>										
<b>Cost</b>										
Opening balance	\$ 14,718,568	\$ 11,029,120	\$ 3,420,037	\$ 3,820,424	\$ 8,924,083	\$ 1,609,012	\$ 6,511,551	\$ 11,815,251	\$ 872,943	\$ 62,720,989
Add: Additions	-	39,624	321,717	30,091	-	95,490	9,434	320,465	651,177	1,467,998
Less: Disposals	-	-	-	-	-	-	-	-	-	-
Less: Write-downs	-	-	-	-	-	-	-	-	-	-
Transfers	-	-	9,700	20,539	-	-	189,758	-	(219,997)	-
Closing balance	14,718,568	11,068,744	3,751,454	3,871,054	8,924,083	1,704,502	6,710,743	12,135,716	1,304,123	64,188,987
<b>Accumulated Amortization</b>										
Opening Balance	-	3,311,932	2,271,140	2,336,255	4,440,956	795,281	3,281,129	5,305,136	-	21,741,829
Add: Amortization	-	221,528	141,630	176,171	214,454	38,991	219,363	278,254	-	1,290,391
Less: Write-downs	-	-	-	-	-	-	-	-	-	-
Less: Disposals	-	-	-	-	-	-	-	-	-	-
Ending Balance	-	3,533,460	2,412,770	2,512,426	4,655,410	834,272	3,500,492	5,583,390	-	23,032,220
<b>Net Book Value</b>	<b>\$ 14,718,568</b>	<b>\$ 7,535,284</b>	<b>\$ 1,338,684</b>	<b>\$ 1,358,628</b>	<b>\$ 4,268,673</b>	<b>\$ 870,230</b>	<b>\$ 3,210,251</b>	<b>\$ 6,552,326</b>	<b>\$ 1,304,123</b>	<b>\$ 41,156,769</b>
<b>2021</b>										
<b>Cost</b>										
Opening balance	\$ 14,718,568	\$ 11,014,552	\$ 3,438,325	\$ 3,674,962	\$ 8,041,384	\$ 1,609,012	\$ 6,218,483	\$ 9,188,270	\$ 3,821,425	\$ 61,724,981
Add: Additions	-	14,568	-	143,887	323,215	-	108,277	24,131	400,218	1,014,296
Less: Disposals	-	-	(18,288)	-	-	-	-	-	-	(18,288)
Less: Write-downs	-	-	-	-	-	-	-	-	-	-
Transfers	-	-	-	1,575	559,484	-	184,791	2,602,850	(3,348,700)	-
Closing balance	14,718,568	11,029,120	3,420,037	3,820,424	8,924,083	1,609,012	6,511,551	11,815,251	872,943	62,720,989
<b>Accumulated Amortization</b>										
Opening Balance	-	3,082,699	2,137,360	2,166,101	4,227,071	758,697	3,066,289	5,021,073	-	20,459,290
Add: Amortization	-	229,233	151,955	170,154	213,885	36,584	214,840	284,063	-	1,300,714
Less: Write-downs	-	-	(18,175)	-	-	-	-	-	-	(18,175)
Less: Disposals	-	-	-	-	-	-	-	-	-	-
Ending Balance	-	3,311,932	2,271,140	2,336,255	4,440,956	795,281	3,281,129	5,305,136	-	21,741,829
<b>Net Book Value</b>	<b>\$ 14,718,568</b>	<b>\$ 7,717,188</b>	<b>\$ 1,148,897</b>	<b>\$ 1,484,169</b>	<b>\$ 4,483,127</b>	<b>\$ 813,731</b>	<b>\$ 3,230,422</b>	<b>\$ 6,510,115</b>	<b>\$ 872,943</b>	<b>\$ 40,979,160</b>



Schedule 2

**District of Ucluelet**  
**Consolidated Schedule of Segment Disclosure by Service**  
*Year ended December 31, 2022*

	General Government Services	Protective Services	Transportation Services	Planning and Environmental Services	Recreation and Cultural Services	Water Utility	Sewer Utility	2022 Actual
<b>Revenue</b>								
Taxation, net	\$ 3,708,108	\$ -	\$ -	\$ -	\$ -	\$ 118,720	\$ 126,140	\$ 3,952,968
Sale of services	16,880	-	470,365	108,365	406,096	703,093	466,630	2,171,429
Grants and contributions	880,574	29,990	7,000	-	528,566	85,925	-	1,532,055
Investment income	162,587	-	-	-	-	-	-	162,587
Recognition of DCC	144,469	-	-	-	-	-	235,300	379,769
Other revenue from own sources	1,226,509	36,030	-	237,440	740,359	50,293	-	2,290,631
	<b>6,139,127</b>	<b>66,020</b>	<b>477,365</b>	<b>345,805</b>	<b>1,675,021</b>	<b>958,031</b>	<b>828,070</b>	<b>10,489,439</b>
<b>Expenses</b>								
Salaries and wages	\$ 889,636	\$ 381,636	\$ 363,321	\$ 284,559	\$ 989,893	\$ 255,314	\$ 191,308	\$ 3,355,667
Contracted services	77,852	36,958	440,713	42,630	164,289	176,476	84,781	1,023,699
Materials and supplies	70,373	169,979	231,219	9,035	281,130	113,396	65,322	940,454
Interest and other	344,266	120,178	46,752	12,632	744,182	42,546	2,687	1,313,243
Audit and legal	90,414	-	-	33,586	-	-	-	124,000
Telephone and utilities	65,681	39,522	85,795	-	51,766	63,620	52,857	359,241
Amortization	-	-	395,075	-	397,699	219,363	275,254	1,287,391
	<b>1,538,222</b>	<b>748,273</b>	<b>1,562,875</b>	<b>382,442</b>	<b>2,628,959</b>	<b>870,715</b>	<b>672,209</b>	<b>8,403,695</b>
<b>Annual surplus (deficit)</b>	<b>\$ 4,600,905</b>	<b>\$ (682,253)</b>	<b>\$ (1,085,510)</b>	<b>\$ (36,637)</b>	<b>\$ (953,938)</b>	<b>\$ 87,316</b>	<b>\$ 155,861</b>	<b>\$ 2,085,744</b>

	General Government Services	Protective Services	Transportation Services	Planning and Environmental Services	Recreation and Cultural Services	Water Utility	Sewer Utility	2021 Actual
<b>Revenue</b>								
Taxation, net	\$ 3,182,088	\$ -	\$ -	\$ -	\$ -	\$ 118,640	\$ 126,055	\$ 3,426,783
Sale of services	7,030	-	401,429	29,253	287,234	633,661	479,837	1,838,444
Grants and contributions	695,871	25,300	7,000	-	333,281	-	-	1,061,452
Investment income	48,562	-	-	-	-	-	-	48,562
Other revenue from own sources	1,058,153	26,532	-	228,378	545,737	42,609	2,393	1,903,802
	<b>4,991,704</b>	<b>51,832</b>	<b>408,429</b>	<b>257,631</b>	<b>1,166,252</b>	<b>794,910</b>	<b>608,285</b>	<b>8,279,043</b>
<b>Expenses</b>								
Salaries and wages	\$ 759,004	\$ 231,990	\$ 401,967	\$ 304,211	\$ 920,876	\$ 253,955	\$ 165,226	\$ 3,037,229
Contracted services	73,056	35,595	322,785	26,038	148,982	78,933	123,319	808,708
Materials and supplies	47,398	169,934	174,469	9,024	179,938	74,208	75,072	730,043
Interest and other	282,015	94,391	41,908	59,697	615,003	22,732	3,396	1,119,142
Audit and legal	56,922	-	-	53,885	-	-	-	110,807
Telephone and utilities	59,887	32,619	88,751	-	51,921	64,714	60,392	358,284
Amortization	-	-	402,423	-	399,388	214,841	284,062	1,300,714
	<b>1,278,282</b>	<b>564,529</b>	<b>1,432,303</b>	<b>452,855</b>	<b>2,316,108</b>	<b>709,383</b>	<b>711,467</b>	<b>7,464,927</b>
<b>Annual surplus (deficit)</b>	<b>\$ 3,713,422</b>	<b>\$ (512,697)</b>	<b>\$ (1,023,874)</b>	<b>\$ (195,224)</b>	<b>\$ (1,149,856)</b>	<b>\$ 85,527</b>	<b>\$ (103,182)</b>	<b>\$ 814,116</b>



# Permissive Tax Exemptions

2022 Annual Report Joseph Rotenberg, Manager of Corporate Services


Organization Name	2022 Municipal Taxes
Christ Community Church of Ucluelet	\$6,747.01
Bishop of Victoria	\$6,258.57
Ucluelet Congregation of Jehovah's Witnesses	\$4,598.87
Food Bank on the Edge	\$1,208.28
Westcoast Community Resources Centre	\$1,642.65
Westcoast Community Resources Centre	\$1,584.59
Nuu-Chah-Nulth First Nations	\$559.20
Ministry of Child and Family Development	\$559.20
Vancouver Island Regional Library	\$3,782.60
Ucluelet Daycare Society	\$1,472.03
Army & Navy Airforce Veterans - Ucluelet Unit #293	\$2,964.40
Ucluelet Aquarium Society	\$23,975.77
KUU-US Crisis Line Society	\$1,601.68
Ucluelet Consumers Co-operative	\$4,463.63



# 2022 Annual Report

## Administration Office

200 Main Street, Ucluelet BC, V0R 3A0

 (250) 726-7744

 [info@ucluelet.ca](mailto:info@ucluelet.ca)



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## STAFF REPORT TO COUNCIL

Council Meeting: July 18, 2023  
500 Matterson Drive, Ucluelet, BC V0R 3A0

**FROM:** DUANE LAWRENCE, CAO/FINANCE OFFICER

**FILE NO:** 1880-20 SOFI

**SUBJECT:** 2022 STATEMENT OF FINANCIAL INFORMATION REPORT

**REPORT NO:** 23-100

**ATTACHMENT(S):** APPENDIX A - 2022 STATEMENT OF FINANCIAL INFORMATION

### RECOMMENDATION(S):

**THAT** Council approve the District of Ucluelet 2022 Statement of Financial Information as attached to the July 18, 2023 Staff Report Number 23-100.

### BACKGROUND:

Annually staff prepare the Statement of Financial Information for the municipality which must be approved by Council and made available to the public. The attached SOFI report includes the required financial statements and disclosures as outlined below.

- Audited financial statements;
- Schedule of remuneration and expenses for all Councilor's;
- Schedule of remuneration and expenses for each employee that exceeds \$75,000;
- Schedule of suppliers of goods and services;
- Statement of payments of grants; and,
- A signature of approval.

Section 2 of the *Financial Information Act* requires a SOFI be prepared by a municipality and schedule 1, section 9(2) *Financial Information Regulation* requires that the SOFI be approved by its Council and by the officer assigned responsibility for financial administration under the *Community Charter*.

**Respectfully submitted:** DUANE LAWRENCE, CAO/FINANCE OFFICER







DISTRICT OF UCLUELET

2022

STATEMENT OF  
FINANCIAL INFORMATION



## THE CORPORATION OF THE DISTRICT OF UCLUELET

2022 Statement of Financial Information

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## STATEMENT OF FINANCIAL INFORMATION APPROVAL

The undersigned, as authorized by the Financial Information Regulation, Schedule 1, subsection 9(2), approves all the statements and schedules included in this Statement of Financial Information, produced by the Financial Information Act.



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Duane Lawrence  
Financial Officer



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Marilyn McEwen  
Mayor

Dated this 27<sup>th</sup> day of June, 2023



**Management's Responsibility**

The accompanying consolidated financial statements of the District of Ucluelet (the "District") are the responsibility of management and have been prepared in compliance with applicable legislation, and in accordance with generally accepted accounting standards for local governments as established by the Public Sector Accounting Board of the Chartered Professional Accountants of Canada. A summary of significant accounting policies is described in Note 1 to the consolidated financial statements. The preparation of the consolidated financial statements necessarily involves the use of estimates based on management's judgement, particularly when transactions affecting the current accounting period cannot be finalized with certainty until future periods.

The District's management maintains a system of internal controls designed to provide reasonable assurance that assets are safeguarded, transactions are properly authorized and recorded in compliance with legislative and regulatory requirements, and reliable financial information is available on a timely basis for preparation of the consolidated financial statements. These systems are monitored and evaluated by management.

Mayor and Council meet with management and the external auditor to review the consolidated financial statements and discuss any significant financial reporting or internal control matters prior to their approval of the consolidated financial statements.

The consolidated financial statements have been audited by MNP LLP; independent external auditors appointed by the District. The accompanying Independent Auditor's Report outlines their responsibilities, the scope of their examination and their opinion on the District's consolidated financial statements.

June 27, 2023



Duane Lawrence  
Chief Financial Officer



## Independent Auditor's Report

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To the Mayor and Council of the District of Ucluelet:

### Qualified Opinion

We have audited the consolidated financial statements of the District of Ucluelet (the "District"), which comprise the consolidated statement of financial position as at December 31, 2022, and the consolidated statements of operations, changes in net financial assets and cash flows and related schedules for the year then ended, and notes to the consolidated financial statements, including a summary of significant accounting policies.

In our opinion, except for the possible effects of the matter described in the Basis for Qualified Opinion section of our report, the accompanying consolidated financial statements present fairly, in all material respects, the consolidated financial position of the District as at December 31, 2022, and the results of its consolidated operations, changes in its net debt and its consolidated cash flows for the year then ended in accordance with Canadian public sector accounting standards.

### Basis for Qualified Opinion

The District holds an investment in the Barkley Community Forest Limited Partnership. The audited financial statements of the Limited Partnership was not available as at the audit report date and our audit opinion has been qualified as a result. We were unable to determine whether any adjustments to the following line items were necessary as of December 31, 2022: Investment in Government Business Enterprise, Earnings from investment in Government Business Enterprise, annual surplus, and accumulated surplus.

We conducted our audit in accordance with Canadian generally accepted auditing standards. Our responsibilities under Statements section of our report. We are independent of the District in accordance with the ethical requirements that are those standards are further described in the Auditor's Responsibilities for the Audit of the Consolidated Financial relevant to our audit of the consolidated financial statements in Canada, and we have fulfilled our other ethical responsibilities in accordance with these requirements. We believe that the audit evidence we have obtained is sufficient and appropriate to provide a basis for our qualified opinion.

### Other Information

Management is responsible for the other information, consisting of an annual report, which is expected to be made available to us after the date of this auditor's report.

Our opinion on the consolidated financial statements does not cover the other information and we will not express any form of assurance conclusion thereon.

In connection with our audit of the consolidated financial statements, our responsibility is to read the other information identified above when it becomes available and, in doing so, consider whether the other information is materially inconsistent with the consolidated financial statements or our knowledge obtained in the audit or otherwise appears to be materially misstated.

When we read the annual report, if we conclude that there is a material misstatement therein, we are required to communicate the matter to those charged with governance.

### Responsibilities of Management and Those Charged with Governance for the Consolidated Financial Statements

Management is responsible for the preparation and fair presentation of the consolidated financial statements in accordance with Canadian public sector accounting standards, and for such internal control as management determines is necessary to enable the preparation of consolidated financial statements that are free from material misstatement, whether due to fraud or error.

MNP LLP

400 MNP Place, 345 Wallace Street, Nanaimo B.C., V9R 5B6

T: 250.753.8251 F: 250.754.3999



MNP.ca

In preparing the consolidated financial statements, management is responsible for assessing the District's ability to continue as a going concern, disclosing, as applicable, matters related to going concern and using the going concern basis of accounting unless management either intends to liquidate the District or to cease operations, or has no realistic alternative but to do so.

Those charged with governance are responsible for overseeing the District's financial reporting process.

#### **Auditor's Responsibilities for the Audit of the Consolidated Financial Statements**

Our objectives are to obtain reasonable assurance about whether the consolidated financial statements as a whole are free from material misstatement, whether due to fraud or error, and to issue an auditor's report that includes our opinion. Reasonable assurance is a high level of assurance, but is not a guarantee that an audit conducted in accordance with Canadian generally accepted auditing standards will always detect a material misstatement when it exists. Misstatements can arise from fraud or error and are considered material if, individually or in the aggregate, they could reasonably be expected to influence the economic decisions of users taken on the basis of these consolidated financial statements.

As part of an audit in accordance with Canadian generally accepted auditing standards, we exercise professional judgment and maintain professional skepticism throughout the audit. We also:

- Identify and assess the risks of material misstatement of the consolidated financial statements, whether due to fraud or error, design and perform audit procedures responsive to those risks, and obtain audit evidence that is sufficient and appropriate to provide a basis for our opinion. The risk of not detecting a material misstatement resulting from fraud is higher than for one resulting from error, as fraud may involve collusion, forgery, intentional omissions, misrepresentations, or the override of internal control.
- Obtain an understanding of internal control relevant to the audit in order to design audit procedures that are appropriate in the circumstances, but not for the purpose of expressing an opinion on the effectiveness of the District's internal control.
- Evaluate the appropriateness of accounting policies used and the reasonableness of accounting estimates and related disclosures made by management.
- Conclude on the appropriateness of management's use of the going concern basis of accounting and, based on the audit evidence obtained, whether a material uncertainty exists related to events or conditions that may cast significant doubt on the District's ability to continue as a going concern. If we conclude that a material uncertainty exists, we are required to draw attention in our auditor's report to the related disclosures in the consolidated financial statements or, if such disclosures are inadequate, to modify our opinion. Our conclusions are based on the audit evidence obtained up to the date of our auditor's report. However, future events or conditions may cause the District to cease to continue as a going concern.
- Evaluate the overall presentation, structure and content of the consolidated financial statements, including the disclosures, and whether the consolidated financial statements represent the underlying transactions and events in a manner that achieves fair presentation.
- Obtain sufficient appropriate audit evidence regarding the financial information of the entities or business activities within the District to express an opinion on the consolidated financial statements. We are responsible for the direction, supervision and performance of the group audit. We remain solely responsible for our audit opinion.

We communicate with those charged with governance regarding, among other matters, the planned scope and timing of the audit and significant audit findings, including any significant deficiencies in internal control that we identify during our audit.

Nanaimo, British Columbia

June 27, 2023

**MNP** LLP

Chartered Professional Accountants

**MNP** LLP



**District of Ucluelet**  
**Consolidated Statement of Financial Position**  
*As at December 31, 2022*

	<b>2022</b>	<b>2021</b>
<b>Financial Assets</b>		
Cash and cash equivalents	\$ 2,244,260	\$ 5,701,168
Investments (Note 2)	11,462,768	8,242,966
Accounts receivable (Note 3)	1,972,170	520,439
Investment in Government Business Enterprise (Note 4)	2,516,852	1,723,371
	<b>\$ 18,196,050</b>	<b>\$ 16,187,944</b>
<b>Financial Liabilities</b>		
Accounts payable and accrued liabilities (Note 5)	\$ 803,676	\$ 812,345
Refundable deposits (Note 6)	192,610	221,064
Deferred revenue (Note 7)	2,372,629	2,151,297
Prepaid property taxes and utilities	100,074	75,526
Development cost charges (Note 8)	770,715	1,038,469
Equipment financing (Note 9)	434,044	143,825
Debt (Note 10)	1,653,969	1,754,565
	<b>\$ 6,327,717</b>	<b>\$ 6,197,091</b>
<b>Net Financial Assets</b>	<b>\$ 11,868,333</b>	<b>\$ 9,990,853</b>
<b>Non-Financial Assets</b>		
Tangible capital assets (Note 11, Schedule 1)	\$ 41,156,769	\$ 40,979,160
Inventory of supplies	20,944	20,944
Prepaid expenses	114,643	83,988
	<b>\$ 41,292,356</b>	<b>\$ 41,084,092</b>
<b>Accumulated Surplus (Note 12)</b>	<b>\$ 53,160,689</b>	<b>\$ 51,074,945</b>
<b>Commitments and contingencies (Note 17)</b>		

  
 Chief Administrative Officer

The accompanying notes are an integral part of these consolidated financial statements



**District of Ucluelet**  
**Consolidated Statement of Operations**

*For the year ended December 31, 2022*

	2022 Budget (Note 18)		2022		2021
<b>Revenue</b>					
Taxation, net (Note 14)	\$ 3,949,711	\$	<b>3,952,968</b>	\$	3,426,783
Sale of services	2,147,463		<b>2,171,429</b>		1,838,444
Other revenue from own sources	-		<b>389,791</b>		372,999
Investment income	85,300		<b>162,587</b>		48,562
Grants and contributions	5,091,713		<b>1,532,055</b>		1,061,452
DCC revenue	940,056		<b>379,769</b>		-
Ministry and Regional District Tax	484,000		<b>740,359</b>		545,737
Earnings from Investment in Government Business Enterprise (Note 4)	-		<b>1,160,481</b>		985,066
	<b>\$ 12,698,243</b>	<b>\$</b>	<b>10,489,439</b>	<b>\$</b>	<b>8,279,043</b>
<b>Expenses</b>					
General government services	\$ 3,150,038	\$	<b>1,538,222</b>	\$	1,278,282
Protective services	403,648		<b>748,273</b>		564,529
Transportation services	1,113,551		<b>1,562,875</b>		1,432,303
Planning and environmental services	754,902		<b>382,442</b>		452,855
Recreation and cultural services	1,847,636		<b>2,628,959</b>		2,316,108
Water utility	950,583		<b>870,715</b>		709,383
Sewer utility	633,462		<b>672,209</b>		711,467
	<b>\$ 8,853,820</b>	<b>\$</b>	<b>8,403,695</b>	<b>\$</b>	<b>7,464,927</b>
<b>Annual surplus</b>	<b>3,844,423</b>		<b>2,085,744</b>		<b>814,116</b>
<b>Accumulated surplus, Beginning of the year</b>	<b>51,074,945</b>		<b>51,074,945</b>		<b>50,260,829</b>
<b>Accumulated surplus, End of the year</b>	<b>\$ 54,919,368</b>	<b>\$</b>	<b>53,160,689</b>	<b>\$</b>	<b>51,074,945</b>

The accompanying notes are an integral part of these consolidated financial statements

**District of Ucluelet**  
**Consolidated Statement of Change in Net Financial Assets**  
*For the year ended December 31, 2022*

	<i>2022 Budget (Note 18)</i>	<b>2022</b>	<i>2021</i>
<b>Annual surplus</b>	\$ 3,844,423	\$ 2,085,744	\$ 814,116
Acquisition of tangible capital assets	(8,281,516)	(1,467,998)	(1,014,296)
Loss on disposal of tangible capital assets	-	-	113
Amortization of tangible capital assets	1,168,995	1,290,391	1,300,714
Change in prepaid expenses	-	(30,655)	(17,980)
<b>Increase (decrease) in Net Financial Assets</b>	(3,268,098)	<b>1,877,482</b>	1,082,667
<b>Net Financial Assets, Beginning of the year</b>	9,990,853	<b>9,990,853</b>	8,908,186
<b>Net Financial Assets, End of the year</b>	\$ 6,722,755	\$ <b>11,868,335</b>	\$ 9,990,853

The accompanying notes are an integral part of these consolidated financial statements

**District of Ucluelet**  
**Consolidated Statement of Cash Flows**  
*For the year ended December 31, 2022*

	2022	2021
<b>Operating Transactions</b>		
Annual surplus	\$ 2,085,744	\$ 814,116
Non-cash items included in surplus:		
Amortization of tangible capital assets	1,290,391	1,300,714
Loss on disposal of tangible capital assets	-	113
Earnings from investment in Government Business Enterprise	(1,160,481)	(985,066)
Actuarial adjustment on debt	(22,861)	(22,169)
	<b>\$ 2,192,793</b>	<b>\$ 1,107,708</b>
<b>Change in non-cash working capital balances related to operations</b>		
Accounts receivable	\$ (1,451,731)	\$ 196,196
Accounts payable and accrued liabilities	(8,670)	(877,314)
Refundable deposits	(28,455)	123,564
Deferred revenue	221,332	1,072,877
Prepaid property taxes and utilities	24,548	6,436
Development cost charges	(267,755)	213,526
Prepaid expenses	(30,655)	(17,980)
	<b>\$ 651,407</b>	<b>\$ 1,825,013</b>
<b>Capital Transactions</b>		
Acquisition of tangible capital assets	\$ (1,467,998)	\$ (1,014,296)
<b>Investment Transactions</b>		
Decrease (increase) in investments	\$ (3,219,802)	\$ (34,224)
Dividends received from Government Business Enterprise	367,000	-
	<b>(2,852,802)</b>	<b>(34,224)</b>
<b>Financing activities</b>		
Proceeds from equipment financing	\$ 350,000	\$ -
Debt repaid	(137,515)	(112,300)
	<b>\$ 212,485</b>	<b>\$ (112,300)</b>
Net change in cash and cash equivalents	<b>(3,456,908)</b>	<b>664,193</b>
Cash and cash equivalents, Beginning of the year	<b>5,701,168</b>	<b>5,036,975</b>
Cash and cash equivalents, End of the year	<b>\$ 2,244,260</b>	<b>\$ 5,701,168</b>

The accompanying notes are an integral part of these consolidated financial statements

**District of Ucluelet**  
**Notes to the Consolidated Financial Statements**  
**For the year ended December 31, 2022**

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The District of Ucluelet (the "District") is a municipality in the Province of British Columbia and operates under the provisions of the Local Government Act and the Community Charter of British Columbia. The District's principal activities include the provision of local government services to residents of the incorporated area.

**1. Significant accounting policies**

The consolidated financial statements of the District are prepared by management in accordance with Canadian public sector accounting standards, as recommended by the Public Sector Accounting Board (PSAB) of the Chartered Professional Accountants Canada. Significant accounting policies adopted by the District are as follows:

**(a) Reporting entity**

The consolidated financial statements reflect the combination of all the assets, liabilities, revenues, expenses, and accumulated surplus of the District. Inter-departmental balances and transactions have been eliminated.

The District's business partnerships, jointly owned and controlled by the District but not dependent on the District for their continuing operations, are included in the consolidated financial statements using the modified equity method.

The modified equity method of accounting is modified only to the extent that the business entity accounting principles are not adjusted to conform to those of the District. Thus, the District's investment in these entities is recorded at acquisition cost and is increased for the proportionate share of post-acquisition earnings and decreased by post acquisition losses and distributions received.

Entities accounted for by the modified equity basis include:

- Barkley Community Forest Limited Partnership (50% ownership)
- Ucluelet Economic Development Corporation (wholly owned)

The District administers certain trust assets on behalf of external parties which are excluded from the financial statements.

**(b) Basis of presentation**

The District follows the accrual method of accounting for revenues and expenses. Revenues are normally recognized in the year in which they are earned and measurable. Expenses are recognized as they are incurred and measurable as a result of receipt of goods or services and/or the creation of a legal obligation to pay.

**(c) Government transfers**

Government transfers are recognized in the consolidated financial statements as revenues in the period in which events giving rise to the transfer occur, providing the transfers are authorized, any eligibility criteria have been met, and reasonable estimates of the amounts can be made, except when and to the extent the transfer gives rise to an obligation that meets the definition of a liability.

**(d) Property tax revenue**

Property tax revenue is recognized on an accrual basis using the approved tax rates and the anticipated assessment related to the current year.

**(e) Deferred revenue**

Deferred revenue includes grants, contributions and other amounts received from third parties pursuant to legislation, regulation and agreement which may only be used in certain programs, in the completion of specific work, or for the purchase of tangible capital assets. In addition, certain user charges and fees are collected for which related services have yet to be performed. Revenue is recognized in the period when the related expenses are incurred, services performed, or the tangible capital assets are acquired, thereby extinguishing the related liability.

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District of Ucluelet  
Notes to the Consolidated Financial Statements  
For the year ended December 31, 2022

1. **Significant accounting policies** *(continued)*

- (f) **Development cost charges**  
Development cost charges are amounts which are restricted by government legislation or agreement with external parties. When qualifying expenditures are incurred development cost charges are recognized as revenue in amounts which equal the associated expenses.
- (g) **Cash and cash equivalents**  
Cash and cash equivalents include short-term, highly liquid investments with a term to maturity of 90 days or less at acquisition.
- (h) **Deposits and repayments**  
Receipts restricted by third parties are deferred and recorded as deposits and are refundable under certain circumstances. Deposits and prepayments are recognized as revenue when qualifying expenditures are incurred.
- (i) **Employee future benefits**  
The District and its employees make contributions to the Municipal Pension Plan. These contributions are expensed as incurred.  
  
Sick leave and other benefits are available to the District's employees. The costs of these benefits are estimated based on accumulated sick leave and best estimates of future usage and expected future salary and wage increases. The obligations under these benefit plans are accrued based on projected benefits as the employees render services necessary to earn the future benefits.
- (j) **Investment income**  
Investment income is reported as revenue in the period earned. When required by the funding government or related Act, investment income earned on deferred revenue, development cost charges and deposits and prepayments is added to the investment and forms part of the liability balance.
- (k) **Debt**  
Debt is recorded net of related payments and actuarial earnings.
- (l) **Non-financial assets**  
Non-financial assets are not available to discharge existing liabilities and are held for use in the provision of services. They have useful lives extending beyond the current year and are not intended for sale in the ordinary course of operations.

a. **Tangible capital assets**

Tangible capital assets are recorded at cost which includes amounts that are directly attributable to the acquisition, construction, development, or betterment of the asset. The cost, less residual value, of the tangible capital assets, excluding land, are amortized on a straight-line basis over their estimated useful lives as follows:

Asset	Useful life - years
Buildings	10 - 60
Vehicles and Equipment	5 - 25
Other structures	15 - 50
Roads	20 - 60
Drainage structures	30 - 50
Water structures	10 - 50
Sewer structures	10 - 50

**District of Ucluelet**  
**Notes to the Consolidated Financial Statements**  
**For the year ended December 31, 2022**

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**1. Significant accounting policies** *(continued)*

Amortization is charged annually, including the year of acquisition and disposal. Assets under construction are not amortized until the asset is available for productive use.

Tangible capital assets are written down when conditions indicate that they no longer contribute to the District's ability to provide goods and services or when the value of the future economic benefits associated with the asset are less than the book value of the asset.

- b. Contributions of tangible capital assets  
Tangible capital assets received as contributions are recorded at their fair value at the date of receipt and are recorded as revenue.
- c. Natural resources  
Natural resources that have not been purchased are not recognized as assets in the consolidated financial statements.
- d. Works of art and cultural historic assets  
Works of art and cultural and historic assets are not recorded as assets in these consolidated financial statements.
- e. Interest capitalization  
The District does not capitalize interest costs associated with the acquisition or construction of a tangible capital asset.
- f. Leased tangible capital assets  
Leases which transfer substantially all the benefits and risks incidental to ownership of property are accounted for as operating leases and the related payments are charged to expenses as incurred.
- g. Inventory of supplies  
Inventory of supplies held for consumption are recorded at lower of cost and replacement cost.

**(m) Contaminated sites**

A liability for remediation of contaminated site is recognized at the best estimate of the amount required to remediate the contaminated site when contamination exceeding an environmental standard exists, the District is either directly responsible or accepts the responsibility, it is expected that future economic benefits will be given up, and a reasonable estimate of the amount is determinable. The best estimate of the liability includes all costs directly attributable to remediation activities and is reduced by expected net recoveries based on information available at December 31, 2022.

At each financial reporting date, the District reviews the carrying amount of the liability. Any revisions required to the amount previously recognized is accounted for in the period revisions are made. The District continues to recognize the liability until it is settled or otherwise extinguished. Disbursements made to settle the liability are deducted from the reported liability when made. As at December 31, 2022, the District has not recorded any liability for contaminated sites as no such sites exist.

**(n) Use of estimates**

The preparation of the financial statements requires management to make estimates and assumptions that affect the reported amount of assets and liabilities, and disclosure of contingent assets and liabilities at the date of the financial statements and reported amounts of revenues and expenses during the period. Significant areas requiring the use of management estimates relate to the collectability of accounts receivable, accrued liabilities, employee future benefits, provisions for contingencies and amortization, useful lives, and salvage values for determining tangible capital asset values. Actual results could differ from these estimates.

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**District of Ucluelet**  
**Notes to the Consolidated Financial Statements**  
**For the year ended December 31, 2022**

(o) Recent accounting pronouncements

PS 3280 Asset Retirement Obligations, issued August 2018, establishes standards for recognition, measurement, presentation and disclosure of legal obligations associated with the retirement of tangible capital assets and is effective for the District as of January 1, 2023. A liability will be recognized when, as at the financial reporting date:

- There is a legal obligation to incur retirement costs in relation to a tangible capital asset;
- The past transaction or event giving rise to the liability has occurred;
- It is expected that future economic benefits will be given up; and
- A reasonable estimate of the amount can be made.

Liabilities are recognized for statutory, contractual or legal obligations associated with the retirement of tangible capital assets when those obligations result from the acquisition, construction, development or normal operation of the assets. The obligations are measured initially at fair value, determined using present value methodology, and the resulting costs capitalized into the carrying amount of the related tangible capital asset. In subsequent periods, the liability is adjusted for accretion and any changes in the amount or timing of the underlying future cash flows. The capitalized asset retirement cost is amortized on the same basis as the related asset and accretion expense is included in the Statement of Operations.

Management is in the process of assessing the impact of adopting this standard on the District's financial results.

**2. Investments**

Investments include funds invested in Guaranteed Investment Certificates and Money Market funds with CIBC Wood Gundy and the Municipal Finance Authority of B.C. The investments are carried at market value which is equal to the carrying value.

**3. Accounts receivable**

	2022	2021
Property taxes	\$ 342,898	\$ 147,796
Due from other governments	250,428	39,425
User fee and other	1,378,844	333,218
	<b>\$ 1,972,170</b>	<b>\$ 520,439</b>

District of Ucluelet  
Notes to the Consolidated Financial Statements  
For the year ended December 31, 2022

4. **Investment in Government Business Enterprise**

The Barkley Community Forest Limited Partnership is a limited partnership owned by the District and Toquaht Nation as limited partners and Barkley Community Forest Corporation as the general partner. The objective and purpose of the partnership is to hold one or more Community Forest Agreements and to carry on such business and activities as may be desirable and permitted under the Community Forest Agreements.

The following table provides condensed supplementary financial information for the limited partnership at December 31, 2022.

	2022	2021
<b>Financial position</b>		
Assets	\$ 6,224,737	\$ 4,519,020
Liabilities		
Current	\$ 631,950	\$ 600,746
Silviculture accrual	559,082	471,532
	1,191,032	1,072,278
Equity		
Retained earnings	5,033,705	3,446,742
	\$ 6,224,737	\$ 4,519,020
<b>Operations</b>		
Revenue	\$ 2,700,927	\$ 2,588,909
Expenses	379,965	618,778
	\$ 2,320,962	\$ 1,970,131

The District's share of income from the government business enterprise was a total of \$1,160,481 (2021 - \$985,066). During 2022, the District received \$367,000 (2021 - nil) dividends from the government business enterprise, which was recorded as a reduction in its investment. No other transactions occurred between the two entities.

5. **Accounts payable and accrued liabilities**

	2022	2021
Trade accounts payable	\$ 522,121	\$ 490,016
Salaries and wages payable	110,748	118,041
Employee future benefits	113,362	112,414
Due to other governments	40,472	74,901
Accrued interest	16,973	16,973
	\$ 803,676	\$ 812,345

6. **Refundable deposits**

	2022	2021
Damage deposits	\$ 127,850	\$ 113,150
Developer performance deposits	64,760	107,914
	\$ 192,610	\$ 221,064



**District of Ucluelet**  
**Notes to the Consolidated Financial Statements**  
**For the year ended December 31, 2022**

**7. Deferred revenue**

Deferred revenue consists of the following balances:

	Opening balance	Interest	Receipts	Revenue Recognized	Ending balance
Resort Municipality Initiative	\$ 1,058,347	\$ 16,565	\$ 211,671	\$ -	\$ 1,286,584
Other	1,092,950	-	12,367	19,271	1,086,046
	\$ 2,151,297	\$ 16,565	\$ 224,038	\$ 19,271	\$ 2,372,629

**8. Development cost charges**

Development cost charges represent funds received from developers and deposited into a separate fund for capital expenditures. The District records these funds as a liability upon receipt which is then recognized as revenue when the related costs are incurred.

	Opening balance	Interest	Receipts	Revenue recognized	Ending balance
Roads	\$ 121,978	\$ 1,006	\$ 30,756	\$ -	\$ 153,741
Storm water	210,885	1,965	-	144,469	68,381
Sewer	275,525	1,917	15,633	-	244,189
Water	203,441	1,699	32,930	-	238,070
Parks	226,640	2,594	23,515	235,300	66,334
	\$ 1,038,469	\$ 9,181	\$ 102,834	\$ 379,769	\$ 770,715

**9. Equipment financing**

The District is party to two equipment loan financed through the Municipal Finance Authority for the acquisition of vehicles. The loans have a term of five years and bear interest at a rate of 1.525% and 2.11%. The vehicles under this loan have a carrying value of \$150,399 (2021 - \$166,771) and are recorded as non-financial assets in the consolidated financial statements.

Principal payments on the debt for the next five years are as follows:

2023	\$	104,066
2024		100,892
2025		90,043
2026		68,329
2027		70,714

**District of Ucluelet**  
**Notes to the Consolidated Financial Statements**  
**For the year ended December 31, 2022**

**10. Debt**

The District obtains debenture debt through the Municipal Finance Authority (MFA), pursuant to security issuing bylaws under authority of the Local Government Act, to finance capital expenditures.

	Interest Rate	Original Amount	Repayments and actuarial earnings	Balance 2022	Balance 2021
MFA issue 1074	2.90%	\$ 1,948,000	\$ 633,440	\$ 1,314,560	\$ 1,386,411
MFA issue 1195	2.65%	475,000	135,591	339,409	368,154
		\$ 2,423,000	\$ 769,031	\$ 1,653,969	\$ 1,754,565

As a condition of the borrowing through MFA, a portion of the debenture proceeds is retained by the MFA as a debt reserve fund. As at December 31, 2022, the cash balance of the District's debt reserve funds was \$31,465 (2021 - \$30,778). Debt reserve funds are not recorded elsewhere in the consolidated financial statements.

The loan agreements with the Alberni-Clayoquot Regional District and the MFA provide that, if at any time the scheduled payments provided for in the agreements are not sufficient to meet the MFA's obligations in respect to such borrowings, the resulting deficiency becomes a liability of the District.

Principal payments on debt for the next five years are as follows:

2023	\$	77,734
2024		77,734
2025		77,734
2026		77,734
2027		77,734

Interest paid during the year was \$41,936 (2021 - \$76,610).

**11. Tangible capital assets**

## (a) Contributed tangible capital assets

Contributed tangible capital assets of nil (2021 - nil) were recognized during the year.

## (b) Tangible capital assets disclosed at nominal values

Where an estimate of fair value could not be made, the tangible capital asset has been recognized at a nominal value.

## (c) Write-down of tangible capital assets

No write-down of tangible capital assets occurred during the year.

## (d) Work in progress

During the year there were net transfers from work in progress of \$219,997 (2021 - \$3,348,700). Amortization of work in progress commences in the year the asset is transferred to tangible capital assets and is put into service.

**District of Ucluelet**  
**Notes to the Consolidated Financial Statements**  
**For the year ended December 31, 2022**

**12. Accumulated surplus**

Accumulated surplus consists of individual fund surplus and reserve funds as follows:

	2022	2021
Investment in tangible capital assets	\$ 39,068,757	\$ 39,080,774
Reserves (Note 13)	6,898,234	6,258,399
Unrestricted surplus	7,193,698	5,735,722
	<b>\$ 53,160,689</b>	<b>\$ 51,074,945</b>

**13. Community Works Fund and COVID-19 Safe Restart Fund**

The Community Works Fund (Gas Tax) is provided by the Government of Canada. The use of the funding is established by a funding agreement between the District and the Union of British Columbia Municipalities. Gas Tax funding may be used toward designated public transit, community energy, water, wastewater, solid waste, and capacity building projects, as specified in the funding agreements.

	2022	2021
Opening balance of unspent funding	\$ 1,279,120	\$ 1,250,929
Add: funding received during the year	133,449	260,800
Add: interest	18,546	5,196
Less: amount spent on projects	(49,067)	(237,885)
	<b>\$ 1,382,048</b>	<b>\$ 1,279,120</b>

The COVID-19 Safe Restart Grant for Local Governments was provided to local governments to assist with the increased operating costs and revenue short-falls as a result of the COVID-19 pandemic. The COVID-19 Safe Restart Grant may be used towards specific eligible costs for funding such as addressing revenue short-falls, facility reopening and operating costs, emergency planning and response costs, bylaw enforcement and protective services, computer and other technology costs, and services for vulnerable persons.

The District of Ucluelet received \$764,000 in COVID-19 Safe Restart Grant in 2020 and reports the balance in a reserve fund until it is used to fund eligible costs.

	2022	2021
Opening balance of unspent funding	\$ 324,706	\$ 550,514
Add: funding received during the year	-	-
Add: interest	3,160	1,797
Less: amount spent on projects		
Lost recreation and other revenue	204,210	141,058
Temporary part-time janitor	-	14,660
RCMP reservist/Bylaw officer	-	37,888
Temporary sanitation labourer	-	33,999
	<b>\$ 123,656</b>	<b>\$ 324,706</b>

**District of Ucluelet**  
**Notes to the Consolidated Financial Statements**  
**For the year ended December 31, 2022**

**13. Taxation**

Taxation revenue, reported on the consolidated statement of operations, is comprised of the following:

	2022	2021
Municipal purposes		
General	\$ 3,603,249	\$ 3,083,572
Utility	46,114	46,114
Parcel taxes	244,860	244,695
Grants in lieu of taxes	58,745	52,402
	<b>3,952,968</b>	<b>3,426,783</b>
Taxes levied for other authorities		
School authorities	1,773,376	1,552,895
RCMP	199,724	180,265
Regional Hospital	183,149	171,241
Regional District	445,242	381,216
BC Assessment Authority	46,024	37,954
Vancouver Island Regional Library	133,373	122,169
Municipal Finance Authority	249	178
	<b>2,781,137</b>	<b>2,448,918</b>
<b>Total taxes collected</b>	<b>\$ 6,734,105</b>	<b>\$ 5,872,701</b>

**14. Trust funds**

Trust funds administered by the District have not been included in the consolidated statement of financial position nor have their operations been included in the consolidated statement of operations. The District holds trust funds under British Columbia law for the purposes of maintaining a public cemetery.

	2022	2021
Opening balance	\$ 26,327	\$ 26,267
Funds used	(22,686)	
Interest earned	-	60
Ending balance	<b>\$ 3,641</b>	<b>\$ 26,327</b>

**15. Pension plan**

The District and its employees contribute to the Municipal Pension Plan (a jointly trustee pension plan). The board of trustees, representing plan members and employers, is responsible for administering the plan, including investment of assets and administration of benefits. The plan is a multi-employer defined benefit pension plan. Basic pension benefits are based on a formula. As at December 31, 2021, the plan has about 227,000 active members and approximately 118,000 retired members. Active members include approximately 42,000 contributors from local governments.

Every three years, an actuarial valuation is performed to assess the financial position of the plan and adequacy of plan funding. The actuary determines an appropriate combined employer and member contribution rate to fund the plan. The actuary's calculated contribution rate is based on the entry-age normal cost method, which produces the long-term rate of member and employer contributions sufficient to provide benefits for average future entrants to the plan. This rate may be adjusted for the amortization of any actuarial funding surplus and will be adjusted for the amortization of any unfunded actuarial liability.

The most recent actuarial valuation for the Municipal Pension Plan as at December 31, 2021, indicated a \$3,761 million funding surplus for basic pension benefits on a going concern basis.



**District of Ucluelet**  
**Notes to the Consolidated Financial Statements**  
**For the year ended December 31, 2022**

**15. Pension plan (continued)**

The District paid \$219,697 (2021 - \$207,974) for employer contributions to the plan in fiscal 2022.

The next valuation will be as at December 31, 2024, with results available on 2025.

Employers participating in the plan record their pension expense as the amount of employer contributions made during the fiscal year (defined contribution pension plan accounting). This is because the plan records accrued liabilities and accrued assets for the plan in aggregate, resulting in no consistent and reliable basis for allocating the obligation, assets and cost to individual employers participating in the plan.

**16. Commitments and contingencies**

- (a) Debt incurred by the District is issued by the Alberni Clayoquot Regional District (ACRD), under provisions of the Local Government Act, is a direct, joint and several liability of the ACRD and each member municipality within the ACRD, including the District.
- (b) In the normal course of a year, claims for damages are made against the District. The District records an accrual in respect to legal claims that are likely to be successful and for which a liability amount is reasonably determinable. The District is self-insured for general liability claims through membership in the Municipal Insurance Association of British Columbia. Under this program, member municipalities are to share jointly for general liability claims against any member in excess of \$5,000. Should the Association pay out claims in excess of premiums received, it is possible that the District, along with the other participants, would be required to contribute towards the deficit.
- (c) The District has entered into two agreements during the year. Under the terms of these contracts, the District is committed to costs of \$1,000,000 related to Amphitrite Point work and \$1,138,000 related to the Village Green revitalization project.

**17. Budget**

The budget presented in these consolidated financial statements includes both operating and capital budgets. The District of Ucluelet budget was approved by Council on April 26, 2022, with the adoption of the Five-Year Financial Plan (2022 – 2026) Bylaw No 1307, 2022. The chart below reconciles the approved budget to the budget figures reported in these financial statements. Cemetery expenses are included in the budget but excluded from the annual surplus because these funds are held in trust and not reported in the consolidated financial statements of the District (Note 15).

		2022 Budget
Consolidated Budgeted Surplus, per District of Ucluelet Financial Plan Bylaw 1307		\$ -
Add		
	Acquisition of tangible capital assets	8,281,516
	Debt repayment	140,564
	Transfers to reserves	1,122,406
	Net cemetery expenses	(9,566)
Less		
	Proceeds of borrowing	(350,000)
	Transfers from reserves	(4,171,502)
	Amortization	(1,168,995)
Consolidated Budgeted Deficit, per Consolidated Statement of Operations		\$ 3,844,423

**District of Ucluelet**  
**Notes to the Consolidated Financial Statements**  
**For the year ended December 31, 2022**

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**18. Segmented information**

The District is a diversified municipal organization that provides a wide range of services to its citizens. District services are provided by departments and their activities reported separately. Certain functions that have been separately disclosed in the segmented information, along with the services they provide, are as follows:

**General government services**

The general government operations provide the functions of corporate administration and legislative services and any other functions categorized as non-departmental.

**Protective services**

Protective services are comprised of three different functions, including the District's emergency management agency, fire, and regulatory services. The emergency management agency prepares the District to be more prepared and can respond to, recover from, and be aware of, the devastating effects of a disaster or major catastrophic event that will impact the community. The fire department is responsible for providing critical, life-saving services in preventing or minimizing the loss of life and property from fire and natural or man-made emergencies. The mandate of the regulatory services function is to promote, facilitate and enforce general compliance with the provisions of bylaws that pertain to the health, safety and welfare of the community and provide a full range of planning services related to zoning, development permits, variance permits, and current regulatory issues.

**Transportation services**

Transportation services is responsible for a wide variety of transportation functions such as roads and streets. As well, services are provided around infrastructure, transportation planning, pedestrian and cycling issues, harbour facilities, and on-street parking regulations, including street signs and painting.

**Planning and environmental services**

Planning works to achieve the District's community planning goals through the official community plan, and other policy initiatives. Environmental services were established to assist the Emergency, Planning, Public Works, and Recreation Departments with programs associated with the maintenance or improvement of the natural ecosystem.

**Recreation and cultural services**

Parks is responsible for the maintenance and development of all park facilities. Cultural services facilitate the provision of recreation and wellness programs and services.

**Water and Sewer utilities**

The water and sewer utilities operate and distribute the water and sewer networks. They are responsible for the construction and maintenance of the water and sewer distribution systems, including mains and pump stations.

The accounting policies used in these segments are consistent with those followed in the preparation of the consolidated financial statements as disclosed in Note 1. Taxation revenue is recognized as general government revenue and has not been allocated to other segments.

Schedule 1

**District of Ucluelet**  
**Consolidated Schedule of Tangible Capital Assets**  
 Year ended December 31, 2022

2022	Land	Buildings	Vehicles and equipment	Other structures	Roads	Drainage structures	Water structures	Sewer Structures	Work in progress	Total
<b>Cost</b>										
Opening balance	\$ 14,718,568	\$ 11,029,120	\$ 3,420,037	\$ 3,820,424	\$ 8,924,083	\$ 1,609,012	\$ 6,511,551	\$ 11,815,251	\$ 872,943	\$ 62,720,989
Add: Additions	-	39,624	321,717	30,091	-	95,490	9,434	320,465	651,177	1,467,998
Less: Disposals	-	-	-	-	-	-	-	-	-	-
Less: Write-downs	-	-	-	-	-	-	-	-	-	-
Transfers	-	-	9,700	20,539	-	-	-	-	-	-
Closing balance	14,718,568	11,068,744	3,751,454	3,871,054	8,924,083	1,704,502	6,710,743	12,135,716	1,304,123	64,188,987
<b>Accumulated Amortization</b>										
Opening Balance	-	3,311,932	2,271,140	2,336,255	4,440,956	795,281	3,281,129	5,305,136	-	21,741,829
Add: Amortization	-	221,528	141,630	176,171	214,454	38,991	219,363	278,254	-	1,290,391
Less: Write-downs	-	-	-	-	-	-	-	-	-	-
Less: Disposals	-	-	-	-	-	-	-	-	-	-
Ending Balance	-	3,533,460	2,412,770	2,512,426	4,655,410	834,272	3,500,492	5,583,390	-	23,032,220
<b>Net Book Value</b>	\$ 14,718,568	\$ 7,535,284	\$ 1,338,684	\$ 1,358,628	\$ 4,268,673	\$ 870,230	\$ 3,210,251	\$ 6,552,326	\$ 1,304,123	\$ 41,156,769

2021	Land	Buildings	Vehicles and equipment	Other structures	Roads	Drainage structures	Water structures	Sewer Structures	Work in progress	Total
<b>Cost</b>										
Opening balance	\$ 14,718,568	\$ 11,014,562	\$ 3,438,325	\$ 3,674,962	\$ 8,041,384	\$ 1,609,012	\$ 6,216,463	\$ 9,188,270	\$ 3,821,425	\$ 61,724,981
Add: Additions	-	14,568	-	143,897	323,215	-	108,277	24,131	400,218	1,014,296
Less: Disposals	-	-	(18,288)	-	-	-	-	-	-	(18,288)
Less: Write-downs	-	-	-	-	-	-	-	-	-	-
Transfers	-	-	-	1,575	559,484	-	184,791	2,602,850	(3,348,700)	-
Closing balance	14,718,568	11,029,120	3,420,037	3,820,424	8,924,083	1,609,012	6,511,551	11,815,251	872,943	62,720,989
<b>Accumulated Amortization</b>										
Opening Balance	-	3,082,699	2,137,360	2,166,101	4,227,071	758,697	3,086,289	5,021,073	-	20,459,290
Add: Amortization	-	229,233	151,955	170,154	213,885	36,584	214,840	284,063	-	1,300,714
Less: Write-downs	-	-	(18,175)	-	-	-	-	-	-	(18,175)
Less: Disposals	-	-	-	-	-	-	-	-	-	-
Ending Balance	-	3,311,932	2,271,140	2,336,255	4,440,956	795,281	3,281,129	5,305,136	-	21,741,829
<b>Net Book Value</b>	\$ 14,718,568	\$ 7,717,188	\$ 1,148,897	\$ 1,484,169	\$ 4,483,127	\$ 813,731	\$ 3,230,422	\$ 6,510,115	\$ 872,943	\$ 40,979,160

Schedule 2

**District of Ucluelet**  
**Consolidated Schedule of Segment Disclosure by Service**  
 Year ended December 31, 2022

	General Government Services	Protective Services	Transportation Services	Planning and Environmental Services	Recreation and Cultural Services	Water Utility	Sewer Utility	2022 Actual
<b>Revenue</b>								
Taxation, net	\$ 3,708,106	\$ -	\$ -	\$ -	\$ -	\$ 118,720	\$ 126,140	\$ 3,952,968
Sale of services	16,880	-	470,365	108,365	405,096	703,093	466,630	2,171,429
Grants and contributions	880,574	29,690	7,000	-	5,285,566	85,925	-	1,532,055
Investment income	162,587	-	-	-	-	-	-	162,587
Recognition of DCC	144,469	-	-	-	-	-	235,300	379,769
Other revenue from own sources	1,226,509	36,030	-	237,440	740,359	50,293	-	2,290,631
	<b>6,139,127</b>	<b>66,020</b>	<b>477,365</b>	<b>345,805</b>	<b>1,675,021</b>	<b>958,031</b>	<b>828,070</b>	<b>10,489,439</b>
<b>Expenses</b>								
Salaries and wages	\$ 899,636	\$ 381,636	\$ 363,321	\$ 284,659	\$ 989,893	\$ 255,314	\$ 191,308	\$ 3,355,667
Contracted services	77,852	36,958	440,713	42,630	164,289	176,476	84,781	1,023,699
Materials and supplies	70,373	189,978	231,219	9,035	281,130	113,396	86,322	940,454
Interest and other	344,266	120,178	46,752	12,632	744,182	42,546	2,687	1,313,243
Audit and legal	90,414	-	-	33,586	-	-	-	124,000
Telephone and utilities	65,681	39,522	85,795	-	51,766	83,620	52,857	389,241
Amortization	-	-	395,075	-	397,699	219,363	275,254	1,287,391
	<b>1,538,222</b>	<b>748,273</b>	<b>1,562,875</b>	<b>382,442</b>	<b>2,628,959</b>	<b>870,715</b>	<b>672,209</b>	<b>8,403,695</b>
<b>Annual surplus (deficit)</b>	<b>\$ 4,500,905</b>	<b>\$ (682,253)</b>	<b>\$ (1,085,510)</b>	<b>\$ (36,637)</b>	<b>\$ (953,938)</b>	<b>\$ 87,316</b>	<b>\$ 155,861</b>	<b>\$ 2,085,744</b>
<b>Revenue</b>								
Taxation, net	\$ 3,182,088	\$ -	\$ -	\$ -	\$ -	\$ 118,640	\$ 126,055	\$ 3,426,783
Sale of services	7,030	-	401,429	29,253	287,234	633,661	479,837	1,838,444
Grants and contributions	666,671	25,300	7,000	-	333,281	-	-	1,061,452
Investment income	48,562	-	-	-	-	-	-	48,562
Other revenue from own sources	1,058,153	26,532	-	228,378	545,737	42,609	2,393	1,903,802
	<b>4,991,704</b>	<b>51,832</b>	<b>408,429</b>	<b>257,631</b>	<b>1,166,252</b>	<b>794,910</b>	<b>608,285</b>	<b>8,279,043</b>
<b>Expenses</b>								
Salaries and wages	\$ 759,004	\$ 231,990	\$ 401,967	\$ 304,211	\$ 920,876	\$ 253,955	\$ 165,226	\$ 3,037,229
Contracted services	73,056	35,595	322,765	26,036	148,982	78,933	123,319	808,708
Materials and supplies	47,398	189,934	174,469	9,024	179,938	74,208	75,072	730,043
Interest and other	282,015	94,391	41,908	59,697	615,003	22,732	3,396	1,119,142
Audit and legal	56,922	-	-	53,885	-	-	-	110,807
Telephone and utilities	59,987	32,619	88,751	-	51,921	64,714	60,392	389,284
Amortization	-	-	402,423	-	399,388	214,841	284,052	1,300,714
	<b>1,278,282</b>	<b>564,529</b>	<b>1,432,303</b>	<b>452,855</b>	<b>2,316,108</b>	<b>709,383</b>	<b>711,467</b>	<b>7,464,927</b>
<b>Annual surplus (deficit)</b>	<b>\$ 3,713,422</b>	<b>\$ (512,697)</b>	<b>\$ (1,023,874)</b>	<b>\$ (195,224)</b>	<b>\$ (1,149,856)</b>	<b>\$ 85,527</b>	<b>\$ (103,182)</b>	<b>\$ 814,116</b>



THE CORPORATION OF THE DISTRICT OF UCLUELET

2022 Statement of Financial Information

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Schedule of Debts

Information on all debts for the District of Ucluelet is included in Note 10 to the Financial Statements.

Schedule of Guarantee and Indemnities

Information on all guarantees and indemnities for the District of Ucluelet is included in Note 16 to the Financial Statements

## THE CORPORATION OF THE DISTRICT OF UCLUELET

2022 Statement of Financial Information

## Schedule of Council Remuneration and Expenses (unaudited)

<b>Name</b>	<b>Position</b>	<b>Remuneration (\$)</b>	<b>Expenses (\$)</b>
Cole Rachelle	Councillor	15,063.27	4,149.19
Hoar Jennifer	Councillor	17,572.08	2,479.58
Kemps Lara	Councillor	13,747.00	4,916.72
McEwen Marilyn	Councillor/Mayor	21,296.23	1,706.31
Noel Mayco	Mayor	25,812.81	4,335.56
Kennington Ian	Councillor	2,395.96	0.00
Anderson Shawn	Councillor	2,385.08	0.00
Maftei Mark	Councillor	1,788.81	0.00
		<u>100,061.24</u>	<u>17,587.36</u>

The Schedule of Employee Remuneration has been prepared on a cash basis. The financial statements have been prepared on an accrual basis, and no reconciliation of this schedule with the financial statements has been prepared.

## THE CORPORATION OF THE DISTRICT OF UCLUELET

2022 Statement of Financial Information

## Schedule of Employee Remuneration and Expenses (unaudited)

Name		Position	Remuneration (\$)	Expenses (\$)
Monteith	Donna	Chief Financial Officer	115,829.60 *	2,216.01
Greig	Bruce	Manager of Community Planning	111,660.35	1,439.11
Fortune	Abigail	Manager of Parks and Recreation	102,728.18	871.50
MacIntosh	James	Director of Engineering Services	105,789.89	47.00
Lawrence	Duane	Chief Administrative Officer	145,054.61	7,233.46
Geddes	Richard	Fire Chief	96,543.80	1,786.84
Taron	Brent	Public Works Foreman	85,359.16	109.00
Gudbranson	Barbara	Recreation Programmer	81,427.16	750.75
Towgood	John	Planner 1	84,380.14	-
Morin	Nicole	Building Inspector	84,177.27	1,665.09
Willms	Brittney	Bylaw Officer	83,544.77	3,362.48
Olson	Gary	Assistant Public Works Foreman	79,005.86	109.00
McDiarmid	John	Utility Operator	78,202.00	109.00
McAvoy	Wanda	Parks Foreman	75,359.55	574.55
Aggregate over 75,000			\$ 1,329,062.34	\$ 20,273.79
Aggregate under 75,000			\$ 1,311,901.42	\$ 25,914.04
Totals (46)			2,640,963.76	\$ 46,187.83

The Schedule of Employee Remuneration has been prepared on a cash basis. The financial statements have been prepared on an accrual basis, and no reconciliation of this schedule with the financial statements has been prepared.

THE CORPORATION OF THE DISTRICT OF UCLUELET

2022 Statement of Financial Information

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Severance Agreements

There were no severance agreements in 2022.



## THE CORPORATION OF THE DISTRICT OF UCLUELET

2022 Statement of Financial Information

Schedule of Payment to Supplier for the Provision of Goods and Services (unaudited)

<b>Supplier Name</b>	<b>Amount (\$)</b>
ACRD	\$ 46,506.93
BC HYDRO	\$ 95,025.01
CANADA REVENUE AGENCY	\$ 255,811.86
DUNCAN ELECTRIC MOTOR LTD.	\$ 32,940.46
FOOD BANK ON THE EDGE	\$ 150,000.00
HAZELWOOD CONSTRUCTION SERVICES	\$ 973,165.83
KASSLYN CONTRACTING	\$ 74,401.84
KOERS & ASSOCIATES ENGINEERING LTD.	\$ 26,085.95
McELHANNEY ASSOCIATES LAND SURVEYING LTD	\$ 66,307.50
MINISTRY OF FINANCE	\$ 113,402.04
MISCELLANEOUS CHEQUE	\$ 32,101.50
MUNICIPAL PENSION PLAN	\$ 143,606.20
NORTH ISLAND TRACTOR	\$ 70,879.76
OZZARD ENVIRONMENTAL INC.	\$ 27,713.41
PBX ENGINEERING LTD	\$ 32,669.97
SALTWATER BUILDING CO. LTD	\$ 30,020.41
SUN LIFE ASSURANCE COMPANY OF CANADA	\$ 87,402.46
TOURISM UCLUELET	\$ 216,468.27
UCLUELET CONSUMER'S CO-OPERATIVE ASSN	\$ 27,375.85
UCLUELET RENT-IT CENTER LTD	\$ 26,595.38
UKEE INFO TECH	\$ 43,534.30
URBAN SYSTEMS LTD.	\$ 79,208.57
VANCOUVER ISLAND REGIONAL LIBRARY	\$ 76,834.00
VIKE CONSTRUCTION	\$ 40,567.74
YOUNG ANDERSON	\$ 57,066.51
Payments Made (Vendors Over \$25000)	\$ 2,825,691.75
Miscellaneous Payments (\$25000 and Under)	\$ 837,111.55
<b>TOTAL Payments</b>	<b>\$ 3,662,803.30</b>

The Schedule of Payment to Suppliers for the Provision of Goods and Services has been prepared on a cash basis, and due to the limitations imposed by the accounts payable system includes certain disbursements that are not purchases of goods and services. The financial statements have been prepared on an accrual basis, and no reconciliation of this schedule with the financial statement has been prepared.

## THE CORPORATION OF THE DISTRICT OF UCLUELET

## 2022 Statement of Financial Information

<u>Payments for the Purposes of Grants Contributions</u>	
<b>Recipient</b>	<b>Amount (\$)</b>
BC ASSOCIATION OF SURF INSTRUCTORS	\$ 250.00
CARE NETWORK	\$ 5,000.00
FOOD BANK ON THE EDGE	\$ 2,000.00
PACIFIC RIM HOSPICE SOCIETY	\$ 4,000.00
PACIFIC RIM WHALE FESTIVAL	\$ 750.00
RAINCOAST EDUCATION SOCIETY	\$ 4,500.00
SEAVIEW SENIORS' HOUSING SOCIETY	\$ 250.00
SURF RIDER – PACIFIC RIM	\$ 250.00
UCLUELET AQUARIUM SOCIETY	\$ 500.00
<b>TOTAL</b>	<b>\$ 17,250.00</b>



Letter For Reconsideration  
1656 Bay Street - DPA VI



*Figure 1: Street view of 1656 Bay Street and stream taken July 10<sup>th</sup>, 2023*

Dear Mayor and Council,

I am writing to you to apply for reconsideration for my DPA VI Variance Permit at 1656 Bay Street, which was weighed on June 27<sup>th</sup>, 2023. The vote was tied 2-2. I would like to request the opportunity for reconsideration with all 5 council members present.

After my permit was denied, I reached out to one of the council members who voted against my proposal and received valuable feedback from them. They advised that even though my proposal is indeed “compliant with the bylaws,” the fact that the stated goal of this addition was to offer short-term rentals is, in their opinion, “bad for the community” and as such they are “hard-pressed to support variances that result in their construction.” The fact that the goal of the addition is two short-term rentals contributed to their vote against the proposal.

My fiancé and I have reflected on this feedback with great consideration. I in no way want to be a part of any problem that Ucluelet may face; I wish to instead be a part of the solutions that help the city grow and thrive. I recognize that one of the greatest problems facing this community is the struggle to provide long-term housing for those who wish to call Ucluelet home. As such, I would like to implement interior design changes to modify the interior plan from two short-term rental units to a single long-term rental unit, to make this proposal more in line with the needs of the community.



Local stores and businesses are challenged to remain open, and restaurants have permanently closed due to staffing shortages. It's apparent that we are facing a housing crisis for residents. It has also been apparent that the people of this community support and take care of one another. Whenever I have had a problem or emergency, the people of Ucluelet have shown up to support me, no questions asked. I would be appreciative of the opportunity to give back by providing a two-bedroom long-term rental suite instead of two separate short-term rentals, with the goal to provide a home for a local family to live.

I am currently working with my build designer to change the end goal of my project to be solely of the configuration of one large rental unit consisting of a two bedroom, two bath suite, which will be within walking distance to all the necessary shops, groceries, and amenities. I am effectively deleting the shared entrance and stairwell, and instead providing a separate entrance and a full kitchen to eliminate any opportunities for short-term rentals as a B&B. Please note the changes to the building permit designs will not change or alter the considered area outlined in this proposed DPA VI Variance Permit.

I take responsibility for the removal of the dangerous trees that was done without the Environmental Variance Permit. The trees were removed due to their dangerous nature which included the destabilization of the entire root structure of the trees in front of my home. The trees were removed in an emergency, when subsequent severe storms last fall and winter resulted in multiple instances of large broken branches falling, trees breaking off, and the entire root structure of these trees heaving up and down in complete separation of the soil structure from its underlying native substrata. With the safety of myself and my fiancé being my primary concern, I removed the trees presenting the most danger.

In January, during peak snow and windstorms, I had to make an emergency call to an arborist so he could come remove several other trees that were directly endangering my neighbour's house, who took his family to stay at the Black Rock that evening for safety. On several occasions there were dead fall branches hanging on my powerlines. One tree even snapped in half 20 feet up its shaft, right above our walkway. Living in constant fear of trees potentially falling through our roof while we try to sleep was incredibly stressful. I am liable for damages caused by the trees on my property if they were to go through a building, or worse cause injury. Any trees that did not present a danger to my home, my neighbour's home, or the power lines remain on my property.

At the time I did not know that I was in a riparian zone or what a DPA VI variance permit was, and it was never my intention to proceed in a way that was unlawful. Given the active construction in the park right across the street that is still ongoing, the remains of a sewage lift station where the stream now starts, and the fact that all the neighboring properties on this street are cleared, it was not obvious that it was a protected area. As soon as I was notified by the planning office that I needed to apply for a variance permit near the end of the building permit application, I acted immediately.

I have also complied with all other environmental procedures requested henceforth. I was instructed by the City Planning Office to include a Geotechnical Report to “conduct a geotechnical investigation of the subsurface soil conditions to determine foundation support requirements for the proposed building addition,” (Lewkowich, 2023, p. 1) and to identify any potential risks posed by the build. This analysis required the removal of organic soil in the area. The Geotechnical Report concluded that the soil is safe to build on. They also provided me with a detailed plan on how to best implement the foundation and supports, which I have included in my building permit.

This Variance Permit includes a detailed and conclusive Biophysical Report from a certified Environmental Professional at Red Fish Restorations which clearly states that “no impacts to these watercourses are anticipated as a result of the proposed addition.” (Dolphin, 2023, p. 3) It also states, “The proposed project, as currently projected, is not expected to have any adverse effects to wildlife or wildlife habitat.” (Dolphin 2023, p. 4) This report also includes a replanting schedule for reparations, which I will follow comprehensively.

I would also like to comment on the watercourse itself, which is located in the downtown core. There is a visible abandoned City sewage lift station right at the head of the stream by the roadside. According to a local Ucluelet Public Works Foreman, the lift station would often overflow sewage directly into the stream in question. He confirmed that this was happening as recently as 2 years ago. The lift station has recently been abandoned; however, the infrastructure remains visible, and the stream often smells of feces due to the open sewage pipe that still runs through the riparian zone.

This is simply an observation, that the watercourse in question and the reason that this is considered a riparian zone in the first place, was not only actively and knowingly subjected to sewage in recent years, but also has a main City Road running directly through it and a public park built on top of it. Furthermore, it has been confirmed by an Environmental Specialist that my proposal will not negatively impact the stream in any way. This cannot be overstated.

In summary, I have taken the guidance provided by council and determined that a long-term rental would better serve the needs of the community. I cannot change the fact that I removed the dangerous trees on my property but have followed all other environmental procedures to the letter, and I am more than enthusiastic about implementing re-habitation and planting in the affected areas. I have a positive and conclusive Geotechnical Report that shows the land is suitable and safe to build on. Furthermore, I have confirmation from a Certified Environmental Professional that my proposal does not present any foreseen issues moving forward.

This community needs more long-term rentals, more places for locals to call home. This is an enormous problem that is affecting everyone here in many different aspects of our life. We are more than happy to accommodate a long-term rental on our property, thus relieving pressure on the excessively strained rental market. Please consider the results of the Biophysical Report, and the positive effects this project will have on our community when you cast your vote.

Thank you for your time and consideration. Thank you for those who have shown support to me and my project and thank you to those who have given me the necessary time to reflect on what is best my family and my community.

Best Regards,  
Mason Hampel

### References

Dolphin, C. (2023). (rep.). *BIOPHYSICAL ASSESSMENT TO SUPPORT A STREAMS AND RIPARIAN AREA (DPA – VI) DEVELOPMENT PERMIT APPLICATION OF A PROPOSED ADDITION TO AN EXISTING RESIDENCE AT 1656 BAY STREET, UCLUELET, BC*, Ucluelet, BC.

Fraser, P. (2023). (rep.) *PROPOSED BUILDING ADDITION – GARAGE AND SUITES 1656 BAY STREET, UCLUELET, BC*, Lewkowich Engineering Associates Ltd.  
*PID: 002-407-728*

## Joseph Rotenberg

---

**From:** Joseph Rotenberg  
**Sent:** July 13, 2023 2:49 PM  
**To:** Joseph Rotenberg  
**Subject:** RE: Lot 12 Report

---

**From:** Lara Kemps (Black Rock Resort) <[lkemps@blackrockresort.com](mailto:lkemps@blackrockresort.com)>  
**Sent:** Wednesday, July 12, 2023 1:10 PM  
**To:** John Towgood <[JTowgood@ucluelet.ca](mailto:JTowgood@ucluelet.ca)>  
**Subject:** Lot 12 Report

[External]

Hi John,

Please see attached preliminary drawings to be included with our report for the 18<sup>th</sup>. It has been brought to our attention that this report might not make it to the 18<sup>th</sup> council meeting. We are hard pressed for time on this project as we start renovations in October and still must clear the lot, making sure there is a company that has time to do the project. Please let me know where we are at with this application.

Thank you,



**Lara Kemps**  
**Assistant General Manager**  
Black Rock Oceanfront Resort  
PO Box 310, [596 Marine Drive, Ucluelet, BC V0R 3A0](#)  
250-726-4807

**Set in Nature. Designed for Comfort**

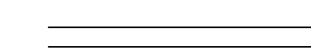



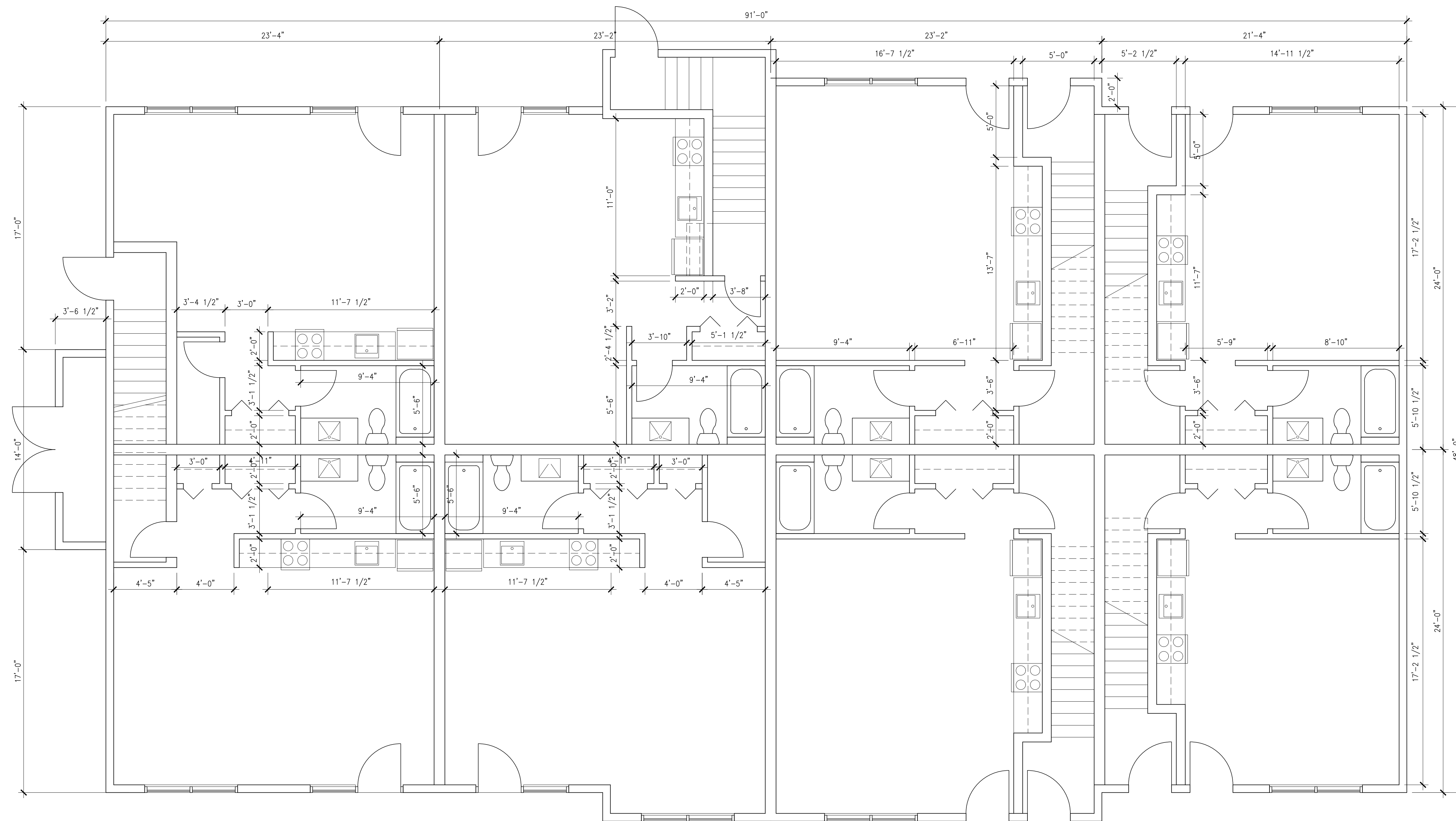
*Black Rock Oceanfront Resort resides within the Yuulu?il?at? - Ucluelet First Nation traditional territory, of whose ancestral lands we work and play*



KEY NOTES

DRAWING LEGEND

-  UNRATED PARTITION
-  1-HOUR RATED FIRE BARRIER



REV	DATE	DESCRIPTION	DR	RV

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PROJECT:  
**STAFF HOUSING  
 BLACKROCK RESORT**

MARINE DRIVE  
 UCLUELET, BC

SHEET TITLE:

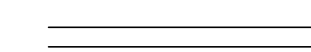

**GROUND  
 FLOOR PLAN**

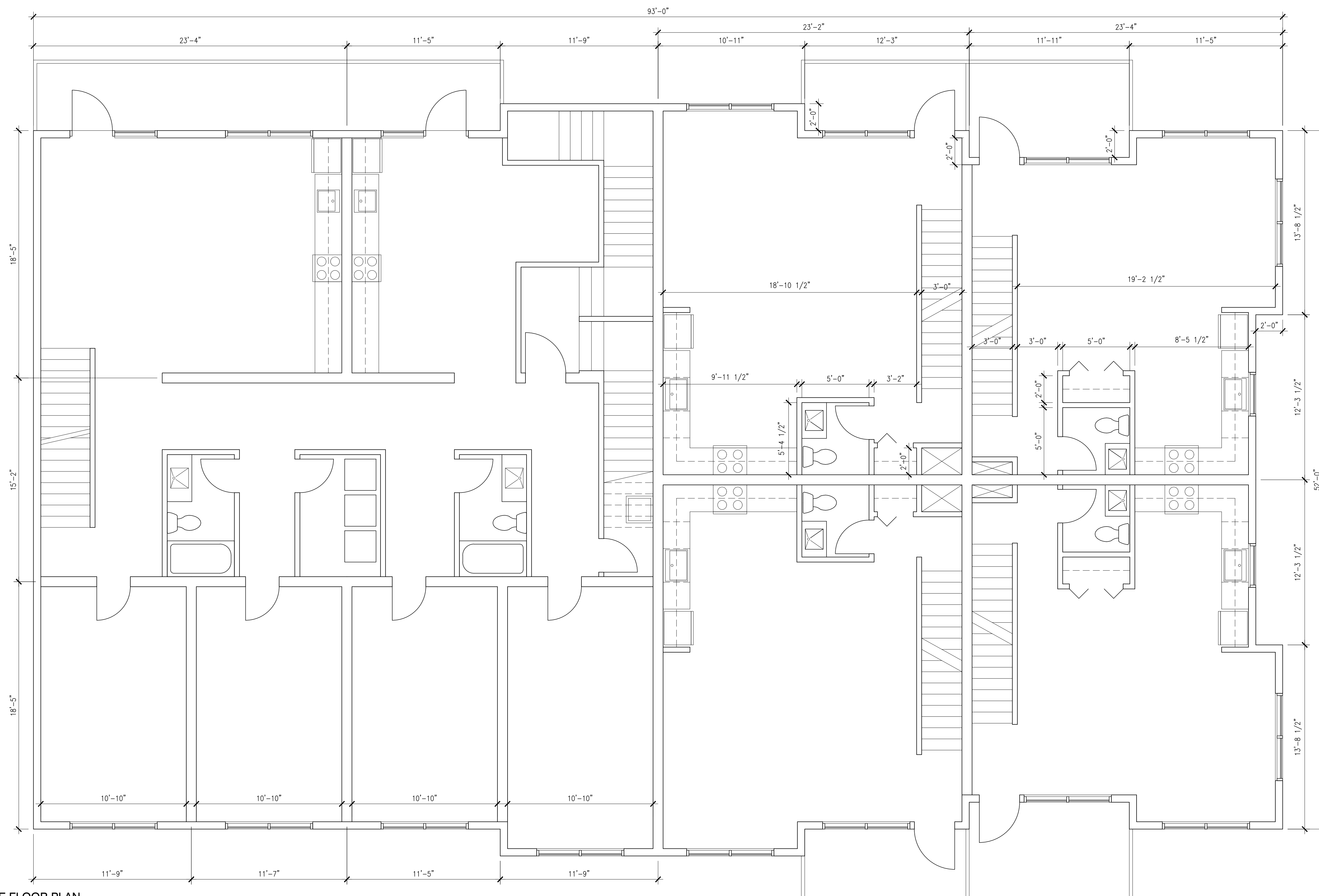
**1 GROUND FLOOR PLAN**  
 1/4" = 1'-0"

PLOT DATE: 11/10/21	PROJECT NO: 21128
SCALE: AS SHOWN	REVISION:
DRAWING NO. <b>A2.0</b>	

KEY NOTES

DRAWING LEGEND

-  UNRATED PARTITION
-  1-HOUR RATED FIRE BARRIER



**1 MIDDLE FLOOR PLAN**  
 1/4" = 1'-0"

REV	DATE	DESCRIPTION	DR	RV

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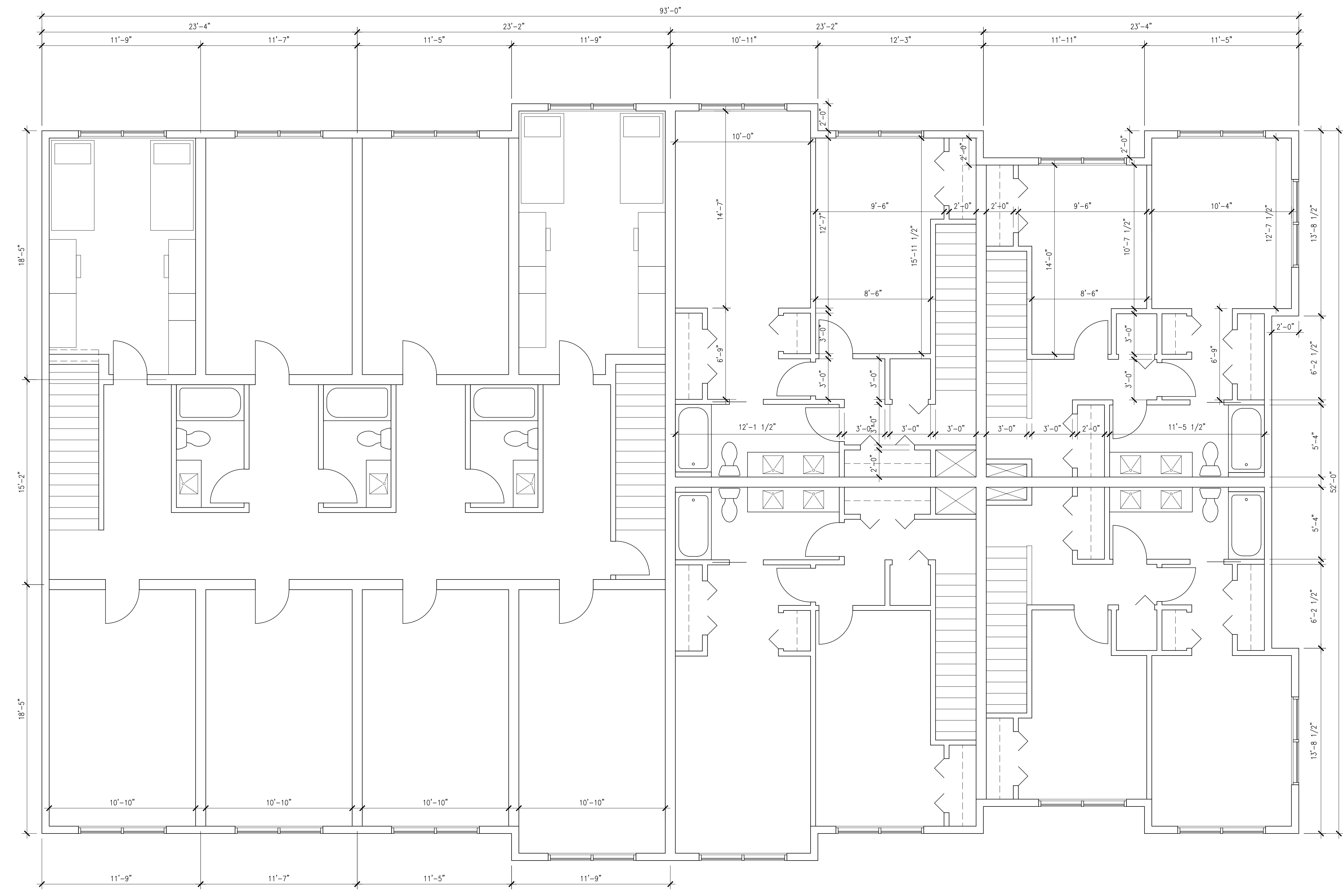
PROJECT: **STAFF HOUSING  
BLACKROCK RESORT**

MARINE DRIVE  
UCLUELET, BC

SHEET TITLE:

<b>MIDDLE FLOOR PLAN</b>	
PLOT DATE: 11/10/21	PROJECT NO: 21128
SCALE: AS SHOWN	REVISION:
DRAWING NO. <b>A2.1</b>	

KEY NOTES	DRAWING LEGEND
<div style="display: flex; flex-direction: column; gap: 5px;"> <div style="border: 1px solid black; border-radius: 50%; width: 15px; height: 15px; display: flex; align-items: center; justify-content: center;">1</div> <div style="border: 1px solid black; border-radius: 50%; width: 15px; height: 15px; display: flex; align-items: center; justify-content: center;">2</div> <div style="border: 1px solid black; border-radius: 50%; width: 15px; height: 15px; display: flex; align-items: center; justify-content: center;">3</div> </div>	<div style="display: flex; align-items: center; gap: 10px;"> <div style="border-bottom: 1px solid black; width: 50px;"></div> <div>UNRATED PARTITION</div> </div> <div style="display: flex; align-items: center; gap: 10px; margin-top: 5px;"> <div style="border-bottom: 3px dashed black; width: 50px;"></div> <div>1-HOUR RATED FIRE BARRIER</div> </div>



REV	DATE	DESCRIPTION	DR	RV

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THIS DRAWING MUST NOT BE SCALED. THE CONTRACTOR IS TO VERIFY ALL DRAWING DIMENSIONS AND DATA NOTED HEREIN WITH CONDITIONS ON THE SITE AND IS HELD RESPONSIBLE FOR REPORTING DISCREPANCIES TO ISEL ARCHITECTURE. THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION PURPOSES UNTIL SIGNED BY THE CONSULTANT.

PROJECT:  
**STAFF HOUSING  
BLACKROCK RESORT**

MARINE DRIVE  
UCLUELET, BC

SHEET TITLE:

**UPPER  
FLOOR PLAN**

<small>PLOT DATE:</small> 11/10/21	<small>PROJECT NO.:</small> 21128
<small>SCALE:</small> AS SHOWN	<small>REVISION:</small>
<b>A2.2</b>	

**1 UPPER FLOOR PLAN**  
1/4" = 1'-0"

## Admin Support

---

**From:** Kaelan D'Sena <kaeland@lifesaving.bc.ca>  
**Sent:** July 7, 2023 2:03 PM  
**Cc:** Lenea Grace  
**Subject:** Proclamation Request - National Drowning Prevention Week  
**Attachments:** NDPW 2023 - Proclamation Template.docx

[External]

Hello,

Canada faces a major problem – and a preventable one: Almost 500 people die every year from drowning. With summer upon us and more people flocking to our beautiful lakes, rivers, and coastlines, it is essential that we prioritize water safety. **On behalf of the BC & Yukon Branch of the Lifesaving Society, I am writing to ask that you proclaim July 16 – 22, 2023 as NATIONAL DROWNING PREVENTION WEEK in British Columbia.** Please see a proclamation template attached.

The Lifesaving Society is a national, charitable organization working to prevent drowning and reduce water-related injury through our training programs, Water Smart® public education, drowning research and aquatic safety standards. The Lifesaving Society certifies Canada's National Lifeguards and is the leading provider of swim lessons in the country.

National Drowning Prevention Week is one of the Society's leading public education initiatives, with events taking place across the country to focus media and community attention on the drowning problem and drowning prevention. During this week, the Society urges individuals to:

- Supervise children in and around the water.
- Refrain from drinking alcoholic beverages while participating in aquatic activities.
- Wear a personal flotation device (PFD) or lifejacket when boating.

If every Canadian followed these steps, we could greatly reduce Canada's drowning rate. A proclamation from your office would give greater exposure to our lifesaving efforts to residents of British Columbia and Yukon. I hope you will consider our request.

If you have any questions, please contact Lenea Grace, Executive Director, Lifesaving Society BC & Yukon Branch at [leneag@lifesaving.bc.ca](mailto:leneag@lifesaving.bc.ca) or 604-299-5450.

Thank you for your support.

Kindly,

Kaelan D'Sena  
 Communications

Lifesaving Society - BC & Yukon Branch  
 604.299.5450 ext. 103 | @LifesavingBCYK  
[lifesaving.bc.ca](http://lifesaving.bc.ca)

*I respectfully acknowledge that I live, work, and learn on the unceded, traditional and ancestral x<sup>w</sup>məθk<sup>w</sup>əyəm (Musqueam), Sk̓wx̓wú7mesh (Squamish), and Səlílwataʔ/Selilwitulh (Tsleil-Waututh) territories.*





## **NATIONAL DROWNING PREVENTION WEEK PROCLAMATION 2023**

WHEREAS the mission of Lifesaving Society Canada is to prevent drowning throughout this great country, and even one drowning in [province/territory] is one too many; and

WHEREAS most drownings are preventable in a Water Smart community, and only through Water Smart education and a healthy respect for the potential danger that any body of water may present can we genuinely enjoy the beauty and recreation opportunities offered by these bodies of water; and

WHEREAS the Lifesaving Society urges Canadians and residents of [city/municipality/province] to supervise children who are in and around the water, to refrain from drinking alcoholic beverages while participating in aquatic activities, and to always wear a lifejacket when boating; and

WHEREAS the United Nations General Assembly passed the UN Resolution on Drowning Prevention (A/75/L.76) and named July 25<sup>th</sup> of each year as World Drowning Prevention Day; and

WHEREAS Lifesaving Society Canada has declared July 16<sup>th</sup>-22<sup>nd</sup>, 2023 National Drowning Prevention Week to focus on the drowning problem and the hundreds of lives that could be saved this year.

THEREFORE, BE IT RESOLVED THAT, I, [Name and Title] do hereby proclaim July 16<sup>th</sup> – 22<sup>nd</sup>, 2023 **NATIONAL DROWNING PREVENTION WEEK** in [city/municipality/province] and do commend its thoughtful recognition to all citizens of our [city/municipality/province].





Please join us this September for Prostate Cancer Awareness Month

Prostate Cancer Foundation BC and our support initiative, Prostate Cancer Support Canada, would like to request that you “Light up in Blue” for all or part of September to show support for the #1 cancer in men.

Our goal is to raise awareness about prostate cancer by having as many landmarks, buildings and bridges across Canada light up in blue.

We will be promoting our Light up in Blue on our social media platforms and through our newsletters that go out across Canada:

[#lightupinblue](#) [#prostatecancerawareness](#) [#showyourblue](#) [#prostatecancer](#)



To participate, please contact Shelley at Prostate Cancer Foundation BC  
[shelley@prostatecancerbc.ca](mailto:shelley@prostatecancerbc.ca)







## INFORMATION REPORT

Council Meeting: July 18, 2023

500 Matterson Drive, Ucluelet, BC V0R 3A0

**FROM:** JOSEPH ROTENBERG, MANAGER OF CORPORATE SERVICES

**FILE No:** 0550-01 GEN, 2023

**SUBJECT:** RELEASE OF IN-CAMERA RESOLUTIONS FROM JUNE 8 & 27, 2023

**REPORT No:** 23- 102

**ATTACHMENT(S):** NONE

### PURPOSE:

The purpose of this report is to release resolutions to the public which were adopted In-Camera (Closed Session).

### REPORT:

At the June 8, 2023 Closed Council meeting, the following resolution related to the Ucluelet Accessibility Committee were adopted:

- **THAT** Council appoint Margaret Morrison and Todd Smith for a 2-year term, Scott Murray and Mary Ruff for a 3-year term, and Council member Ian Kennington until the end of their Council term to the Ucluelet Accessibility Committee; and,
- **THAT** Council authorize staff to inform the Accessibility Committee candidates of their appointment; and further,
- **THAT** Council rise and report the results of the appointments to the Ucluelet Accessibility Committee.

At the June 27, 2023 Closed Council meeting the following resolutions related to the Barkley Community Forest Corporation were adopted:

- **THAT** Council, as of June 27, 2023, appoint Geoffrey Lyons to serve for a three (3) year term as board representative of the District of Ucluelet on the Barkley Community Forest Corporation Board of Directors.
- **THAT** Council recommend Geoffrey Lyons, Julian Ling, and Dario Corlazzoli as the District of Ucluelet's designated representatives on the Barkley Community Forest Corporation Board of Directors for the 2023 to 2024 term.
- **THAT** Council release the 2023 Barkley Community Forest Board representative appointments to the public.

**Respectfully submitted:** Joseph Rotenberg, Manage of Corporate Services  
Duane Lawrence, CAO





## INFORMATION REPORT

Council Meeting: July 18, 2023  
500 Matterson Drive, Ucluelet, BC V0R 3A0

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**FROM:** JOSEPH ROTENBERG, MANAGER OF CORPORATE SERVICES

**FILE NO:** 0550-20

**SUBJECT:** RESOLUTION TRACKING – JULY 2023

**REPORT NO:** 23-105

**ATTACHMENT(S):** APPENDIX A - RESOLUTION TRACKER – JULY 2023

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### PURPOSE:

The purpose of this report is to provide Council with a status update on resolutions that have been adopted by Council.

### BACKGROUND:

The resolution tracking report, attached, provides Council with an overview of actions resulting from resolutions of Council. Trackers are assigned to staff with the following progress designations:

- Assigned – action has not yet commenced;
- In Progress – action has been taken by Staff;
- Complete – action has been completed; and
- No Further Action – no further action on this matter will be taken by District Staff.

Items will be removed from the list after actions are shown once as complete or no further action.

**Respectfully submitted:** JOSEPH ROTENBERG, MANAGER OF CORPORATE SERVICES





Resolution Tracking - July 2023 Joseph Rotenberg, Manager of Corporate Services

Resolution Date	Meeting Item Description	Resolution	Action	Department Responsible	Status	Comments/Actions
1-Jul-20	Audio Visual Upgrades for the Main Hall	THAT Council approve using up to \$60,000 RMI funds for Audio Visual (AV) upgrades to the Main Hall at the Ucluelet Community Centre.	Implement AV upgrades.	Parks & Recreation	In Progress	Finalizing installation with IT
1-Jun-21	Resolution Tracking - May 2021	THAT staff provide a report to Council with options for the investment of Barkley Community Forest Funds at an upcoming Council Meeting.	Staff to develop a legacy reserve fund as part of the statutory reserve policy.	Finance	In Progress	
1-Sep-21	Dr. Carrie Marshall and Faye Missar, Coastal Family Resource Coalition Re: Harm Reduction	THAT Council direct Staff to bring back the alcohol harm reduction information to at a future meeting for Council discussion.	Draft report and bring back alcohol related information for Council discussion.	Recreation	In progress and being researched	report to be presented in the fall
1-Dec-21	Parking Concerns 1624 Bay Street	THAT Council direct staff to relocate the pedestrian pathway and cross walk currently located on the west side of Bay Street to the east side of Bay Street.	Develop new routing plan; convey plan to affected residents and implement project.	Public Works		This resolution was rescinded on May 9, 2023
22-Feb-22	Water Treatment System Upgrades	THAT Council authorize Staff to issue a Request for Proposal in 2022 for the Design-Bid-Build of the water treatment system project upon a successful Alternative Approval Process; and,	Issue a Request for Proposal in 2022 for the Design-Bid-Build of the water treatment system project upon a successful Alternative Approval Process.	Public Works	In Progress	Design RFP anticipated in summer 2023
19-Apr-22	Traffic Calming Next Steps		Prepare a draft traffic calming policy	Public Works	Deferred	The creation of a formal policy for speed has been deferred, or adjusted to a guideline
19-Apr-22	Update on Village Green: Main & Cedar Intersection	It was moved and seconded THAT Council direct staff to explore costs for adding parking stalls within the current extents of the Cedar Road Parking Hub, for consideration in the 2023 budget.	Explore costs for exploring the addition of parking stalls within the Cedar Hub Parking Hub, for consideration in the 2023 budget.	Public Works	In Progress	RTC in summer 2023
31-May-22	Affordable Housing	It was moved and seconded THAT the Committee of the Whole recommend Council authorize the Mayor to execute a Memorandum of Understanding in support of the development of a regional governance framework for coordinating and sharing resources to address affordable housing on the West Coast peninsula as presented in the May 31, 2022 Affordable Housing report.	Mayor to execute the MOU.	Administration	Assigned	

May-22	Affordable Housing	<p>It was moved and seconded THAT Council direct staff to issue a request for proposal to engage a housing authority.</p> <p>It was moved and seconded THAT the Committee of the Whole recommend that Council direct staff to issue a request for proposal to engage a housing authority.</p>	Issue a request for proposal to engage a housing authority.	Administration	Deferred	
May-22	Contractor's Temporary Land Use	<p>It was moved and seconded THAT Council approve Option A, to authorize the use of District-owned land to temporarily house contractors while working on District capital projects; and</p> <p>It was moved and seconded THAT Council direct Staff to return to Council with the details and planning necessary to administer temporary contractor housing.</p>	Return to Council with the details and planning necessary to administer temporary contractor housing.	Public Works	In Progress	
Jun-22	Trail Right of Way over 348 Pass of Melfort	<p>It was moved and seconded THAT Council, for the purposes of creating a public pathway over 348 Pass of Melfort, Strata Lot 10, Plan VIS5896, Section 1, Barclay Land District:</p> <p>1. Direct District of Ucluelet staff to execute and register the S.218 Statutory Right of Way attached as Appendix A of staff report 22-78.</p> <p>2. Direct District of Ucluelet staff to coordinate the environmental and estimating work required so that a public pathway over 348 Pass of Melfort and relocated elements of the Wild Pacific Trail can be considered and prioritized in future budgeting process.</p> <p>It was moved and seconded THAT a letter of appreciation be forwarded to the property owners and some form of tribute to them be included in the trail construction.</p>	Execute and register the S.218 Statutory Right of Way attached as Appendix A of staff report 22-78. Coordinate the environmental and estimating work required so that a public pathway over 348 Pass of Melfort and relocated elements of the Wild Pacific Trail can be considered and prioritized in future budgeting process. Forward a letter of appreciation to the property owners and include some form of tribute to them in the trail construction.	Planning	In Progress	<p>Statutory Right of way has been registered.</p> <p>Environmental work yet to be completed.</p> <p>Tribute and letter will be completed at time of trail construction.</p>
16-Aug-22	Fireworks Regulation Bylaw 1302, 2022	THAT Council approves the Fireworks Fines & Penalties as presented in staff report No. 22-113 and directs staff to present an amendment to Municipal Ticket Information System Bylaw No. 949, 2004 to include these fines and penalties.	Draft MTI amendment bylaw and bring forward for Council review.	Administration	Assigned	Fall 2023
15-Nov-22	Ucluelet Garbage Collection and Regulation Bylaw No. 960, 2004	It was moved and seconded THAT Council direct staff to present an amendment to the District of Ucluelet Garbage Collection and Regulation Bylaw No. 960, 2004, to be considered at a future Council meeting, which allows for Bear Resistant Collection Carts to be stored outside provided that the container is anchored to prevent tipping or being dragged away by an adult bear.	Draft and present amendments to Bylaw No. 960, 2004 to allow for outdoor storage of garbage carts provided they are anchored.	Recreation	Deferred	Will be working with Wildsafe BC to monitor summer garbage and provide a wildlife attractant bylaw in the fall
15-Nov-22	The Moorage Street Parking Signage and Enforcement Christine Brice, Strata Manager   Ardent Properties INC.	It was moved and seconded THAT Staff provide a report about options for Ardent Properties.	No-overnight parking signage to be installed along Lyche Rd; additional line painting to be completed with next line painting works.	Public Works	In progress	Waiting for further feedback from Ardent - JM 2023.07.11

Resolution Tracking - July 2023 Joseph Rotenberg, Manager of Corporate S...

Nov-22	2023 Council Conference Attendance	It was moved and seconded THAT Council authorize all Council members to attend the Local Government Leadership Academy Elected Official Seminars, 2023 Association of Vancouver Island and Coastal Communities Convention, 2023 Union of BC Municipalities Convention and 2023 Annual Vancouver Island Economic Summit.	Register Councillors to attend conferences and book accommodation.	Administration	In Progress	Registration and hotel booking will occur when registrations open and hotel blocks are allocated.
Dec-22	Japanese Canadian Pavilion Interpretive Centre, November 2022	THAT Council direct Staff to work with the Ucluelet and Area Historical Society on the open-air pavilion proposal and report back to Council.	Work with the society on the proposal and report back to Council.	Recreation	In Progress	Setting a date to meet in the fall including the planning dept
Dec-22	Japanese Canadian Pavilion Interpretive Centre, November 2022	THAT Council direct Staff to prepare a letter of support for the Ucluelet and Area Historical Society's application to the Japanese Canadian Legacies Society for funding to create a permanent open-air pavilion which houses interpretive panels that tell the story of Japanese Canadian coastal fishing families in the twentieth century;	Provide letter of support	Recreation	In Progress	To be completed by end of September
Jan-23	Skatepark Lighting Project	It was moved and seconded THAT Council direct staff to defer the Skateboard Lighting Project until grant funding becomes available to fund the project.	Research grant opportunities for Skatepark Lighting Project.	Recreation	In Progress	Staff are monitoring for applicable funding opportunities and will report back to council when funding opportunity is identified.
Jan-23	Highway 4 Junction Landscaping	It was moved and seconded THAT Council direct Staff to work with the Ministry of Transportation and Infrastructure on options for the installation of a low maintenance xeriscape for the highway junction islands and report back to Council with costs.	Discuss options with MOTI and report back to Council with costs.	Administration	In Progress	
24-Jan-23	CMHC Rapid Housing Initiative Grant	It was moved and seconded THAT Council direct staff to continue discussions with community social support service providers with the aim of developing a partnering agreement for the ongoing operation of the housing should the District succeed in obtaining project funding from the current Canada Mortgage and Housing Corporation (CMHC) grant or other sources.	Continue discussion with potential service providers related to operation of housing.	Planning	In Progress	Ongoing, contingent on receipt of grant funding.



Feb-23	Development Permit for 449 Matterson Drive - Lot 16 Rental Building	<p>It was moved and seconded THAT Council authorize the Director of Community Planning to execute and issue Development Permit DP22-18 for the property at 449 Matterson Drive to allow the construction of a 48-unit rental apartment building and associated driveways, parking, and landscaping subject to:</p> <p>a) Final registration of the subdivision of the Lot 16 property to create the proposed "lot A" apartment building parcel at 449 Matterson Drive;</p> <p>b) Provision of all on and off-site works required to access and service the 48-unit rental apartment building including but not limited to: roads, sidewalks, landscaping, parking areas, potable water, sewer, storm water management, electrical and data services; and,</p> <p>c) Provision of a landscape deposit for 125% of the estimated costs of hard and soft landscape improvements on the property.</p>	Issue DP once subdivision is complete and other conditions are met.	Planning	Assigned	
Feb-23	Pacific Rim Housing Development Corporation	<p>It was moved and seconded THAT Council direct Staff to engage with representatives from the Pacific Rim Housing Development Cooperative and report back to Council on the following questions:</p> <p>Is the project and related District of Ucluelet funding request lawful, given the Cooperative's rules?                      What are the building costs?                      What is the requested District of Ucluelet capital investment?</p>	Obtain legal documents from Pacific Rim Housing Development Cooperative and submit for legal review. Report Solicitor opinion to Council.	Administration	In Progress	
Feb-23	2023 - 2027 Draft Five Year Financial Plan (Verbal Report)	It was moved and seconded THAT staff bring back a report to Council on alternative revenue sources.	Present report to Council on alternative revenue sources.	Administration	Assigned	
14-Mar-23	Peninsula Road Safety and Revitalization	It was moved and seconded THAT Council direct staff to proceed with the Peninsula Road Safety and Revitalization Project as presented in 23-32 staff report and report back to Council with project phasing options for consideration.	Proceed with the project. Present Council report on phasing options for the project.	Public Works	Assigned	Ongoing. Next Council update Aug 8 - JM
28-Mar-23	Joanne Sales, Executive Director Broom Busters		Coordinate with Broom Busters regarding Broom removal.	Public Works	Assigned	
11-Apr-23	In-Kind Donation of District of Ucluelet Property for Strawberry Isle Marine Research Society Storage Container	It was moved and seconded THAT Strawberry Isle Marine Research Society's request for an In-Kind donation of space for their new storage container be deferred to staff to present a report to Council at a future date.	Present report.	Recreation	Complete	To be presented to July 18, 2023 Council

Resolution Tracking - July 2023 Joseph Rosenberg, Manager of Corporate...

09-Apr-23	Lot 16 Utilities Servicing Contribution Agreement	It was moved and seconded:  THAT Council authorize the expenditure of up to \$20,000 from the British Columbia Growing Communities Fund for the upgrading of existing service connections and engineering fees identified by the District as part of the Lot 16 servicing works being undertaken by 0985470 B.C. LTD. under the Servicing Contribution Agreement.	Enter into Servicing Contribution Agreement.	Public Works	Complete	
09-May-23	Rezoning Application 828 Odyssey Lane	It was moved and seconded THAT Council direct Staff to provide a follow-up report on:  allowed uses in the Guest House Zone; allowed number of units; and the residency requirement.	Present report to Council.	Planning	Assigned	
09-May-23	Parking Concerns at 1624 Bay Street	It was moved and seconded THAT Council authorize the installation of a speed-reducing raised crosswalk on Bay Street at the entrance of the Edna Bachelor Park.	Install raised crosswalk.	Public Works	Assigned	Coordinating contractors paving schedule. Hoping for August - JM 2023.07.11
09-May-23	Sanitary Lift Station Bypass Contract	It was moved and seconded THAT Council authorize the Mayor and Corporate Officer to execute a contract for \$156,809 plus G.S.T. between the District of Ucluelet and Ridgeline Mechanical Ltd. to complete the Victoria Road Lift Station bypass installation.	Implement bypass and execute contract.	Public Works	Assigned	Work scheduled for September - JM 2023.07.11
09-May-23	Food Bank on the Edge Support Request	It was moved and seconded THAT Council direct staff to amend the 2023 to 2027 Five-Year Financial Plan to reflect an allocation of \$150,000 to the Food Bank on the Edge Society.	Amend Bylaw.	Finance	Assigned	
09-May-23	Food Bank on the Edge Support Request	It was moved and seconded THAT Council authorize the allocation of \$150,000 to the Food Bank on the Edge Society for the Food Bank building project.	Allocate funds.	Finance	Assigned	
09-May-23	Food Bank on the Edge Support Request	It was moved and seconded THAT Council authorize the development of a lease agreement for a portion of the lands commonly referred to as Tugwell Fields between the District of Ucluelet and the Food Bank on the Edge Society for the future location of the Food Bank building.	Bring back lease agreement, for Council approval.	Administration	Assigned	

Resolution Tracking - May 2023 Joseph Rotenberg, Manager of Corporate S...

09-May-23	Food Bank on the Edge Support Request	It was moved and seconded THAT Council authorize the development of a lease agreement for a portion of the lands commonly referred to as Tugwell Fields between the District of Ucluelet and the Food Bank on the Edge Society for the future location of the Food Bank building.	Notice of disposition, if elector approval is received.	Administration	Assigned	
09-May-23	Food Bank on the Edge Support Request	It was moved and seconded THAT Council authorize the development of a lease agreement for a portion of the lands commonly referred to as Tugwell Fields between the District of Ucluelet and the Food Bank on the Edge Society for the future location of the Food Bank building.	Conduct elector approval process (if required)	Administration	Assigned	Report in Summer 2023.
09-May-23	Food Bank on the Edge Support Request	It was moved and seconded THAT Council authorize the development of a lease agreement for a portion of the lands commonly referred to as Tugwell Fields between the District of Ucluelet and the Food Bank on the Edge Society for the future location of the Food Bank building.	Draft lease.	Administration	Assigned	
09-May-23	Food Bank on the Edge Support Request	It was moved and seconded THAT Council authorize the development of a lease agreement for a portion of the lands commonly referred to as Tugwell Fields between the District of Ucluelet and the Food Bank on the Edge Society for the future location of the Food Bank building.	Determine if elector approval is required, and if so, commence elector approval process.	Administration	Complete	Elector Approval is required. Report in Summer 2023.
09-May-23	Options for Mobile Vending Regulations	It was moved and seconded THAT Council direct staff to explore options for locating food trucks on public lands in Ucluelet for discussion at a Committee-of-the-Whole meeting (in Fall of 2023 or later).	Present report.	Planning	Assigned	Fall 2023 or winter 2024
09-May-23	Options for Mobile Vending Regulations	It was moved and seconded THAT Council direct staff to draft bylaw and policy changes for improving the regulation and permitting of mobile vendors in the District of Ucluelet, for discussion at a Committee-of-the-Whole meeting (in Fall of 2023 or later).	Draft and present bylaw and policy changes.	Planning	Assigned	Fall 2023 or winter 2024
09-May-23	Options for Mobile Vending Regulations	It was moved and seconded THAT Council direct staff to prioritize developing a Mobile Vending Policy and reviewing the zoning options for future mobile vending uses ahead of processing individual mobile vendor applications.	Develop policy.	Planning	Assigned	Fall 2023 or winter 2024
16-May-23	District of Ucluelet Zoning Amendment Bylaw No. 1328, 2023 (1633 Holly Crescent)	It was moved and seconded THAT Council adopt District of Ucluelet Zoning Amendment Bylaw No. 1328, 2023.	Update bylaw readings, sign and file	Administration	Complete	

Resolution Tracking - July 2023 Joseph Rosenberg, Manager of Corporate Services

May-23	District of Ucluelet Zoning Amendment Bylaw No. 1326, 2023 (Minor Amendments) - Addition of Daycare Centre use to the CS-2 Zone and a Cleanup of Section 403	It was moved and seconded THAT Council adopt District of Ucluelet Zoning Amendment Bylaw No. 1326, 2023.	Update bylaw readings, sign and file	Administration	Complete	
May-23	District of Ucluelet Zoning Amendment Bylaw No. 1327, 2023 (2108 Peninsula Road)	It was moved and seconded THAT Council adopt District of Ucluelet Zoning Amendment Bylaw No. 1327, 2023.	Update bylaw readings, sign and file	Administration	Complete	
Jun-23	May 9, 2023 Regular Council Minutes	It was moved and seconded THAT the May 9, 2023 Regular Council Meeting Minutes be adopted as presented.	Print, sign, and post minutes.	Administration	Complete	
Jun-23	May 16, 2023 Special Council Minutes	It was moved and seconded THAT the May 16, 2023 Special Council Meeting Minutes be adopted as presented.	Print, sign, and post minutes.	Administration	Complete	
Jun-23	CMHC Housing Accelerator Fund	It was moved and seconded THAT Council direct staff to prepare an application to the CMHC Housing Accelerator Fund (HAF) program as a strategic priority.	Prioritize application.	Planning	Assigned	
08-Jun-23	DVP for Residential Addition at 272 Main Street	It was moved and seconded THAT Council, with regard to the proposed residential addition at 272 Main Street (Lot 1, District Lot 282, Clayoquot District, Plan 12287) direct staff to give notice for Development Variance Permit DVP23-05.	Provide notice and bring Development Variance Permit back to Council for consideration.	Planning	Complete	
08-Jun-23	Canada Day Road Closure	It was moved and seconded THAT Council authorize the closure of a portion of Fraser Lane between Main Street and Jamie's Whaling Station from 8:00 a.m. to 4:00 p.m. in front of the Village Green annually on July 1st for the District of Ucluelet Canada Day event.	Promote Canada Day event and notify the public of the closure.	Administration	Complete	



08-Jun-23	Canada Day Road Closure	It was moved and seconded THAT Council authorize the closure of a portion of Fraser Lane between Main Street and Jamie's Whaling Station from 8:00 a.m. to 4:00 p.m. in front of the Village Green annually on July 1st for the District of Ucluelet Canada Day event.	Notify affected businesses.	Recreation	Complete	
08-Jun-23	Ukee Days Annual Road Closure and Noise Bylaw	It was moved and seconded: THAT Council authorize the closing of a portion of Fraser Lane between Main Street and Jamie's Whaling Station from 10:00 a.m. to 10:00 p.m. annually on the last Friday of July, for Ukee Days activities; and,  THAT Council authorize the temporary closure of Peninsula Road between Matterson Road and Seaplane Base Road from 10:00 a.m. to 10:45 a.m. annually on the last Saturday of July for the Ukee Days parade; and further,  THAT Council to authorize Ukee Days festivities to act outside of the Noise Control Bylaw No. 915, 2003, Section 3 (g) and grant an extension up to 11:30 p.m. at the Ukee Days Fairgrounds 160 Seaplane Base Road on the last Saturday of July, annually, for the Ukee Days event.	Promote Ukee Days event and notify the public of the closure.	Administration	Assigned	
08-Jun-23	Ukee Days Annual Road Closure and Noise Bylaw	It was moved and seconded: THAT Council authorize the closing of a portion of Fraser Lane between Main Street and Jamie's Whaling Station from 10:00 a.m. to 10:00 p.m. annually on the last Friday of July, for Ukee Days activities; and,  THAT Council authorize the temporary closure of Peninsula Road between Matterson Road and Seaplane Base Road from 10:00 a.m. to 10:45 a.m. annually on the last Saturday of July for the Ukee Days parade; and further,  THAT Council to authorize Ukee Days festivities to act outside of the Noise Control Bylaw No. 915, 2003, Section 3 (g) and grant an extension up to 11:30 p.m. at the Ukee Days Fairgrounds 160 Seaplane Base Road on the last Saturday of July, annually, for the Ukee Days event.	Notify affected businesses.	Recreation	Completed	
08-Jun-23	Yuulu?i?ath Canoe Log	It was moved and seconded THAT Council authorize staff to work with the Yuulu?i?ath Government on the return of the canoe log, including the existing signage and fencing, to Hitacu.	Work with YG to return canoe, signage and fencing to Hitacu.	Public Works	Assigned	
08-Jun-23	UBCM Minister Meetings Duane Lawrence, Chief Administrative Officer	It was moved and seconded THAT Council direct staff to prepare ministerial meeting request(s) on the following topic for the 2023 Union of British Columbia Municipalities conference:  health care.	Request meetings and draft briefing note.	Administration	Complete	

Resolution Tracking - July 2023 Joseph Rotenberg, Manager of Corporate S...

Jun-23	Yuulu?if?ath Government, 2023-2027 Members of the Legislature	It was moved and seconded THAT Council direct Staff to write a letter of congratulation from the Mayor and Council to President McCarthy and the other Members of the Yuulu?if?ath Government Legislature.	Draft letter, sign and send.	Administration	Complete	
Jun-23	June 8, 2023 Regular Council Meeting Minutes	It was moved and seconded THAT the June 8, 2023 Regular Council Meeting Minutes be adopted as presented.	Sign, file and post minutes	Administration	Complete	
Jun-23	Environmental and Development Variance Permit - 1567 Imperial Lane	It was moved and seconded THAT Council, with regard to the proposed dock and associated structural works proposed at 1567 Imperial Lane:  a. authorize the Director of Community Planning to execute and issue Development Variance Permit 23-04 for the construction of a dock and associated structures; and,  b. authorize the Director of Community Planning to execute and issue Development Permit 23-02 to allow a dock to be constructed in an Environmental Development Permit Area.	Issue DVP 23-04 and DP 23-02.	Planning	Complete	
Jun-23	DVP for Residential Addition at 272 Main Street John	It was moved and seconded THAT Council, in regard to the proposed residential addition at 272 Main Street (Lot 1, District Lot 282, Clayoquot District, Plan 12287):  a. authorize the Director of Community Planning to execute and issue Development Variance Permit 23-05 to allow a three-storey residential addition; and,  b. authorize the Director of Community Planning to execute and issue Development Permit 22-03 for Form and Character of the proposed three-storey residential addition.	Issue DVP 23-05 and DP 22-03.	Planning	Complete	
27-Jun-23	DVP for Subdivision Servicing - Lot 16 Marine Drive/ 449 Matterson Drive	It was moved and seconded THAT Council direct Staff to investigate transitioning the future road access point from Victoria Road into the Lot 16 development as an emergency access only.	Present report.	Planning	Assigned	
27-Jun-23	DVP for Subdivision Servicing - Lot 16 Marine Drive/ 449 Matterson Drive	It was moved and seconded THAT Council authorize the Director of Community Planning to execute and issue Development Variance Permit DVP23-03 for the road dedication and servicing of the proposed subdivision on the property at Lot 16 District Lot 281 Clayoquot District Plan VIP76214 Except part in plans VIP80735, VIP83067 and VIP86140 ("Lot 16"), subject to meeting the conditions listed in the permit prior to final subdivision approval.	Issue DVP23-03	Planning	Complete	
27-Jun-23	Larch Road Multi-Use Path Design, Costs, and Next Steps	It was moved and seconded THAT Council endorse the Larch Road Multi-Use Path design as presented in report 23- 90 and direct staff to prepare a tender for the construction of the project.	Tender project	Public Works	Assigned	Tender documentation are ready to be issued in July - JM 2023.07.11

Jun-23	Flood Hazard Data Use and Sharing Agreement	It was moved and seconded THAT Council authorize the Mayor and Corporate Officer to execute an agreement with the Province of British Columbia known as the Flood Hazard Mapping Studies Data Use and Sharing Agreement.	Execute contract	Administration	Complete	
Jun-23	UBCM Minister Meetings	It was moved and seconded THAT Council direct staff to submit ministerial meeting requests to the Ministry of Health regarding increased specialist care in rural municipalities and increased resident physician care to service increased visitor populations and the Ministry of Forests regarding tabular stumpage rates for the 2023 Union of British Columbia Municipalities conference.	Submit meeting requests	Administration	Complete	

**From:** [Info Ucluelet](#)  
**To:** [Joseph Rotenberg](#)  
**Cc:** [Duane Lawrence](#)  
**Subject:** FW: UPDATES: 2024 Convention & Accommodations, Open-Net Pen Transition Plan, Modernized Emergency Management Legislation, UBCM Grant Webinars  
**Date:** July 5, 2023 2:33:11 PM  
**Attachments:** [image001.png](#)  
[Open-Net Pen Transition Phase 3 Discussion Guide.pdf](#)  
[image002.png](#)

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**Kathryn Wallace**  
**Administrative Clerk**

District of Ucluelet  
P.O. Box 999, Ucluelet, B.C.  
Phone: 250-726-7744

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**From:** AVICC <[avicc@ubcm.ca](mailto:avicc@ubcm.ca)>  
**Sent:** Wednesday, July 5, 2023 12:06 PM  
**To:** Theresa Dennison <[tdennison@ubcm.ca](mailto:tdennison@ubcm.ca)>  
**Subject:** UPDATES: 2024 Convention & Accommodations, Open-Net Pen Transition Plan, Modernized Emergency Management Legislation, UBCM Grant Webinars

**[External]**

*Please forward to elected officials, the CAO and Corporate Officer:*

#### 2024 AVICC AGM & Convention Update

The 2024 Convention will be held in Victoria from Friday April 12 to Sunday April 14 at the Victoria Conference Centre. The City of Victoria will be our hosts, and we thank them for supporting the Association. AVICC would like to thank the [Songhees Nation](#) and the [Esquimalt Nation](#) for welcoming our members to their territories for the upcoming convention, and we look forward to their involvement throughout. The AVICC Executive will be calling for session proposals in the Fall and confirming sessions in early 2024. The resolutions and nominations deadline will be determined and communicated in late-October.

AVICC has set up accommodation blocks at preferred rates with three of the hotels closest to the Fairmont Empress and Victoria Conference Centre, where the convention will take place. 2024 hotel room reservation information is available at the following link: [2024 Accommodations](#).

#### Open-Net Pen Transition Plan Consultation & Engagement Extension Update

Please find below and attached information about the Fisheries and Oceans Canada's engagement process on the development of an Open-Net Pen Transition Plan for salmon aquaculture in British Columbia.

#### Modernized Emergency Management Legislation Update

Updates have recently been made to the following page on the Province of British Columbia website: [Modernized emergency management legislation](#)

The Ministry of Emergency Management and Climate Readiness (EMCR) has released a

UPDATES: 2024 Convention & Accommodations, Open-Net Pen Transition Plan,...



paper outlining legislation proposed to replace the Emergency Program Act. The statute is a key component of B.C.'s commitment to modernize emergency management legislation in alignment with the UN Sendai Framework for Disaster Risk Reduction and aligns with the UN Declaration on the Rights of Indigenous Peoples and the Declaration on the Rights of Indigenous Peoples Act. EMCR is partnering with the BC Association of Emergency Managers to deliver webinars to help emergency management practitioners prepare for the incoming legislation. The sessions run from July 5 to Aug 28 and recordings will be available through BCAEM. Sign up here: <https://lnkd.in/gCkUP6MT>

### UBCM Upcoming LGPS Webinars

In support of new intakes for the Community Emergency Preparedness Fund and FireSmart Community Funding & Supports, as well as a new funding program for Next Generation 911, LGPS staff will be hosting a series of virtual webinars to provide information to UBCM members and other eligible applicants:

1. July 18 - [UBCM Funding Webinar: Community Emergency Preparedness Fund](#)
2. July 26 - [UBCM Funding Webinar: FireSmart Community Funding & Supports](#)
3. August 2 - [UBCM Funding Webinar: Next Generation 911](#)

Association of Vancouver Island and Coastal Communities

604-270-8226 ext 221

[avicc@ubcm.ca](mailto:avicc@ubcm.ca)

[www.avicc.ca](http://www.avicc.ca)



*The AVICC acknowledges that we are grateful to live, work, and play on the traditional territories of the Coast Salish, Nuu-Chah-Nulth and Kwak-Waka'wakw Peoples*

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**From:** "PAC Aquaculture Engagement / Engagement de laquaculture PAC (DFO/MPO)"  
<[DFO.PACAquacultureEngagement-EngagementdeLaquaculturePAC.MPO@dfo-mpo.gc.ca](mailto:DFO.PACAquacultureEngagement-EngagementdeLaquaculturePAC.MPO@dfo-mpo.gc.ca)>

**Date:** Tuesday, July 4, 2023 at 3:16 PM

**Subject:** Extension of consultation and engagement process for Open-Net Pen Transition Plan

**Subject:** Extension of consultation and engagement process for Open-Net Pen Transition Plan

Thank you for your continued interest in Fisheries and Oceans Canada's engagement process on the development of an Open-Net Pen Transition Plan for salmon aquaculture in British Columbia.

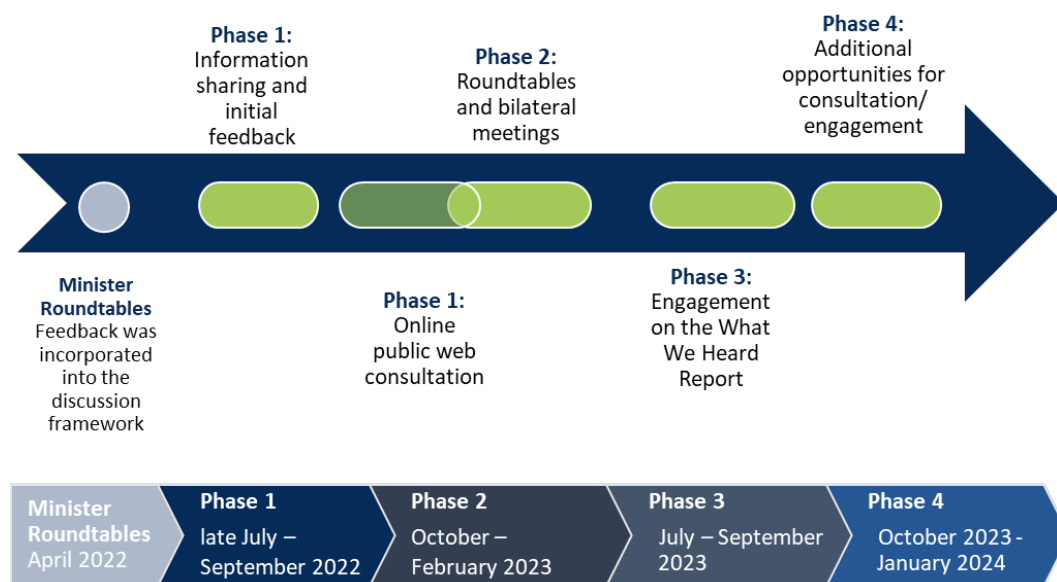
This email provides an update to our May 15, 2023 email on the [Phase 1 and 2 What We Heard Report](#) and ongoing engagement. To respond to requests from First Nations, industry, and stakeholders, we are extending consultation on the open-net pen aquaculture transition to all interested parties through the summer. The next phases of engagement and consultation are described below:

### Phase 3 – Engagement on the What We Heard Report (July to September 2023)

Phase 3 will be available for all engaged parties who want to continue their dialogue with DFO to ensure that they are thoroughly engaged and consulted in discussions related to potential outcomes of a transition plan. We have attached a high-level discussion guide for reference.

### Phase 4 – Additional opportunities for consultation/engagement (October 2023 to January 2024)

Phase 4 will provide additional opportunities for more targeted engagement on an as-needed basis.



Please contact us at [DFO.PACAquacultureEngagement-EngagementdeaquaculturePAC.MPO@dfo-mpo.gc.ca](mailto:DFO.PACAquacultureEngagement-EngagementdeaquaculturePAC.MPO@dfo-mpo.gc.ca) if you would like to set up a meeting to discuss the What We Heard report in more detail, if you would like to provide feedback, or if you would like more information on upcoming meeting dates with specific communities of interest. We encourage partners and stakeholders to contact us as soon as possible to set up meetings. Written submissions with input on the What We Heard Report can also be shared via email until Friday, September 15, 2023.

We look forward to working with you on the future of salmon aquaculture in British Columbia.

Sincerely,

Aquaculture Management Division



## Open-net Pen Transition Plan – Phase 3 Consultation July 2023

The purpose of this document is to provide partners and interested stakeholders with information on the next phase of the open-net pen transition consultation. Phase 3 will run to the end of September 2023. Phase 4 will follow and will involve further targeted engagement.

In 2019 and 2021, the Minister of Fisheries, Oceans and the Canadian Coast Guard was mandated to work with the Province of British Columbia (B.C.) and Indigenous communities on a responsible plan to transition from open net-pen salmon farming in coastal B.C. waters by 2025.

In June 2022, the Department released a [Discussion Framework](#) to guide engagement on the development of an Open-Net Pen Transition Plan. The Discussion Framework proposed four main objectives for the Transition Plan: transition from open-net pen aquaculture; trust and transparency; reconciliation and Indigenous partnerships, and growth in B.C. sustainable aquaculture innovation.

During the engagement process, partners and stakeholders shared a variety of views about these objectives. These views are summarized in the [What We Heard Report](#) for phases 1 and 2 of the engagement process. In Phase 3, all participants have the opportunity to reflect on the full scope of what was heard and provide their own perspectives on the points raised.

Participants supported the development of a responsible plan to transition from open-net pen salmon farming in coastal B.C. but with significant variation on what a responsible plan would look like. There was a significant range of perspectives in the objective focused on the transition from open-net pen salmon aquaculture. Input on the rest of the objectives, while less varied, was always based on participant's perspectives on how they viewed the fundamentals of transition. Some participants advocated for the immediate removal of marine salmon aquaculture, while some supported a performance and outcomes-based transition focused on the goal of minimizing or eliminating interactions between wild and cultured fish. Some expressed preference for a rapid transition focused on specific technologies, while other input targeted results.

It is important to better understand the specifics of options that have been put forward by participants in the consultations, as well as the impacts of those options and how they might be mitigated.

The following questions are intended to probe on these issues.

1) Through consultations, some participants recommended an approach to remove open net pens in the near term (e.g. by 2025):

- How would you see that being implemented?
- What specific factors would need to be considered to advance such an option?
- Over what time horizon would you see such an option implemented — i.e. completed by what date? Are there phases or milestones that should be included?
- What would be the potential impacts of a requirement in to remove open net pens in the near terms, for communities, for businesses, for wild salmon, etc?
- For First Nation communities, what are your community's perspectives on this option? How should the Government continue to pursue reconciliation with your community and your broader socioeconomic, financial, cultural and other needs and interests?



- What kinds of alternative economic activities and business development could support employment in communities affected by such an option? What kind of economic transition measures and specific supports could be used to mitigate impacts of this option?

2) Other participants in consultations recommended that a transition focus an approach that mandates more stringent performance outcomes to progressively minimize or eliminate interactions with wild salmon over time.

- How would such an approach be implemented?
- What specific factors need to be considered to advance such an option?
- Over what time horizon would you expect interactions between fish farms and wild salmon to be eliminated? Are there phases or milestones that should be included?
- What would be the potential impacts of such an option, for communities, for businesses, for wild Pacific salmon, etc.?
- For First Nation communities, what are your community's perspectives on this option? How should the Government continue to pursue reconciliation with your community and your broader socioeconomic, financial, cultural and other needs and interests?
- What kinds of alternative economic activities and business development could support employment in communities affected by such an option? What kind of specific economic measures and supports could be used to mitigate impacts of this option?

3) Are there hybrid options that combine elements of the two different approaches outlined in questions 1) and 2)?

- How would such an approach be implemented?
- What specific factors need to be considered to advance such an option?
- Over what time horizon would you see such an option implemented? Are there phases or milestones that should be included?
- What would be the potential impacts of such an option, for communities, for businesses, for wild Pacific salmon, etc.?
- For First Nation communities, what are your community's perspectives on this kind of option? How should the Government continue to pursue reconciliation with your community and your broader socioeconomic, financial, cultural and other needs and interests?
- What kinds of alternative economic activities and business development could support employment in communities affected by such an option? What kind of specific economic measures and supports could be used to mitigate impacts of this option?

4) What is the role of other jurisdictions in facilitating a transition away from open net pens (e.g. municipal, regional, Provincial)?

# CITY OF SURREY

OFFICE OF THE MAYOR

July 5, 2023

Mayor and Council  
Ucluelet (District)  
200 Main Street  
Ucluelet, BC VoR 3A0

By email: [info@ucluelet.ca](mailto:info@ucluelet.ca)



BRENDA LOCKE  
MAYOR

MAYOR@SURREY.CA

604.591.4126

Dear Mayor and Council,

It is important for local governments to know the impact of the Surrey Police Transition on your city, town or regional district, should it go ahead.

As you may know, Surrey Council voted to keep the RCMP as the police of jurisdiction (POJ). We communicated our decision to the Solicitor General (SG) who, continued to “recommend” that the city stay with the transition to the Surrey Police Service (SPS), but asked that the City choose between two options,

- 1) To continue the transition to the SPS with no evaluation of the SPS model.
- 2) To stay with the RCMP as the POJ with conditions.

The Premier, the SG and the Ministry’s report recognize that it is the role of municipalities to choose their policing model. The SGs’ authority under the Act is a safety net if the “adequate and effective” policing standard is not met. It does not grant the SG the authority to impose hundreds of millions of dollars’ worth of costs into the municipal budget on a political whim.

I am writing to you today for two reasons.

**Firstly**, is to express my deep concern for the statements made by the provincial government and the Solicitor General suggesting that should Surrey remain with the RCMP would create a public safety crisis; this is not truthful.

In fact, the ministry’s own report states *“It is not based on a failure by police to deliver adequate and effective policing nor a failure in public safety. Quite the opposite is true, front-line officers in the SPS and the RCMP are working hard to serve those who reside in and visit Surrey”*. It went on to say *“This Director’s Report is not a comparative assessment of the two police models. It is also not intended to provide a comprehensive assessment of the impacts of continuing with the current police transition to the SPS.”*



13450 – 104 AVENUE SURREY BRITISH COLUMBIA CANADA V3T 1V8

Correspondence from the Office of the Mayor - City of Surrey Brenda Lock...

This interference should have significant concern to local government if the SG establishes a precedent of indiscriminately imposing massive costs onto

municipal government with no rationale other than vaguely referencing public safety concerns. Adequate and effective policing is in place in our city and our province, and for the Premier and the Solicitor General to infer there is a public safety crisis is not supported by data.

The central fear articulated by the premier and SG is the sudden dissolution of the SPS may lead to a walk out. The SPS Board has provided assurances that the SPS officers will remain on duty. Because the SPS Board reports to the province (not the city), they will take its instructions from the Ministry of the Solicitor General and Public Safety. One simple mandate letter from the province would remove the only concern for this public safety threat.

On the other hand, approving the SPS would create massive pressure on policing in the province, which would not exist if we remained with the RCMP. The only police training facility in the province, the JIBC, was past its capacity to meet the needs of municipal policing in BC even before the SPS was established. It is also important to recognize that police officer training at the JIBC has been under scrutiny. In order to properly address the police training needs in British Columbia would require expanding the JIBC. To date, the provincial budget has not addressed this expensive and time-consuming need. Waiting years for the JIBC training to fill the SPS cadet requirement will not only cost Surrey millions in time delays, but it will also impact other municipal police forces who cannot get seats at the JIBC.

Therefore, the only other route to full capacity for the SPS is hiring experienced police officers from your communities as they have done to date.

If the SG were to impose the SPS on Surrey, I would strongly recommend you communicate directly to the SG that you expect him to impose the same "public safety" restrictions on the SPS hiring from LMD communities as he has placed on the RCMP.

**Secondly**, and perhaps more important to local governments, is the financial and human resource impact that continuing with the Surrey Police Transition will have on every city, town, transit police and regional district in the province.

The SG's plan to move forward with the SPS will cost you financially if you are currently an RCMP jurisdiction. As RCMP divisional administrative costs are shared costs among all RCMP jurisdictions, so far it is estimated that because of the size of the Surrey detachment, your policing costs will increase by up to 7%.

If you are served by a municipal police force, it is important to know that the provincially appointed Surrey Police Board signed the richest collective agreement in Canada. This agreement will likely impact all future municipal police board negotiations.

The Surrey RCMP requires approx. 170 officers to return to full complement. Over 80 SPS officers have expressed interest in making this move according to the Officer in Charge. Further, the RCMP has stated that they can and will accommodate the human resource needs, not only to Surrey, but throughout the region, with the new recruiting and experienced officer programs.

In contrast, the Surrey Police Service (SPS) requires over 400 additional officers beyond those hired to date, to get to full strength. Although the province recognized the scope of the Surrey police transition from the beginning, they did not increase the funding to the Justice Institute of British Columbia (JIBC) in order to accommodate the officer training needed. The reality is that, just as the SPS has done to date, the vast majority of the SPS hires will come by recruiting from the RCMP, TransLink and other municipal forces throughout the province.



**In closing,**

My concern is the duplicity of the provincial government on this matter. The Ministry report and SG explicitly stated that we had two choices - to remain with the RCMP or the SPS - and conditions to meet with either option.

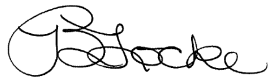
Based on the facts we examined, we chose the RCMP - with a more significant majority of council than we had originally - and we have committed to meeting the binding conditions.

The SGs' response is to move the goalposts and claim the need to review the plan and potentially overturn the council decision. I have offered to work with the province to ensure the requirements are met, and the province refuses to acknowledge the offer.

As local government leaders, we need to stand up for our authority under the Police Act. Like with your municipality, Surrey Council knows our community best. We cannot allow a "manufactured crisis" to drive a significant and costly public safety decision that will impact generations to come.

Please do not hesitate to contact me if you have any questions, I look forward to hearing from you.

Sincerely,



Brenda Locke  
Mayor







June 28, 2023



Re: CBT prepares 2023 Vital Signs report

Dear Mayor McEwen and Council,

Since 2012, the CBT has prepared a *Vital Signs* report for the Clayoquot Sound Biosphere Region. This report, which has been published in 2012, 2014, 2016, and 2018, collates and analyzes data for a variety of indicators that measure the vitality around the broad subject areas of economy, environment, health, learning, housing, transportation, safety, youth, and more. *Vital Signs* is a way to identify significant trends and to stimulate discussion and action on issues that are critical to the health of the region's ecosystems and communities.

To prepare the report, our team brings together data from CBT projects such as the Living Wage, initiatives of other nonprofits, and information provided by First Nations and local communities and by the Vancouver Island Health Authority, the BC Ministry of Education, Parks Canada, Statistics Canada, researchers, and other sources. The reports are publicly available with the intent of inspiring meaningful data-driven conversations that will lead to specific actions in priority areas.

**We are pleased share that we are in the process of preparing a new *Vital Signs* report for 2023.** Although our intent was to produce a report every two years, the pandemic disrupted our schedule, so we're eager to provide this five-year update.

In the past, we have reached out to communities to gather data that might not be captured in Statistics Canada or other metrics with a broad geographic range. Nuu-chah-nulth Nations, for example, have helped us determine accurate population counts. As well, communities have generously made us aware of reports they have commissioned that might provide us with data.

Our team is currently working on the update, with a goal to publish the report in early October. As such, we may be in touch with your administration and staff to help gather relevant information. If you have information to share and/or if you have indicators that you would like to see data on, please get in touch with me or with Adrienne Mason, the project manager. Adrienne can be reached at [250-266-0141/toughcitywriter@gmail.com](mailto:250-266-0141/toughcitywriter@gmail.com).

Please don't hesitate to reach out if you have any questions.

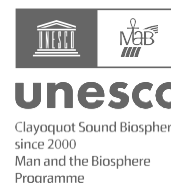
Sincerely,

Rebecca Hurwitz,  
Executive Director

PO Box 67, 316 Main Street, Tofino BC Canada V0R 2Z0  
T 250.725.2219

[clayoquotbiosphere.org](http://clayoquotbiosphere.org)

CBT Prepares 2023 Vital Signs Report Rebecca Hurwitz, Executive Director...





## Admin Support

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**From:** Kellett, Leslie <Leslie.Kellett@princegeorge.ca>  
**Sent:** June 28, 2023 2:47 PM  
**Subject:** City of Prince George Resolution Submission to 2023 UBCM Convention  
**Attachments:** City of Prince George Resolution - Reimbursing Local Governments for Medical Services Provided by Local Government Fire and.pdf

**[External]**

Good afternoon, Mayor and Council,

At the June 26, 2023 regular council meeting, City of Prince George Council approved submitting a resolution to the 2023 UBCM Convention regarding “Reimbursing Local Governments for Medical Services Provided by Local Government Fire and Rescue Services” and further resolved to share this resolution with UBCM member municipalities.

We appreciate your consideration to support this resolution at the 2023 UBCM Convention.

Sincerely,



**LESLIE KELLETT**

Deputy Corporate Officer

5<sup>th</sup> Floor, 1100 Patricia Blvd., Prince George, B.C. V2L 3V9

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[leslie.kellett@princegeorge.ca](mailto:leslie.kellett@princegeorge.ca)

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## City of Prince George

## Resolution Submitted to the 2023 UBCM Convention

**Reimbursing Local Governments for Medical Services Provided by Local Government Fire and Rescue Service**

*WHEREAS communities across British Columbia are facing a significant increase in calls to respond to emergency medical incidents;*

*AND WHEREAS local governments provide for their fire departments to support prehospital patient care in their community by providing emergency medical services that assist the Provincial Government's BC Ambulance Service;*

*AND WHEREAS the costs associated with supporting prehospital care by local government fire departments has increased significantly in relation to response hours and increased use of first aid and other medical supplies and that such costs are funded solely through local government property taxation;*

*THEREFORE BE IT RESOLVED that the Provincial Government develop a funding model to compensate local governments who provide emergency medical services through their fire and rescue services fulfilling the responsibility of the provincial government with consideration given to community population and the fire department's authorized level of emergency medical response.*





## Joseph Rotenberg

---

**From:** Bruce Greig  
**Sent:** July 13, 2023 2:29 PM  
**To:** Joseph Rotenberg  
**Subject:** FW: ACRD Advisory Committee Recruitment: Solid Waste Management Plan

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**From:** Jodie Frank <jfrank@acrd.bc.ca> **On Behalf Of** ACRD Solid Waste Management Plan  
**Sent:** Thursday, July 13, 2023 1:57 PM  
**Cc:** Jenny Brunn <jbrunn@acrd.bc.ca>; Heather Zenner (ACRD) <hzenner@acrd.bc.ca>; Brenda Sauve <bsauve@acrd.bc.ca>; Paulo Eichelberger <peichelberger@acrd.bc.ca>  
**Subject:** ACRD Advisory Committee Recruitment: Solid Waste Management Plan

**[External]**

Good Afternoon,

The Alberni-Clayoquot Regional District (ACRD) is creating a new Solid Waste Management Plan (SWMP) – a long-term plan that will map out our goals for waste reduction in the region.

We're currently seeking members for the Public Advisory Committee that will help guide the SWMP process. The committee receives and reviews information and provides feedback and advice. Members play an integral role in the plan process and are invited to ask questions, engage in discussions, and provide comment.

The ACRD is seeking representation from a diverse group of interest and sectors, including those actively involved in waste management and interested members of the general public. We are now accepting applications until end of day July 31, 2023.

To apply to become an advisory committee member, please review and complete the application form [here](#).

To find out more information about this opportunity:

- Email: [swmp@acrd.bc.ca](mailto:swmp@acrd.bc.ca)
- Phone: 250-720-2700
- Review the terms of reference [here](#)

For more information about the SWMP process, visit the [project page](#).

Thank you for your time – and we look forward to hearing from you.

Green Regards



**JODIE FRANK**  
 Alberni-Clayoquot Regional District  
 Solid Waste Project Coordinator

Phone: 250 720 2700  
[acrd.bc.ca](http://acrd.bc.ca)

**Get the Sort'nGo ACRD App and never miss a collection day again!**



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