



**REGULAR MEETING OF COUNCIL
Tuesday, June 27, 2023 @ 4:00 PM
Ucluelet Community Centre
500 Matterson Drive, Ucluelet**

AGENDA

Page

1. CALL TO ORDER
 - 1.1 ACKNOWLEDGEMENT OF THE YUULU?IŁ?ATH
Council would like to acknowledge the Yuulu?ił?ath, on whose traditional territories the District of Ucluelet operates.
 - 1.2 NOTICE OF VIDEO RECORDING
Audience members and delegates are advised that this proceeding is being video recorded and broadcast on YouTube and Zoom, which may store data on foreign servers.

2. CLOSED SESSION
 - 2.1 Procedural Motion to Move In-Camera
THAT the meeting be closed to the public in order to address agenda items under Section 90(1) (a) personal information about an identifiable individual who holds or is being considered for a position as an officer, employee or agent of the municipality or another position appointed by the municipality; and, (l) discussions with municipal officers and employees respecting municipal objectives, measures and progress reports for the purposes of preparing an annual report under section 98 [annual municipal report]) of the Community Charter.

3. LATE ITEMS
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- 11.3 Councillor Ian Kennington
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- 11.4 Councillor Mark Maftei
Deputy Mayor, October 1 - December 31, 2023
- 11.5 Mayor Marilyn McEwen
12. QUESTION PERIOD
13. ADJOURNMENT

DISTRICT OF UCLUELET
MINUTES OF THE REGULAR COUNCIL MEETING
HELD IN THE UCLUELET COMMUNITY CENTRE, 500 MATTERSON DRIVE
Thursday, June 8, 2023 at 4:00 PM

Present: **Chair:** Mayor McEwen
 Council: Councillors Anderson, Hoar, Kennington, and Mafei
 Staff: Duane Lawrence, Chief Administrative Officer
 Bruce Greig, Director of Community Planning
 Abby Fortune, Director of Parks and Recreation
 Joseph Rotenberg, Manager of Corporate Services
 Monica Whitney-Brown, Planning Assistant

Regrets:

1. CALL TO ORDER

The June 8, 2023 Regular Council Meeting was called to order at 4:00 PM.

1.1 ACKNOWLEDGEMENT OF THE YUULU?IŁ?ATH

Council acknowledged the Yuulu?ił?ath, on whose traditional territories the District of Ucluelet operates.

1.2 NOTICE OF VIDEO RECORDING

Audience members and delegates were advised that the proceeding was being video recorded and broadcast on YouTube and Zoom, which may store data on foreign servers.

2. LATE ITEMS

There were no late items.

3. APPROVAL OF THE AGENDA

3.1 Deletion of Item 8.1 - Rezoning Application 23-04 - 1624 Larch Road

The Mayor noted that the Applicant has requested that Item 8.1 be removed from the agenda because adjusted plans are being submitted.

2023.2156.REGULAR *It was moved and seconded **THAT** item 8.1 of the Agenda be deleted and the agenda be renumbered accordingly.*

CARRIED.

3.2 June 8, 2023 Regular Meeting Agenda

2023.2157.REGULAR *It was moved and seconded **THAT** the June 8, 2023 Regular Council Meeting Agenda be approved as amended.*

CARRIED.

4. ADOPTION OF MINUTES

4.1 May 9, 2023 Regular Council Minutes

2023.2158.REGULAR *It was moved and seconded **THAT** the May 9, 2023 Regular Council Meeting Minutes be adopted as presented.*

CARRIED.

4.2 May 16, 2023 Special Council Minutes

2023.2159.REGULAR *It was moved and seconded **THAT** the May 16, 2023 Special Council Meeting Minutes be adopted as presented.*

CARRIED.

5. PUBLIC INPUT & DELEGATIONS

5.1 Delegations

Surfrider Pacific Rim Re: Take Back the Tap Campaign

Sophie Peters presented the Take Back the Tap Campaign on behalf of Surfrider Pacific Rim. Surfrider requested that Council consider Bylaw amendments intended to prohibit the sale of plastic water bottles that are one litre or less in size.

Surfrider provided information about the impact of single use plastic water bottles on the marine environment and the impact of microplastics on human health. Surfrider also noted support among the business community for the prohibition.

Council noted limited water bottle refill stations in Ucluelet and Surfrider noted that they have been applying for grants to build new stations. Surfrider also responded to Council questions related to the disposal of plastic water bottles.

6. UNFINISHED BUSINESS

There was no unfinished business.

6.1 Procedural motion to move into Committee of the Whole

2023.2160.REGULAR *It was moved and seconded **THAT** Council go into a Committee of the Whole meeting.*

CARRIED.

7. COMMITTEE OF THE WHOLE

7.1 Growth Analysis & Options (Revisited)

Bruce Greig, Director of Community Planning

Mr. Greig presented this report which provides background on Council's decision to include a "low-ish" growth scenario in the District of Ucluelet Official Community Plan. He also provided an overview of growth analysis presented at the time of this decision along with policies that could be used to influence growth. Mr. Greig also noted that growth trends are not linear and the District may currently be in a higher growth period.

In response to Council questions, Mr. Greig:

- estimated that the low growth scenario would result if, the currently zoned lots were build out as zoned (this estimate excludes properties that require Development Permits or subdivision approval); and,
- noted the need to review utility master plans to ensure they align with projected and actual growth.

Council discussed:

- current growth and noted that it may trend closer to the medium projections than the "low-ish" projections;
- the tools that can be used to influence growth and Council's roll in this sphere;
- optimal growth levels;
- housing affordability and economic implications;
- infrastructure capacity and efficient infrastructure use;
- the impact of short-term accommodations on growth;
- distinguishing the impact of B&Bs from hotels;
- construction costs and housing affordability; and
- demand for attainable housing.

8. BYLAWS

9. REPORTS

9.1 CMHC Housing Accelerator Fund

Bruce Greig, Director of Community Planning

Mr. Greig presented this report. He provided details about the CMHC Housing Accelerator Fund which incentives housing starts and provides additional bonuses for the construction of specific types of housing. Mr. Greig noted that in order to meet the grant fund deadline Staff would have to prioritize the application.

Council discussed the broad range of acceptable uses for CMHC Housing Accelerator Funds. They include infrastructure

maintenance/improvement and may include financial incentives offered by a municipality to construct specific types of housing like Accessory Dwelling Units or legalize of secondary suites. Council also discussed the prioritizing the construction of ADUs.

2023.2161.REGULAR *It was moved and seconded **THAT** Council direct staff to prepare an application to the CMHC Housing Accelerator Fund (HAF) program as a strategic priority.*

CARRIED.

9.2 DVP for Residential Addition at 272 Main Street John Towgood, Municipal Planner

Bruce Greig, Director of Community Planning, presented this report and described the proposed variances.

The Applicant, Mr. Picciano, addressed Council and noted his plan to construct a passive house, challenges with the site, the form and character of the improvements, preservation of harbour views, challenges with providing onsite parking, and planned residential uses.

2023.2162.REGULAR *It was moved and seconded **THAT** Council, with regard to the proposed residential addition at 272 Main Street (Lot 1, District Lot 282, Clayoquot District, Plan 12287) direct staff to give notice for Development Variance Permit DVP23-05.*

CARRIED.

9.3 Canada Day Road Closure Abigail K. Fortune, Director of Parks and Recreation

Ms. Fortune presented this report.

2023.2163.REGULAR *It was moved and seconded **THAT** Council authorize the closure of a portion of Fraser Lane between Main Street and Jamie's Whaling Station from 8:00 a.m. to 4:00 p.m. in front of the Village Green annually on July 1st for the District of Ucluelet Canada Day event.*

CARRIED.

9.4 Ukee Days Annual Road Closure and Noise Bylaw Abigail K. Fortune, Director of Parks & Recreation

Ms. Fortune presented this report.

2023.2164.REGULAR *It was moved and seconded:
THAT Council authorize the closing of a portion of Fraser Lane between Main Street and Jamie's Whaling Station from 10:00 a.m. to 10:00 p.m. annually on the last Friday of July, for Ukee Days activities; and,*

THAT Council authorize the temporary closure of Peninsula Road between Matterson Road and Seaplane Base Road from 10:00 a.m. to 10:45 a.m. annually on the last Saturday of July for the Ukee Days parade; and further,

THAT Council to authorize Ukee Days festivities to act outside of the Noise Control Bylaw No. 915, 2003, Section 3 (g) and grant an extension up to 11:30 p.m. at the Ukee Days Fairgrounds 160 Seaplane Base Road on the last Saturday of July, annually, for the Ukee Days event.

CARRIED.

9.5 Yuulu?i?ath Canoe Log

Duane Lawrence, Chief Administrative Officer

Mr. Lawrence presented this report.

2023.2165.REGULAR *It was moved and seconded **THAT** Council authorize staff to work with the Yuulu?i?ath Government on the return of the canoe log, including the existing signage and fencing, to Hitacu.*

CARRIED.

2023.2166.REGULAR *It was moved and seconded **THAT** the Regular Council Meeting be recessed for five minutes.*

CARRIED.

The meeting was recessed at 6:11 PM and resumed at 6:17 PM.

9.6 UBCM Minister Meetings

Duane Lawrence, Chief Administrative Officer

Mr. Lawrence presented this report.

Council discussed the following potential UBCM meeting requests:

- A meeting with the RCMP to request additional coverage;
- A meeting with the Minister of Agriculture and Food or the Minister of Jobs, Economic Development and Innovation to discuss seaweed farming in the area; and
- A meeting with the Minister of Health to discuss introducing a visiting rotation of doctors to provide complex care to residents.

The CAO noted timing issues with preparing the meeting requests.

2023.2167.REGULAR *It was moved and seconded **THAT** Council direct staff to prepare ministerial meeting request(s) on the following topic for the 2023 Union of British Columbia Municipalities conference:*

- *health care.*

CARRIED.

10. NOTICE OF MOTION

There were no notices of motion.

11. CORRESPONDENCE

11.1 Ucluelet Racquet Sport Club Correspondence
Ucluelet Racquet Sport Members

In response to Council questions, Mr. Lawrence noted the limited useful life of the Sea Plane Base and related financial challenges with improving this facility.

11.2 Invite to attend How Local Government Can Support a Circular Economy Webinar
Vancouver Island Coast Economic Developers Association

12. INFORMATION ITEMS

12.1 Yuułuʔiłʔatḥ Government, 2023-2027 Members of the Legislature

The Mayor congratulated the President McCarthy and the other recently elected Members of Yuułuʔiłʔatḥ Government Legislature.

2023.2168.REGULAR *It was moved and seconded **THAT** Council direct Staff to write a letter of congratulation from the Mayor and Council to President McCarthy and the other Members of the Yuułuʔiłʔatḥ Government Legislature.*

CARRIED.

12.2 Council Strategic Plan Priority Update
Duane Lawrence, Chief Administrative Officer

Mr. Lawrence provided background on this information and noted updates to Council's strategic priorities related Director of Finance recruitment and prioritization of HAF program.

Council discussed the importance of regularly reviewing this document and the possibility of prioritizing cellular connectivity along Highway 4. Mr. Lawrence provided an update on this project.

12.3 Resolution Tracking - May 2023
Joseph Rotenberg, Manager of Corporate Services

Council sought updates from staff on several follow-up items.

12.4 United in Support for BC Salmon Farmers and Canadian Food Production
Sheri Beaulieu, Canadian Aquaculture Industry Alliance

12.5 Invitation to Meet with BC Hydro During UBCM Conference
Ted Olynyk, Manager of Community Relations, BC Hydro

12.6 Vancouver Island - Sunshine Coast Community Relations - 2022 Annual Report
BC Hydro

The Mayor noted grant opportunities offered by BC Hydro.

12.7 Homes for People Action Plan
Ruth Hoyte, Mayor, District of Coldstream

12.8 Legislative Reform Initiative: Building the Case
Association of Vancouver Island and Coastal Communities Annual Conference

12.9 Pacific Aquaculture Transition - What We Heard Report Phase 1 and 2
Fisheries and Oceans Canada

13. MAYOR'S ANNOUNCEMENTS AND COUNCIL COMMITTEE REPORTS

13.1 Councillor Shawn Anderson
Deputy Mayor, April 1 - June 30, 2023

Councillor Anderson attended an Alberni-Clayoquot Health Network meeting where the quarterly and strategic plan updates were presented.

13.2 Councillor Jennifer Hoar
Deputy Mayor, January 1 - March 31, 2023

Councillor Hoar attended the Vancouver Island Regional Library Board meeting on June 3, where reconciliation actions were considered. Councillor Hoar noted that library cards can be used to access newspapers online.

Councillor Hoar also noted the Glee Club will be performing their adaption of Narnia on June 9 and 10 at the Ucluelet Community Centre.

13.3 Councillor Ian Kennington
Deputy Mayor, July 1 - September 30, 2023

Councillor Kennington noted that the Ministry of Transportation and Infrastructure has determined that there is no road damage to Highway 4 near Cameron Lake.

13.4 Councillor Mark Maftei
Deputy Mayor, October 1 - December 31, 2023

Councillor Maftei attended a Clayoquot Biosphere Trust meeting where input on CBT's Vital Signs document was solicited.

13.5 Mayor Marilyn McEwen

The Mayor noted the Highway 4 closure due to the Cameron Bluffs wildfire and the related detour route which will be closed between 1:00 and 9:00 PM on June 9th to address a motor vehicle incident.

Mayor McEwen:

- attended Barkley Community Forest Corporation and Alberni-Clayoquot Regional District (ACRD) meetings on May 10th;
- met with District Group to discuss Minato Bay development on May 12th;
- chaired the District of Ucluelet Special Council and Harbour Authority meetings on May 16th;
- met with Island Health to discuss their RFP related to a local primary care facility on May 17th;
- met with the Executive Director of Tourism Tofino on May 18th;
- attended a ACRD Board meeting on May 19th;
- met with Watt Consulting regarding public transit options for the west coast on May 31st;
- attended meeting with the resort municipality mayors, where it was noted that destination marketing efforts are to destination management efforts on June 1st;
- attended a Island Coast Economic Trust Board meeting where recent funding to the Trust was discussed June 2;
- attended a West Coast Committee meeting where a transportation company was selected to provide interim public transit services on the west coast on June 7; and,
- met with MLA Osborne regarding the Cameron Lake Bluffs wildfire and the alternate detour route on June 8.

Mayor McEwen also noted an art show featuring Marla Thirsk at the Pacific Rim Art Society Gallery as well as a related event on June 10th from 10 AM to 3 PM.

2023.2169.REGULAR *It was moved and seconded **THAT** the meeting be recessed for five minutes.*

CARRIED.

The meeting was recessed at 7:09 PM and returned to session at 7:10 PM.

14. QUESTION PERIOD

There were no questions.

15. CLOSED SESSION

15.1 Procedural Motion to Move In-Camera

2023.2170.REGULAR

*It was moved and seconded **THAT** the meeting be closed to the public in order to address agenda items under Section 90(1)(a), and (c) of the Community Charter. These matters relate to*

- personal information about an identifiable individual who is being considered for a position appointed by the municipality; and*
- labour relations or other employee relations.*

CARRIED.

The meeting was closed to the public at 7:15 PM. The meeting returned to open session at 7:31

16. ADJOURNMENT

The meeting returned to open session at 7:31 PM and adjourned at 7:31 PM.

CERTIFIED CORRECT: Minutes of the Regular Council Meeting held on Thursday, June 8, 2023 at 4:00 pm in the Ucluelet Community Centre 500 Matterson Road, Ucluelet, BC.

Duane Lawrence, Corporate Officer

Marilyn McEwen, Mayor



**MONTHLY
Mayor's / Chief's / President's
POLICING REPORT
May, 2023
Ucluelet Detachment
"E" Division
British Columbia**



Royal Canadian Mounted Police
Gendarmerie royale du Canada



Calls for Service: 86

Annual Performance Plan (A.P.P.'S) Community Priorities

- (1) Crime Reduction
 - a) Speed Enforcement / Awareness

- (2) Build and Maintain Relations with the Community
 - a) Community Involvement
 - b) Reconciliation

- (3) Vulnerable Persons
 - a) Community Referrals

High Risk Charges

Domestic Violence Charges: 1
Sexual Assault Charges: 1

Crime Reduction

Road Safety

Check stops: 1
Impaired Driving: 5 files no charges
Traffic Tickets: 2
Written Warning: 0

- Impaired driving unit attended for one weekend travelling between Ucluelet and Tofino. Over the weekend the unit apprehended 3 impaired drivers, 1 prohibited driver, located a person wanted on warrants and issued 12 traffic tickets. The Ucluelet members participated in a check stop with the unit.

Build and Maintain Relations with the Community

Community Involvement

- Members attended the high school and participated in West Coastchella with the students. Staff and members helped barbeque food for the students.

- Members attended the community Go By Bike event. The RCMP lead the bike parade to the community center. Members and staff helped barbeque and hand out bike safety items.

- Member and staff attended the elementary school for spring fest. Both walked around the school interacting and handing tattoos out to students.

Reconciliation

- Through out the month of May, Cst. HARRY has participated in numerous activities outside of work. He quite consistently will spend time with various elders from the communities and take them out for lunch. This officer will often visit the local child care facility to interact with the children. Cst. HARRY will pop in to each of the two community halls to visit with staff to keep up relations. He is also participating in the Warriors Program and is intending on helping out.
- Other detachment members have begun conducting proactive visits to the communities to open positive interactions with community members.
- Sgt. JONES attended to the Macoah emergency preparedness event out in Macoah.

Vulnerable Persons

Community Referrals

None for the month of May.

Other Police Services

Criminal Record Checks

Criminal record / Vulnerable Sector checks: 22

| OCCURRENCES | Current Month | Year to Date | Current Month of previous year | Previous Year Total |
|--|----------------------|---------------------|---------------------------------------|----------------------------|
| Assaults (Not including sexual assaults) | 4 | 19 | 1 | 46 |
| Sexual Offences | 1 | 6 | 0 | 12 |
| Break and Enters (Residence & Business) | 2 | 9 | 0 | 7 |
| Theft of Motor Vehicle | 0 | 2 | 0 | 5 |
| Theft Under \$ 5000.00 | 1 | 4 | 0 | 22 |
| Theft Over \$ 5000.00 | 0 | 2 | 0 | 3 |
| Drugs (Possession) | 2 | 4 | 0 | 0 |
| Drugs (Trafficking) | 0 | 1 | 1 | 3 |
| Causing a Disturbance | 8 | 14 | 3 | 32 |
| Liquor Act | 1 | 12 | 2 | 40 |
| Mischief - damage to property | 5 | 11 | 4 | 37 |
| Mischief - obstruct enjoyment | 1 | 4 | 0 | 12 |
| Impaired Driving | 6 | 18 | 1 | 28 |
| IRP / 24 hr suspension | 0 | 7 | 0 | 10 |
| Utter threats | 2 | 6 | 0 | 14 |
| Bylaw | 5 | 12 | 1 | 40 |
| Mental Health | 1 | 9 | 0 | 28 |
| Total Calls for service | 86 | 416 | 102 | 1307 |

| JUSTICE REPORTS | Current Month | Year to Date | Current Month of previous year | Previous Year Total |
|--------------------------------------|----------------------|---------------------|---------------------------------------|----------------------------|
| Victim Services Referral - Accepted | 1 | 2 | 0 | 2 |
| Victim Services Referral - Declined | 1 | 4 | 0 | 0 |
| Victim Services - Proactive Referral | 0 | 0 | 0 | 0 |
| Restorative Justice Referrals | 0 | 0 | 0 | 0 |
| Prisoners Held | 4 | 13 | 2 | 43 |
| Prisoners escorted | 1 | 0 | 0 | 0 |
| Liquor Destroyed Immediately | 1 | 1 | 0 | 4 |

Should you have any questions or concerns regarding this report, please feel free to contact me to discuss.

Prepared by: Sgt. Marc JONES

Telephone: 250 726-7773

Email: marc.jones@rcmp-grc.gc.ca

Extended Distribution List:
District Advisory NCO



REPORT TO COUNCIL

Council Meeting: June 27, 2023
500 Matterson Drive, Ucluelet, BC V0R 3A0

FROM: JOHN TOWGOOD, MUNICIPAL PLANNER

FILE NO: 3060-20 DP23-02/3090-20 DVP23-04

SUBJECT: ENVIRONMENTAL AND DEVELOPMENT VARIANCE PERMIT FOR 1567 IMPERIAL LANE **REPORT NO:** 23-98

ATTACHMENT(S): APPENDIX A – APPLICATION
APPENDIX B – DEVELOPMENT VARIANCE PERMIT 23-04
APPENDIX C – DEVELOPMENT PERMIT 23-02
APPENDIX D – QEP REPORT

RECOMMENDATION(S):

THAT Council, with regard to the proposed dock and associated structural works proposed at 1567 Imperial Lane:

- a. authorize the Director of Community Planning to execute and issue Development Variance Permit 23-04 for the construction of a dock and associated structures; and,
- b. authorize the Director of Community Planning to execute and issue Development Permit 23-02 to allow a dock to be constructed in an Environmental Development Permit Area.

BACKGROUND:

This environmental Development Permit (DP) and development variance permit application was received in February of 2023, for the property located at 1567 Imperial Lane; Lot 1, Plan EPP124154, District Lot 282, Clayoquot Land District (the “subject property”).



Figure 1 – Subject Property

DEVELOPMENT PERMIT AREA VII (MARINE SHORELINE)

The subject property falls within the Official Community Plan's "Environmental Development Permit Areas". The Marine Shoreline DP area is designated as all land within 30m above and below the natural boundary of the sea.

This application is for a dock and associated structural elements which is located within the 30m the Marine Shoreline environmental DP area (figure 2).

Environmental Development Permit Areas are established to guide development and land use to ensure the most sensitive environmental features of a site are protected and ecological functions are not needlessly disturbed by development activities. For all land lying within an Environmental DP area, the applicant must submit a report prepared by a Qualified Environmental Professional (QEP) assessing the site, its natural features and the proposed development - establishing conditions to guide construction to protect and mitigate environmental impacts. Staff draft the associated development permit terms and conditions from the recommendations in the QEP report.



Figure 2- Subject property in Schedule 'E' Environmental Development Permit Area Map

The applicant has retained a Qualified Environmental Professional (QEP) to prepare a report and memorandum (see **Appendix "D"**) on the environmental considerations of the site and develop recommendations to guide development.

This QEP report looked at the subtitle zone, the foreshore, and the backshore as illustrated in the following image from the Department of Fisheries and Oceans Canada website:

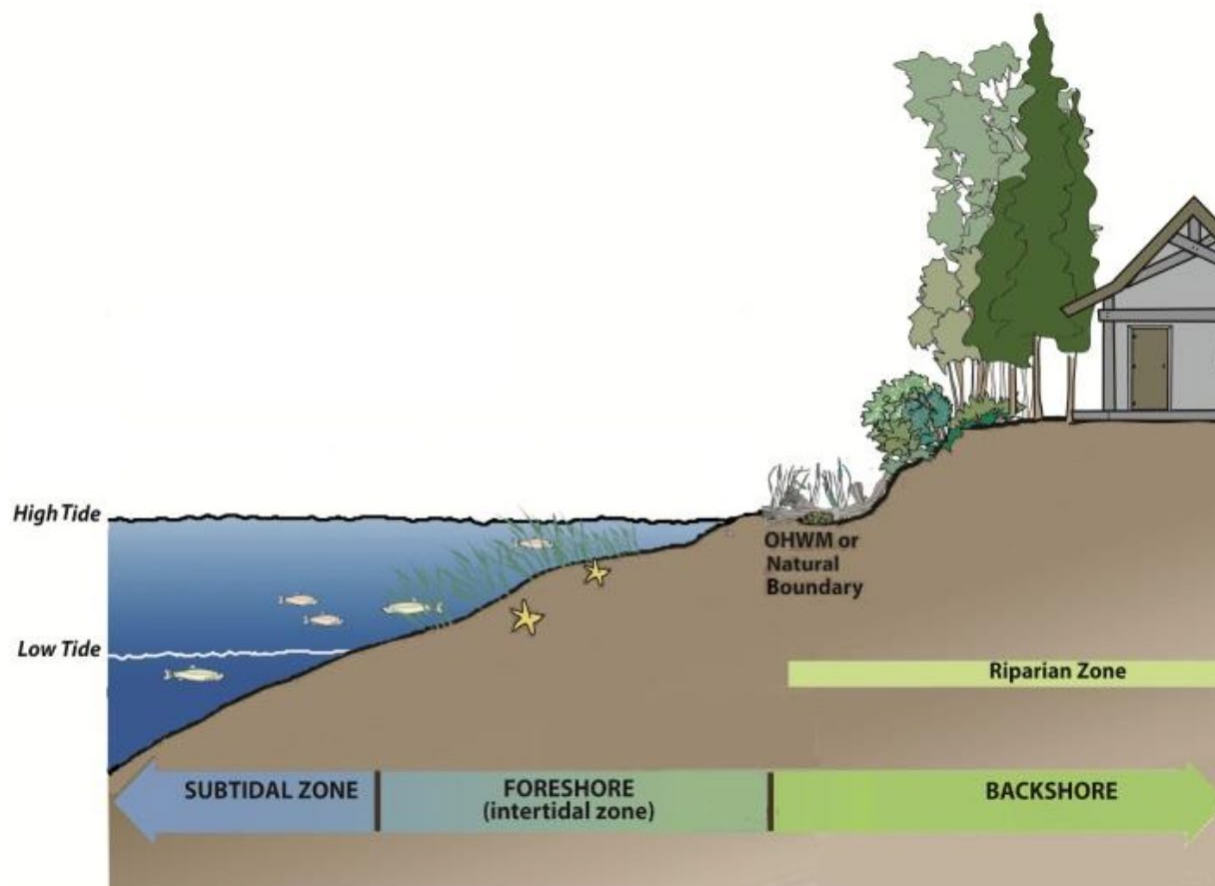


Figure 3 – DFO Image

The backshore area contains a single family dwelling, mature shrubs and young deciduous trees. The foreshore has limited patches of slough sedge and sea asparagus. The subtidal zone contains a band of eelgrass running parallel with the shoreline through the proposed site of development (**Figure 4**). The area of eelgrass occurs in a 2-meter to 4-meter-wide band, approximately 6 meters from the natural high tide boundary. No other sensitive ecosystems or species were noted during the snorkel survey. It is also relevant to note that the surrounding area is predominantly utilized for industrial and commercial marine activities.

The Development

The proposed works consist of the installation of the gangway piles, a raised walkway, a sloped ramp or gangway, a floating dock, and associated support elements such as piles and concrete connection points. These construction activities are to avoid degradation to the eel grass patches with the raised gangway passing over the eelgrass and piles being located to either side of the

patch. For more information on the biophysical description, potential impacts of the proposal, and the mitigation measures, please see the current environmental report and memorandum within Appendix "D".



Figure 4 – Current Environmental Site plan

DEVELOPMENT VARIANCE PERMIT:

The applicant is requesting to build the dock and associated structure approximately 15m upland of the natural boundary, over the foreshore and into the subtidal zone. To achieve this outcome the applicant will need a 0m setback and will need to vary two sections of *District of Ucluelet Zoning Bylaw No. 1160, 2013*. The larger of two variances is Section 306.2.1(a) which specifies that no buildings or structures may be placed within 7.5m of the upland side of the natural boundary. The smaller variance is Section CS-1.6.1(2) (a) which specifies a 1.5m minimum front yard setback (with a thru lot, the front yard and the natural boundary side of the lot are both considered the front yard).

THE BIG PICTURE

Ucluelet is a harbour community and utilizing the harbour for commercial, industrial, and personal use is intrinsic to the community's function. How the upland uses interfaces with the subtidal zone is an important future community discussion. The Ucluelet Official Community Plan states the following with regard to foreshore areas:

Marine Conservation (p.50)

This designation applies to marine areas intended for conservation and transient recreational uses only; expansion of foreshore tenures and long-term vessel moorage are not supported within the Marine Conservation areas. Offshore rocks and islets shown as Marine Conservation on Schedule A are intended to be left in their natural state.

Marine Conservation (p.65)

All water areas located between the shoreline and the District boundaries, excluding areas designated as water lots, are designated as "Marine Conservation". Offshore rocks and islets shown as Marine Conservation on Schedule A are intended to be left in their natural state.

Marine Conservation Policies: (p.65)

Policy 3.130 Invite regional partners to participate in developing a comprehensive "Healthy Inlet / Safe Harbour" management plan for the Ucluelet Inlet, including:

- *habitat sensitivity, protection and enhancement;*
- *co-ordinated approach to cleanup and avoiding future contamination (sewage, plastics, derelict vessels, etc.);*
- *coordinated policy for liveaboard moorage and sewage disposal;*
- *overview of type, amount and location of landing and moorage facilities.*

These policies suggest that new water leases should only be created once there is a "Healthy Inlet / Safe Harbour" management plan in place to guide the expansion of leases in the harbour.

Developing the plan would be an important project involving extensive dialogue with all other local governments and nations that share this harbour.

In cases such as this application, where a water lease previously existed, the use of the water lease can be supported.

ANALYSIS OF OPTIONS:

| | | | |
|---|--|-------------------------|---|
| A | Authorize the issuance of DVP23-04 and DP23-02 | <u>Pros</u> | <ul style="list-style-type: none"> Allows applicant's Dock project to proceed in a manner which a QEP has deemed consistent with the OCP development permit guidelines. |
| | | <u>Cons</u> | <ul style="list-style-type: none"> Development in sensitive environmental areas may occur – though subject to the conditions of the permit. |
| | | <u>Implications</u> | <ul style="list-style-type: none"> Approval will allow the application to proceed. |
| B | Provide alternative direction | <u>Pros</u> | <ul style="list-style-type: none"> Achieves the goals and objectives as identified by Council |
| | | <u>Cons</u> | <ul style="list-style-type: none"> Unknown at this time |
| | | <u>Implications</u> | <ul style="list-style-type: none"> Dependent on the direction of Council. |
| | | <u>Suggested Motion</u> | <ul style="list-style-type: none"> THAT Council, with regard to Development Variance Permit 23-04 and Development Permit 23-02, (<i>provide alternative direction here</i>) |
| C | Reject the application | <u>Pros</u> | <ul style="list-style-type: none"> This development will not proceed at this time |
| | | <u>Cons</u> | <ul style="list-style-type: none"> Does not allow applicant's dock project to proceed in a manner which a QEP has deemed consistent with the OCP development permit guidelines. |
| | | <u>Implications</u> | <ul style="list-style-type: none"> The application would not proceed. Additional staff time will be required to follow up with applicant and consultants. |
| | | <u>Suggested Motion</u> | <ul style="list-style-type: none"> No motion required. |

POLICY OR LEGISLATIVE IMPACTS:

This application is consistent with the *Official Community Plan*, the *Zoning Bylaw* and the *Local Government Act*. It is important to note, that that applicant is responsible for ensuring that all Provincial and Federal laws, requirements, and best practices are followed.

NEXT STEPS:

If this application is approved the attached DVP and DP will be signed by the Director of Community Planning, issued to the applicant, and notice will be filed with the Land Title Office.

The applicant or subsequent owners of the subject property will be required to meet all conditions of the permit and any other conditions set out by Council for the proposed development.

Respectfully submitted: JOHN TOWGOOD, MUNICIPAL PLANNER
BRUCE GREIG, DIRECTOR OF COMMUNITY PLANNING
DUANE LAWRENCE, CAO



February 1, 2023

Bruce Greig
Director of Community Planning
District of Ucluelet
200 Main Street,
Ucluelet BC.
V0R 3A0

Dear Bruce Greig:

Sidney and Sue Whittaker purchased 1567 Imperial Lane with the intention to install a dock. In preparation for obtaining the necessary permits, the Whittaker's consulted Front Counter BC, a professional surveyor, an environmental consultant, The District of Ucluelet, the Department of Fisheries and Transportation Canada.

After completing their due diligence, we have concluded that we meet all the necessary requirements for the installation of a dock, under General Permission, at 1567 Imperial Lane. The Whittaker's have received confirmation from Front Counter BC regarding this fact (confirmation letter included in this package. It is titled – "2023-01-26 - Sid and Susan Whittakers - Private Moorage letter from Front Counter BC") and based on the requirements from the Department of Fisheries and Transportation Canada, they do not need to review our project details. Therefore, there will not be a referral from the Province for this project.

The following information provides a description of how we meet the necessary criteria for the installation of a dock. This includes the following:

- A description of how our project is interpreted by the Department of Fisheries & Transportation Canada.
- A summary of we have dealt with overlapping tenures in front of 1567 Imperial Lane and the properties natural boundary.
- A summary of our Foreshore Assessment, completed by Current Environmental.
- A description of how we will meet the recommendations as outlined by Current Environmental, General Permission etc.

Department of Fisheries Requirements

- The foreshore at 1567 Imperial Lane is not in a Marine Protected area, as described by the Government of Canada's website.¹
- Measures to protect fish and fish habitat will be addressed during the construction of this dock. Therefore, it is our understanding that we do not have to request a project review.²
 - The owner of 1567 Imperial Lane has conducted an Aquatic Resources Inventory – Foreshore Assessment. This report indicated that there is a small/narrow amount of Eel

¹ Government of Canada. Marine Protected Areas Across Canada: <https://www.dfo-mpo.gc.ca/oceans/mpa-zpm/index-eng.html> (January 25, 2023)

² Government of Canada. Measures to Protect Fish and Fish Habitat: <https://www.dfo-mpo.gc.ca/pnw-ppe/measures-mesures-eng.html> (January 25, 2023)



- Grass that can be addressed by utilizing a slated or hatched decking material that would allow light to penetrate down towards the water.

Transportation Canada

- The proposed Dock installation at 1567 Imperial Lane is classified as a Minor Work.³ Therefore, we are able to build this structure without approval, as long as it meets the requirements.⁴

Foreshore Tenures

- The Whittaker's hired Williamson and Associates to deal with lingering issues related to the apparent overlapping tenures by way of a Natural Boundary Adjustment.
- The plan associated with this work is included in this package, and is titled "EPP124254 – Survey Plan Cert Signed – 1567 Imperial Lane".

Foreshore Assessment

- The Foreshore assessment found that there is a small band of eel grass running parallel to the shoreline through the proposed development site. No other sensitive ecosystems were identified. It is recommended that designs for the proposed development include slated or hatched decking material on both the gangway and dock to minimize the amount of sun shading to the benthic ecosystems below. The general east-west orientation of the eelgrass beds is favourable from the perspective of shading caused by the installed dock. Installation of the gangway piles and general construction activities must aim to avoid degradation to the eel grass patches.
- The report that outlines these findings in greater detail is included in this package, and it titled "1567 Imperial Lane, Uke- Aquatic Resources Inventory- Foreshore Assessment - 08Sept2022"

Dock Construction, Plans, and Approach to Accommodating Requirements

- **Dock Dimensions** (*The Dock Plans are included in this package. They are titled "22018-3 SITE PLAN-SHEET 1 - for submission-combined - 1567 Imperial Lane"*)
 - The proposed dock will extend 59.7 meters. This length includes part of the structure that is within the property line. The maximum allowable distance from the natural boundary is 60M.
 - The width of the moorage float will be 3.7 meters, and the length will be 14 meters. This is allowable under General Permission.
 - The width of the walkway that connects the float to the shore will be 1.8 meters, which is allowable under General Permission
- **Dock Design**
 - Due to the presence of Eel Grass, the design of this dock will allow light to penetrate the docks surface.

³ Government of Canada. A Guide to the Navigation Protection Program's Notification, Application and Review Requirements: <https://tc.canada.ca/en/programs/navigation-protection-program/guide-navigation-protection-program-s-notification-application-review-requirements#toc4> (January 25, 2023)

⁴ Justice Laws Website. Minor Works Order – Canada Navigable Waters Act, Docks and Boathouses: <https://laws-lois.justice.gc.ca/eng/regulations/SOR-2021-170/page-1.html#h-1308703> (January 25, 2023)



- The height of the walkway will be sufficient enough to ensure that the public can walk under the structure.
- The construction methods will be in line with that of General Permission.

In addition to the above, the Whittaker's have purchased the neighbouring property at 1569 Imperial Lane, we have reached out to Ucluelet First Nation, and they have spoken to some of the neighbours about their intentions. We are confident that the construction of this dock is in line with the rules and regulations as set out under General Permission, and the requirements of the District of Ucluelet.

Please reach out if there are any questions regarding our application.

Sincerely,

Tom Richey
Hazelwood
Business Development Manager
Tom.Richey@Hazelwood.ca
250-588-1425

**Memorandum – 1567 Imperial Lane Ucluelet
Proposed Dock**

| | |
|---|-----------------------------------|
| To: Sid Whittaker | Date: June 9 th , 2023 |
| From: Warren Fleenor, R.P. Bio Mikala Wheeler, B. Sc | Project: 3070 Pages: 10 |

RE: Reconnaissance Aquatic Resources Inventory – 1567 Imperial Lane, Ucluelet BC.

The proponent, Sid Whittaker, undertaking development at 1567 Imperial Lane (PID: 007-890-800 and 003-659-038) in Ucluelet, BC retained Current Environmental Ltd. (CEL) to complete an aquatic resources inventory on the subject lots (Figure 1). The survey included an assessment of the shoreline waters and potential fish and wildlife habitat that could be subject to degradation due to development or harmful uses on the subject property. The assessment took place as a matter of defining the constraints of Development Permit Area VII – Marine Shoreline - under the District of Ucluelet Official Community Plan Bylaw No. 1236, 2020¹. Proposed development includes a raised walkway and gangway on piles (approximately 45 meters x 1.8 meters) and a floating dock (14 meters x 3.7 meters) (Appendix A).

1.0 BIOPHYSICAL DESCRIPTION

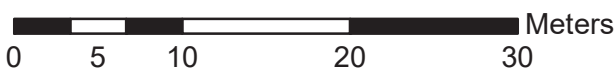
A site survey was conducted by CEL on August 19, 2022. The property consists of two individual lots each zoned as CS-1 (Commercial Services -1/Village Square Commercial) and were recently purchased by the proponent. Lot 1 (PID: 007-890-800) supports a single-family dwelling. Lot 2 (PID: 003-659-038) is an undeveloped lot consisting of mature shrubs and young deciduous trees. Vegetation on the foreshore was limited to patches of slough sedge (*Carex obnupta*) and sea asparagus (*Salicornia sp.*) (Photo 1). The lots front the Ucluelet Harbour in an area that has historical and current commercial and industrial use for marine activities. The greater Ucluelet Harbour is known to support dense, productive eelgrass (*Zostera marina*) beds, particularly northeast of the subject lot, deeper within the harbor.

The assessment was focused to Lot 1, the location of the proposed dock installation (Figure 1). Much of the lot is within the 30-meter Foreshore DPA boundary. The area between the house and the beach is primarily a maintained lawn with little naturalized area. A narrow footpath leads from the existing deck to the shoreline on the eastern edge of the lot. A snorkel survey confirmed a band of healthy eelgrass running parallel with the shoreline through the proposed site of development. The areas of eelgrass were relatively consistent, occurring in a 2-meter to 4-meter-wide band, approximately 6 meters from the natural high tide boundary.

¹ District of Ucluelet. (2020). Bylaw No. 1236. District of Ucluelet Official Community Plan Bylaw. DPA VII – Environmental Development Permit Areas. pp.131.



Source: Esri, Maxar, Earthstar Geographics, and the GIS User Community



Legend

- Proposed Dock
- Surveyed EelGrass Bed
- 30m Foreshore Boundary
- Existing Trail to Beach
- House Footprint
- Property Boundaries



Author: Mikala Wheeler

Date: June 2023

Data Source: Esri

Projection: NAD1983 UTM Zone 10N

Note: All linework approximate.

Not for use or reproduction without consent of the author.

**Memorandum – 1567 Imperial Lane Ucluelet
Proposed Dock**

1.0 BIOPHYSICAL DESCRIPTION CONTINUED

The eelgrass beds were noted growing in areas of fine sediments below the proposed gangway. Eelgrass beds are Ecologically Significant Ecosystems that play an important role in the physical and biological condition of nearshore environments and are highly sensitive to anthropogenic disturbance². No other sensitive ecosystems or species were noted during the snorkel survey. Substrates in the upper third of the beach face are comprised of coarse gravel, cobble and bedrock and appears too coarse to support forage fish (Pacific sandlance and surf smelt) spawning³ (Photo 2). In particular, the shoreline is comprised of bedrock at the proposed dock location (Photo 3); as such potential long-term impacts to forage fish spawning is low.

Overall, the project location is situated within a modified foreshore area with a prevalence of shorefront development, docks and wharves.

2.0 POTENTIAL IMPACTS

Primary sources of potential harm, during or following construction, to sensitive species and ecosystems within the foreshore and subtidal areas include the following:

- 1) Physical disturbance from construction equipment or boat traffic over top of the eelgrass bed.
- 2) Release of deleterious substances into the aquatic environment (i.e., uncured concrete, fuel, bilge water).
- 3) General impacts to water quality, most likely through increased turbidity (construction) or regularly suspended sediments (shallow boat traffic).
- 4) Destruction of riparian, shoreline vegetation (access during construction, ongoing foot traffic to the dock via a non-established route)
- 5) Mechanical harm to wildlife
- 6) Exceedances of peak auditory thresholds during pile driving⁴

² Fisheries and Oceans Canada, 2009. Canadian Science Advisory Secretariat Science Advisory Report 2009/018, Does Eelgrass (*Zostera marina*) Meet the Criteria as An Ecologically Significant Species? Available at: <https://waves-vagues.dfo-mpo.gc.ca/library-bibliotheque/337549.pdf>

³ Province of British Columbia, 2014. Develop with Care - Environmental Guidelines for Urban and Rural Land Development. 4:7-9. See factsheet #21 – Coastal Forage Fish.

⁴ Fisheries Hydroacoustic Working Group (FHWG). 2008. Fisheries Hydroacoustic Working Group (FHWG). 2008. Agreement in principle for interim criteria for injury to fish from pile driving activities. Prepared for FHWG Agreement in Principle Technical/Policy Meeting, June 11, 2008, Vancouver, WA. Available at: http://www.dot.ca.gov/hq/env/bio/files/fhwgcriteria_agree.pdf

3.0 MITIGATION MEASURES

The following mitigation measures must be implemented during dock construction:

- 1) There shall be no disturbance of eelgrass vegetation during construction. This includes:
 - a) Mechanical disturbance or destruction of eelgrass beds (dredging, pile driving, prop wash, placement of material, etc.).
 - b) Sedimentation of eelgrass beds or release of deleterious materials.

Care must be taken to ensure pile driving does not occur in eelgrass beds and that pile driving barges do not rest or drop spuds onto the eelgrass beds. Displacement by strong “prop wash” must be prevented.

- 2) **It is highly recommended that an Environmental Monitor be present at the project kickoff and during all in water works to ensure mitigation measures are clearly understood and implemented properly.** The EM will have the authority to halt operations should unacceptable impacts to environmentally sensitive features be observed. Based on observations of local wildlife (presence of marine mammals, observations of negative impacts to observed wildlife, etc.), the EM may implement measures to monitor acoustic percussion levels and adjust pile driving methods as needed.
- 3) Minimize disturbance to shoreline vegetation. Use of machines working from the beach and foreshore are discouraged. Disturbed vegetation must be restored upon completion of construction work.
- 4) Spill kits, including ample sorbent boom-type and pads must be on hand and readily accessible at all times. The spill kit must have the capacity to capture 125% of the volume of maximum spills.
- 5) Decking materials must allow light penetration to the marine environment. It is recommended that the contractor consult the EM to confirm compliance during purchase and installation of decking materials.

The following conditions must be adhered to following construction to prevent harm to sensitive species or habitats:

- 1) There shall be no motorized boat traffic or bilge pumping within 3 m of the identified eelgrass bed. Eelgrass is highly sensitive to damage from propellers and suffocation from suspended sediments. The eelgrass bed would exist beneath the proposed gangway, with avoidance from boat traffic highly possible. Signage to inform operators and mark “limited access zones” is recommended.
- 2) There shall be absolutely no dredge works within 5 m of the eelgrass bed to facilitate dock usage.
- 3) Limit foot traffic from the home to the shoreline to the existing footpath to maintain foreshore vegetation. Any modifications of this footpath are subject to additional environmental assessments and are likely to require a Development Permit and associated approvals.

4.0 SUMMARY OF IMPACTS AND REQUIRED PERMITTING

Given the narrow design of the dock structure, and the fact that that the raised gangway would be expected to pass over the eelgrass and would continue to allow light to reach the water’s surface under

**Memorandum – 1567 Imperial Lane Ucluelet
Proposed Dock**

its platform. Designs for the proposed development include slated or hatched decking material on both the gangway and dock to minimize the amount of sun shading to the benthic ecosystems below. The general east-west orientation of the eelgrass beds is favourable from the perspective of shading caused by the installed dock. Installation of the gangway piles and general construction activities must avoid degradation to the eel grass patches.

Based on the results of the survey conducted on August 19th, 2022, the proposed development of a gangway and floating dock is unlikely to cause significant long-term harm or degradation to shoreline waters, including to the sublittoral eel grass bed, and to nearby fish and wildlife habitat with the diligent implementation of construction and ongoing mitigation measures.

With the careful implementation of mitigation measures outlined herein a Request for Review (RfR) from Fisheries and Oceans Canada (DFO) is not required.

5.0 CLOSURE

We trust this assessment has satisfied your requirements. Please contact the undersigned if you have any queries.



M. Wheeler

Warren Fleenor, R.P.Bio. & Mikala Wheeler, B.Sc.

6.0 DISCLAIMER

This report was prepared exclusively for Sid Whittaker. The quality of information, conclusions and estimates contained herein is consistent with the level of effort expended and is based on: i) information available at the time of preparation; ii) data collected by the authors and/or supplied by outside sources; and iii) the assumptions, conditions and qualifications set forth in this report. This report is intended to be used by Sid Whittaker and regulators only; subject to the terms and conditions of their contract or understanding with Current Environmental. Other use or reliance on this report by any third party is at that party's sole risk.

**Memorandum – 1567 Imperial Lane Ucluelet
Proposed Dock**



Photo 1: View looking northwest towards Lot 2 and a neighboring commercial property. The neighboring property is known to be heavily trafficked by marine vessels. The eelgrass band was noted to not occur in front of these properties.

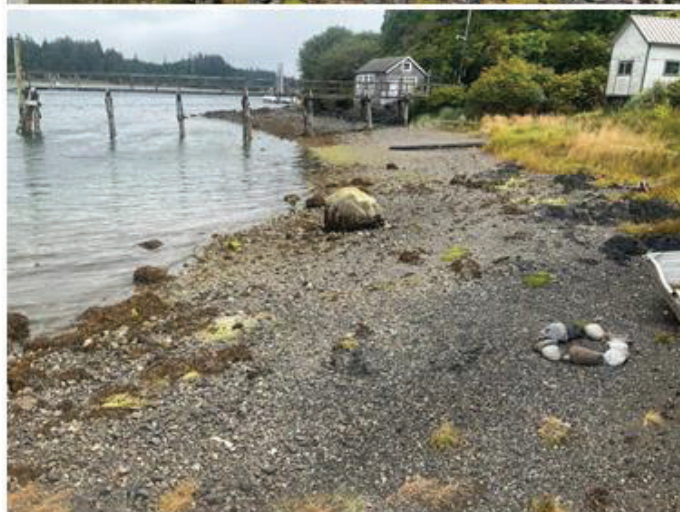


Photo 2: View looking southeast from Lot 1. A neighboring residential property is in view and was observed to have eelgrass occurring below the gangway. Note the coarse beach substrates present in this location, are not normally suitable for forage fish spawning habitat.

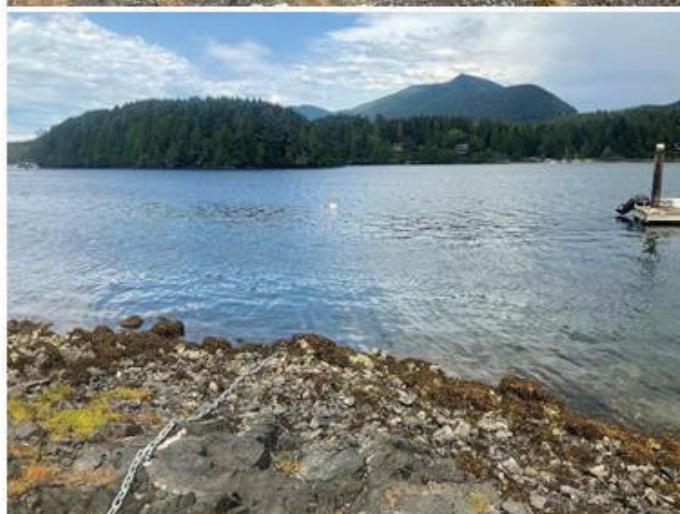
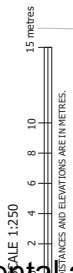


Photo 3: View looking north, perpendicular to the shoreline in the direction of the proposed dock installation area. Currently, a chain and mooring buoy exist in the proposed development location.

7.0 Site Plans

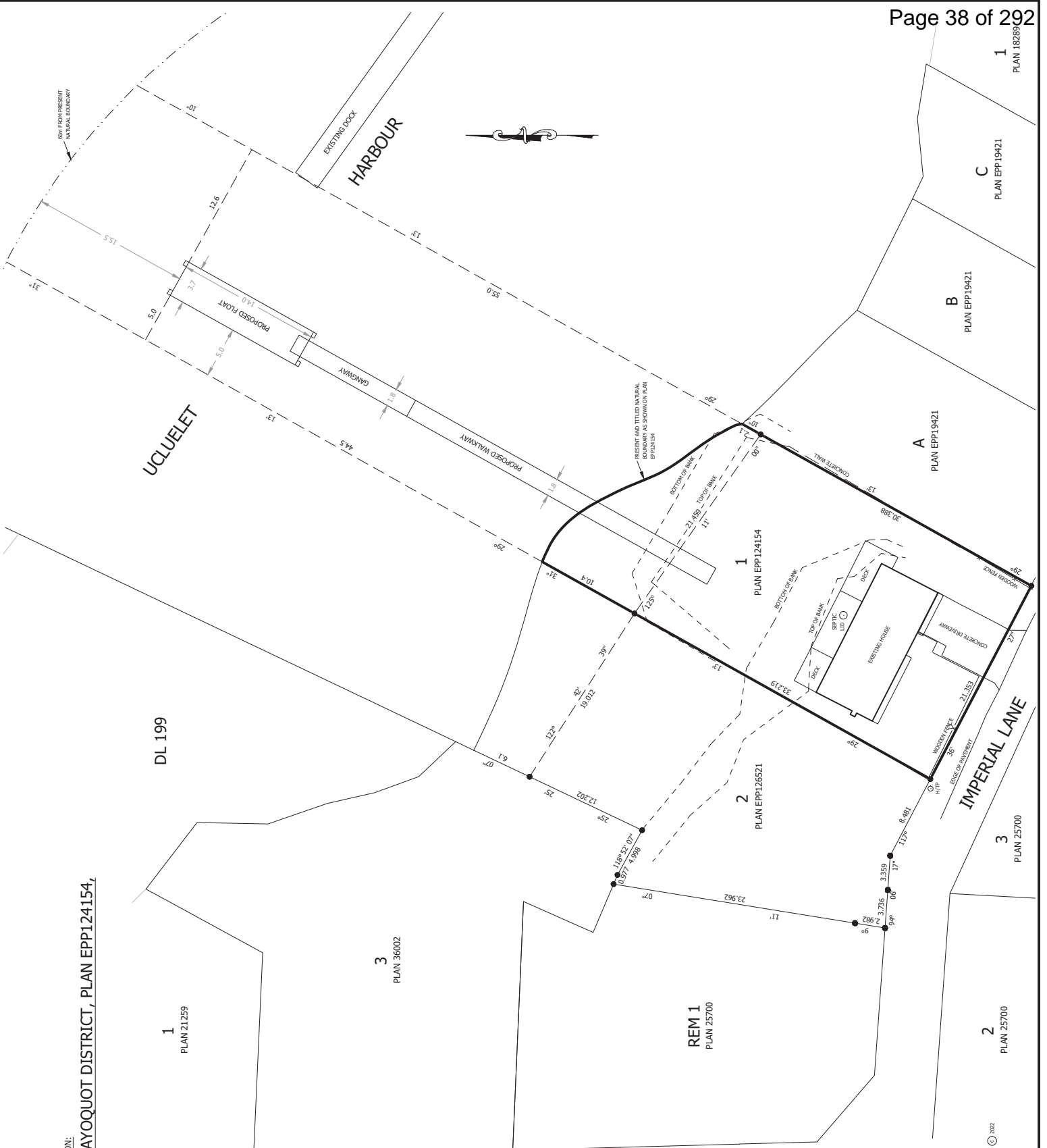
THE PLAN SHOWING PROPOSED DOCK LOCATION ON:

LOT 1, DISTRICT LOT 282, CLAYOQUOT DISTRICT, PLAN EPP124154,



NOTES:

- 1. CIVIC ADDRESS: 1567 IMPERIAL LANE
- 2. DIMENSIONS ARE DERIVED FROM REGISTERED PLANS.
- 3. STANDARD IRON POST FOUND.



THIS PLAN PURPORTS TO POSITION ONLY THE ACTUAL AND/OR PROPOSED IMPROVEMENT(S) SHOWN RELATIVE TO ONLY THE BOUNDARIES SHOWN OF OR APPURTENANT TO THE ABOVE DESCRIBED PARCELS.
 THIS PLAN PROVIDES NO WARRANTY OR REPRESENTATION AS TO THE ACCURACY OF THE INFORMATION OR DATA CONTAINED HEREIN, OR PROPOSED IMPROVEMENT(S) BELONGING TO ANY BOUNDARY OF OR APPURTENANT TO THE ABOVE DESCRIBED PARCELS.
 THIS PLAN IS NOT TO BE USED TO REESTABLISH BOUNDARY LINES.

WILLIAMSON & ASSOCIATES
 PROFESSIONAL SURVEYORS © 2022
 3088 BARKING ROAD NANAIMO B.C. V1T 4E5
 PHONE: 250-259-0422 FAX: 250-759-7774
 FILE: 2018-3 SITE PLAN (SHEET 1 OF 2) (BASE PLAN 2018)

THE PLAN SHOWING PROPOSED DOCK LOCATION ON:
PLOT 1, DISTRICT LOT 282, CLAYOQUOT DISTRICT, PLAN EPP124154,

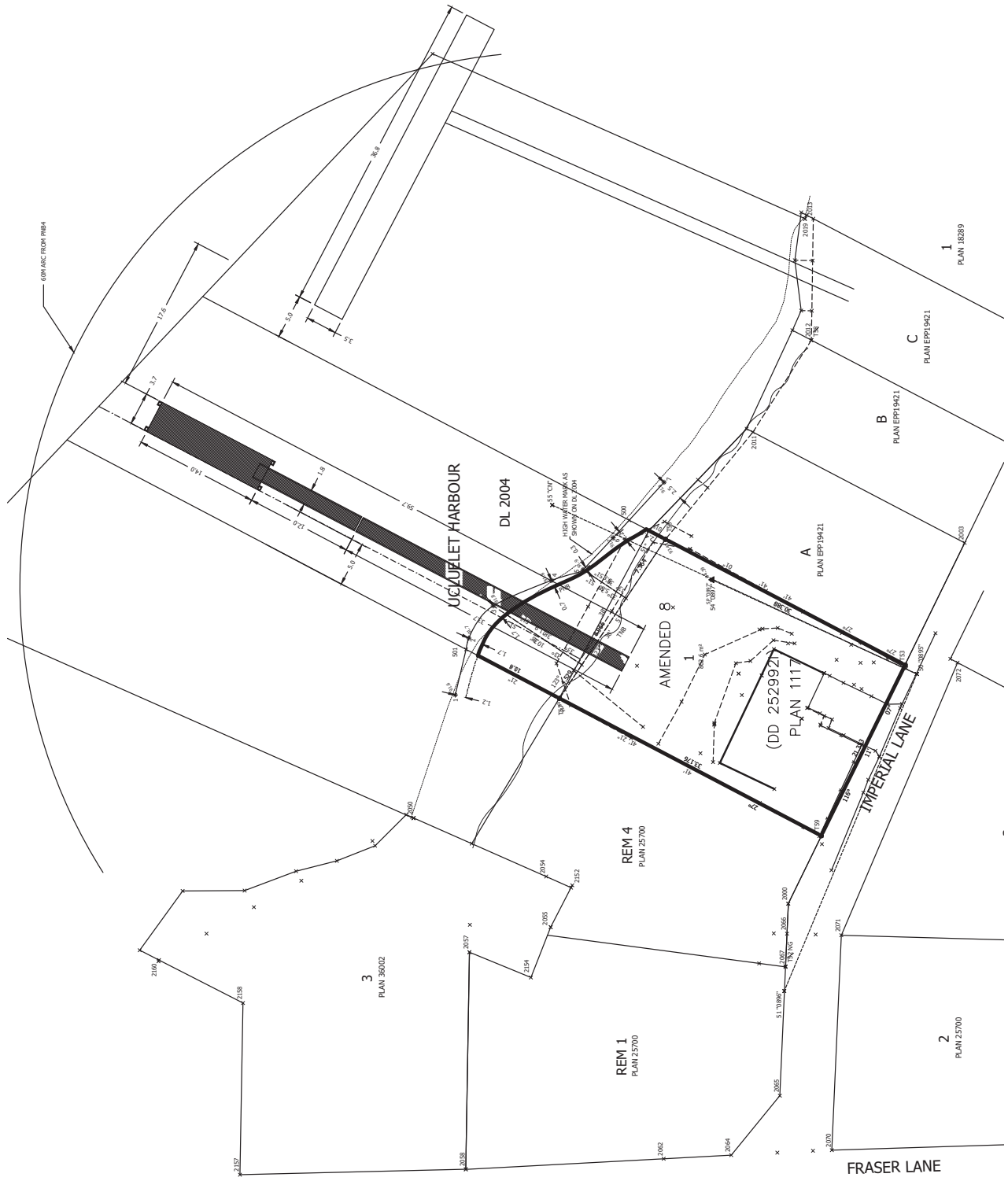


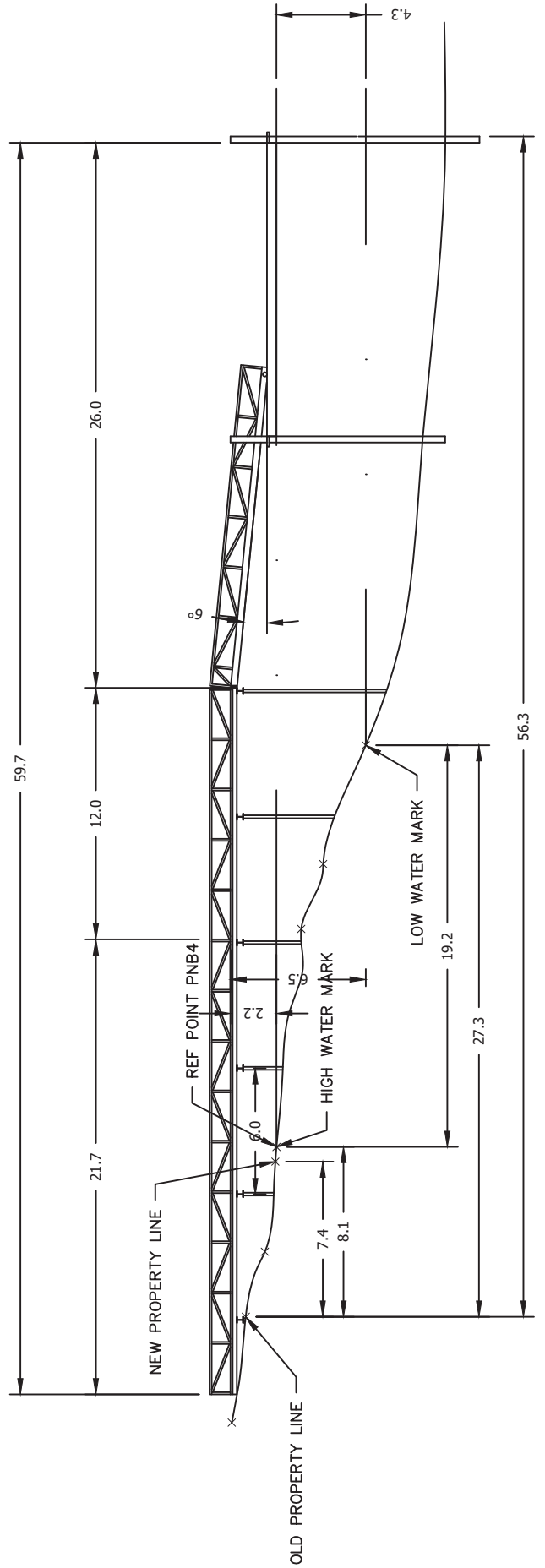
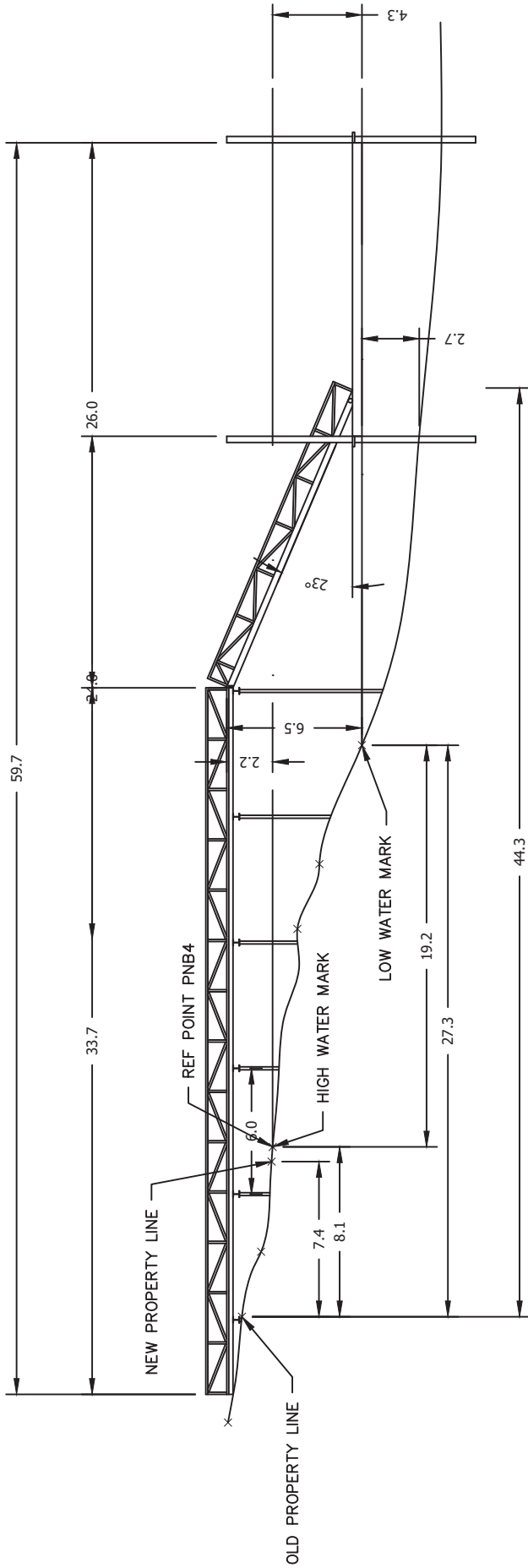
NOTES:
MUNICIPAL ADDRESS: 1567 IMPERIAL LANE



THIS PLAN PURPORTS TO POSITION ONLY THE ACTUAL AND/OR PROPOSED IMPROVEMENT(S) SHOWN RELATIVE TO ONLY THE BOUNDARIES SHOWN OF OR APPURTENANT TO THE ABOVE DESCRIBED PARCELS). THIS PLAN PROVIDES NO WARRANTY OR REPRESENTATION AS TO THE ACCURACY OF THE INFORMATION OR OTHER INFORMATION CONTAINED HEREIN OR ANY BOUNDARY OF OR APPURTENANT TO THE ABOVE DESCRIBED PARCELS). THIS PLAN IS NOT TO BE USED TO REESTABLISH BOUNDARY LINES.

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3088 BARKING ROAD NANAIMO B.C. V1T 4B5
PHONE: 250-756-7722 FAX: 250-756-7774
WWW.WILLIAMSONSURVEYORS.COM
FILE: 2018-3 SITE PLAN (SHEET 2 OF 2) (BASE PLAN 2018)







File: Land-12800-20

January 26, 2023

Sid and Susan Whittakers
 1567 Imperial Lane
 Ucluelet, BC
 V9Y 8W4

Dear Sid and Susan Whittakers:

I am writing to let you know that it has been determined your planned private moorage structure (dock) fronting your upland property appears to be authorized by way of General Permission for Private Moorage.

Your moorage structure is considered to comply with General Permission for Private Moorage due to the following:

- You are the upland owner of Lot 1, District Lot 282, Clayoquot District, Plan EPP124154 (PID 031-828-345);
- The dock will not be located over an Area of Special Interest, or a designated Application-only Area, or an area that has been designated as a reserve or withdrawal prohibiting authorization of a dock under sections 15, 16 or 17 of the *Land Act*;
- There will only the one dock fronting the upland property, the float and walkway are either floating or suspended above the water, and the dock is connected to the shore and provides pedestrian access;
- There will be no beach houses, storage sheds, boathouses, roofs, sun decks, hot tubs or other similar improvements on or near the dock;
- The planned overall distance from the marine environment natural boundary is less than 60 metres, the moorage float is less than 14 metres in length and 3.7 metres in width, and the walkway connecting the float to the shore is no greater than 1.5 metres wide;
- The dock will be oriented at right angles to the general trend of the shoreline and will not interfere with the riparian rights of an adjacent property;
- The offshore end of the dock, including anchor lines, are greater than 30 metres from navigation channels;
- You have completed a Marine Habitat Assessment Report and will construct the dock in accordance with the recommendations provided in the assessment; and
- The dock will be more than 5 metres from the “projected side property line” and 10 metres from any existing dock or structure on the foreshore.

.../2

You are required to comply with, all conditions identified and not identified in this letter, the Ministry of Forests, General Permission to Use Crown Land for a Private Moorage Dock.

In addition, you assume all responsibility and liability associated with the dock and must indemnify the Province of British Columbia for any loss or expense incurred by the Province of British Columbia as a result of the existence or use of the dock by any person, including, without limitation, any conflict between the existence or use of the dock and the land use or riparian rights of any person.

Please also note that at any time should you contemplate repairs, modifications or rebuilds to the authorized structure, such that it will no longer comply with the General Permission for Private Moorage criteria, you will be required to apply for Specific Permission tenure. If the dock is used for another purpose such as commercial or adventure tourism activities, you will be required to apply for the appropriate tenure.

This letter does not exclude you from other laws or bylaws and it is your responsibility to ensure compliance.

More information can be found at the following link: [Land use - private moorage - Province of British Columbia \(gov.bc.ca\)](#)

If you have any questions or require assistance on how to apply, please contact me directly at Jesse.Hopps@gov.bc.ca or by telephone at 250-736-6873.

Yours truly,

Jesse Hopps
Senior Authorization Specialist
South Island Natural Resource District

Attachment: General Permission to Use Crown Land for a Private Moorage Dock

Ministry of Forests**PROVINCIAL GENERAL PERMISSION FOR THE USE OF CROWN LAND****FOR PRIVATE MOORAGE****VERSION: June 1, 2022***(Land Act)***WHEREAS:**

- A.** The Ministry of Forests (“the Ministry”) has responsibility for the management of Crown land, including foreshore land and most submerged land;
- B.** The Minister has the authority to authorize the use of Crown land on terms and conditions which the Minister considers appropriate;
- C.** The Minister wishes to provide permission for the use of Crown land for private moorage purposes.

ACCORDINGLY, the Minister declares a general permission for the use of Docks (as herein defined), on the following terms and conditions.

1. Definitions

In this document,

“**Authorizing Agency**” means the Provincial ministry responsible for this private moorage general permission.

“**Aquatic Crown land**” means all Crown land situated below the natural boundary or below the highest, high water mark of any water body unless otherwise Crown Granted to another party.

“**Application-only Area**” means a designated area of submerged Crown land where the owner of a dock must apply for an authorization under the *Land Act*.

“**Area of special interest**” means known archaeological sites, areas of eel grass, ecological reserves, parks, protected area designations or any combination of these.

“**Dock**” means an aquatic structure used for the purpose of mooring boats and for providing pedestrian access to and from the moored boats, together with improvements in accordance with this document.

“**Freshwater**” means lakes, rivers and similar bodies of inland waters.

“**Foreshore**” means that land lying between the highest water mark and the lowest water mark that is alternatively covered by water and exposed with the normal rise and fall of the level of the body of water.

“**Marine**” means coastal waters including oceans and seas.

Ministry of Forests

“**Mobile dock**” means a dock with movable walkway and float used in lakes with seasonally fluctuating water levels, that can be readily moved away from the natural boundary as lake levels decrease, such that the required depth of water for boat moorage is achieved.

“**Natural boundary**” means the visible high water mark of any lake, river, stream or other body of water where the presence and action of the water is so common and usual, and so long continued in all ordinary years as to mark on the soil of the bed of the body of water a character distinct from that of its the banks in vegetation, as well as in the nature of the soil itself.

“**Platform or float**” means that portion of the dock structure that is generally used for mooring boats. (Note that while attached boat lifts generally do not contribute to structure width, boat lifting devices installed on decking are considered part of the moorage platform.)

“**Province**” means Her Majesty the Queen in Right of the Province of British Columbia.

“**Riparian vegetation**” means the vegetation growing on areas bordering streams and lakes that link water to land.

“**Riparian rights**” means certain common law rights that run with an upland property, and include access to and from the water.

“**Upland property**” means a non-aquatic land parcel that is bordering on a water body where the Dock is accessed from dry land.

“**Walkway**” means the structure that provides pedestrian access between shore and the boat mooring portion of a dock (i.e. the mooring platform or float).

2. Prerequisites

2.1. This permission applies only under the following circumstances:

- a. The owner of the Dock is the owner or Crown lessee of the Upland Property.
- b. A Dock shall be used for private residential moorage purposes only and the owner of the dock must not use the dock for commercial purposes or make the dock available to others for a fee.
- c. The Dock is not located over an **Area of Special Interest** (*refer to definition*).
- d. The Crown land over which the Dock has been installed, or will be installed, is not a designated **Application-only Area**, or an area that has been designated as a reserve or withdrawal prohibiting authorization of a dock under sections 15, 16 or 17 of the *Land Act*.
- e. There are no other authorizations for use of the Crown land which would prevent an overlapping permission on that land.
- f. There is only one Dock fronting the Upland Property, and no boat ramps or stand-alone boat lifts.

Ministry of Forests

3. Construction

- 3.1. A Dock platform or float, and walkway, must be either floating or suspended above the water.
- 3.2. A Dock may not have crib foundations or solid core structures made of cement or steel sheeting.
- 3.3. No new fill may be used in the construction or maintenance of a Dock.
- 3.4. No dredging may occur on Crown land.
- 3.5. **Riparian vegetation** on Crown land shall not be unduly disturbed.
- 3.6. A Dock must be connected to the shore and the connection must provide pedestrian access to the dock.
- 3.7. The only improvements authorized to be part of a Dock are those improvements necessary for mooring a boat (including non-overhead boat lifts, pilings and anchor lines,) and a **walkway**. **No** beach houses, storage sheds, boathouses, roofs, sun decks, hot tubs or other similar improvements are permitted.
- 3.8. A Dock in a **freshwater** environment must not:
 - a. extend beyond a distance of 42m from the point where the **walkway** begins, measured perpendicular from the general trend of the shoreline;
 - b. have more than a 3m wide moorage **platform or float**; or
 - c. have more than a 1.5m wide **walkway** connecting the platform or float to the shore; and
 - d. for **mobile docks** located in waterbodies that have seasonally fluctuating water levels, the outermost extent of the dock must not be more than a distance of 60m from the present **natural boundary**.
- 3.9. A Dock in a **marine** environment must be no more than:
 - a. 60m in distance from the present **natural boundary**, measured perpendicular from the general trend of the shoreline
 - b. 14m for the length of the moorage **float**
 - c. 3.7m for the width of the moorage **float**
 - d. 1.8m wide for the **walkway** connecting the float to the shore
- 3.10. Construction in or around water must only take place during the appropriate timing window specified by Fisheries and Oceans Canada.
- 3.11. Construction "... in and about a stream" (including a lake or river) must only take place in accordance with a *Water Sustainability Act*, section 11 Notification or Approval.
- 3.12. Construction materials must not contain toxic substances.

Ministry of Forests

Location

- 4.1 A Dock must be oriented at right angles to the general trend of the shoreline and must not interfere with the **riparian rights** of an adjacent property.
- 4.2 The offshore end of the Dock, including boat lifts and anchor lines, must be at least 30 metres from navigation channels.
- 4.3 The Dock (including boat lift) must be at least:
 - a) five meters from the “projected side property line”*; or
 - b) six meters from the “projected side property line” if adjacent to a dedicated public beach access or park, and
 - c) ten meters from any existing dock or structure on the foreshore.

*The “projected side property line” is a perpendicular extension from the general trend of the shoreline, commencing at the intersection of the side property line and the natural boundary.

5. Use

- 5.1 The owner of the Dock keeps the dock structures and the Crown land beneath the structures in a safe, clean and tidy condition.
- 5.2 The owner of the Dock will not commit any wilful or voluntary waste, spoil or destruction of the Crown land beneath or in the vicinity of the Dock or do anything on that Crown land that may be or become a nuisance or annoyance to an owner or occupier of land in the vicinity of the Crown land.

6. Other Requirements

- 6.1 A Dock will be subject to any other restrictions, requirements or specifications which the Minister may impose from time to time.
- 6.2 An owner of a Dock must comply with all laws that apply to the installation and use of a Dock as contemplated by this permission.
- 6.3 The Dock must not unduly obstruct public access along the foreshore or beach.
- 6.4 Before construction of a new marine Dock (i.e. *one constructed after the effective date of this general permission*) the owner must obtain and adhere to a Marine Habitat Assessment Report for the site which must be completed by a qualified registered professional biologist. This report must be provided to the Authorizing Agency upon request.
- 6.5 Subject to the following schedule, within the Thompson Okanagan and Kootenay Boundary regions, a Dock that was built or altered during the periods indicated may have different standards apply, in place of the current setback, width and length provisions of this permission. If requested, the owner must provide proof of when the Dock was built and/or altered. If proof is not provided current conditions apply.

Ministry of Forests

| Structural Element | Prior Standards | | |
|------------------------|-------------------|-----------|----------------|
| | Construction Year | | |
| | Pre-2007 | 2007-2009 | 2010 onwards** |
| Property Line Setback | ≥ 3m/6m* | ≥ 5m/6m* | ≥ 5m/6m* |
| Walkway width | ≤ 3.7m | ≤ 3.7m | ≤ 1.5m |
| Platform / float width | ≤ 3.7m | ≤ 3.7m | ≤ 3m |
| Distance from shore | ≤ 42m | ≤ 42m | ≤ 42m |

* 6m setback required if adjacent to a dedicated public beach access or park

** Same as current standards for these specific structural elements.

≥ - greater than or equal to ≤ - less than or equal to

7. Termination of Permission

- 7.1 The Minister may revoke permission for a Dock at any time in their sole discretion without incurring any liability to the owner of the dock or any users of the dock and, within the period specified in a written notice of revocation of the Minister's permission, the owner of the dock must remove all parts of the dock from Crown land.
- 7.2 When the owner of a Dock removes the dock they must leave the area of Crown land over which the dock had been placed in a safe, clean and tidy condition.
- 7.3 If the owner of a Dock fails to remove all parts of the dock as required in a notice under section 7.1, the Minister may cause any or all remaining parts of the dock to be removed at the sole expense of the owner of the dock.

8. Other Dispositions

8.1 This Permission is subject to the following provisions:

- a) other persons may hold or acquire rights or interests in the Crown land in accordance with the *Land Act*, *Ministry of Lands, Parks and Housing Act*, *Coal Act*, *Forest Act*, *Geothermal Resources Act*, *Mineral Tenure Act*, *Petroleum and Natural Gas Act*, *Range Act*, and *Water Act*, or other Provincial legislation; such rights may exist as of the date this Permission takes effect or may be granted or acquired at a later date and may affect or take priority over your use of the Crown land;
- b) there is no right to compensation from the Province and no acceptance of any claim, action or demand arising out of any conflict between the use of the Crown land under this Permission and the exercise or operation of the interests, rights, privileges and titles described in subsection (a).

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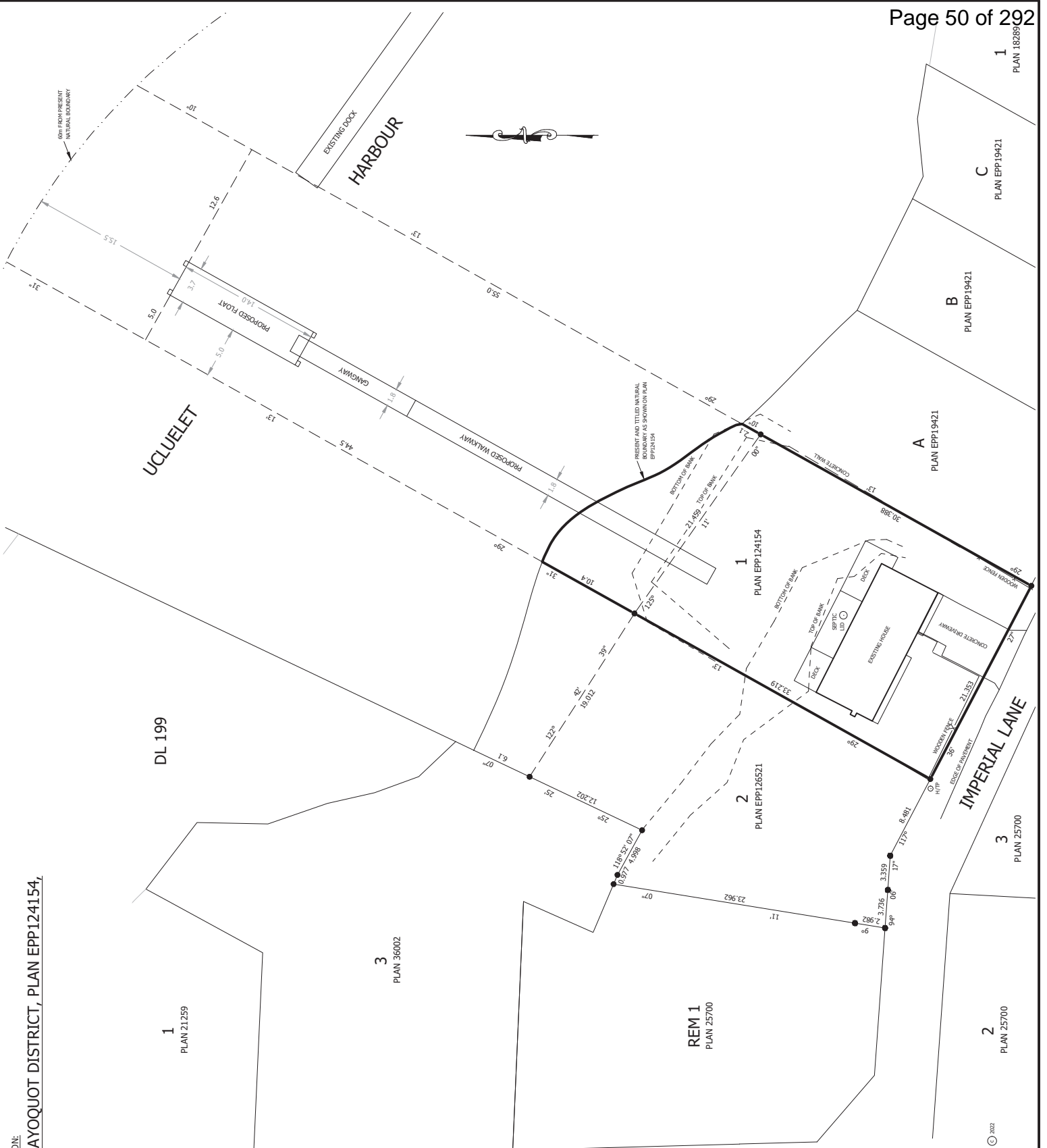
9. Liability and Indemnity

- 9.1 Ownership of and liability for a Dock shall pass to and be binding upon the heirs, executors and assigns of the Dock's owner.
- 9.2 The owner of a Dock assumes all responsibility and liability associated with the dock and must indemnify the Province for any loss or expense incurred by the Province as a result of the existence or use of the dock by any person, including, without limitation, any conflict between the existence or use of the dock and the land use or riparian rights of any person.
- 9.3 Without limiting the Dock owner's obligations or liabilities the dock owner must, at their expense, effect and keep in force a Homeowner's Insurance Policy or other insurance policy which expressly covers the use of the dock, including Comprehensive Personal Liability in an amount of not less than \$2,000,000 per occurrence.

THE PLAN SHOWING PROPOSED DOCK LOCATION ON:
PLOT 1, DISTRICT LOT 282, CLAYOQUOT DISTRICT, PLAN EPP124154,



NOTES:
1. PLANNING ADDRESS: 1567 IMPERIAL LANE
2. ALL DIMENSIONS ARE DERIVED FROM REGISTERED PLANS.
3. STANDARD IRON POST FOUND.



THIS PLAN PURPORTS TO POSITION ONLY THE ACTUAL AND/OR PROPOSED IMPROVEMENT(S) SHOWN RELATIVE TO ONLY THE BOUNDARIES SHOWN OF OR APPURTENANT TO THE ABOVE DESCRIBED PARCELS.
THIS PLAN PROVIDES NO WARRANTY OR REPRESENTATION AS TO THE ACCURACY OF THE LOCATION OR COORDINATES OF ANY BOUNDARY OF OR APPURTENANT TO THE ABOVE DESCRIBED PARCELS.
THIS PLAN IS NOT TO BE USED TO REESTABLISH BOUNDARY LINES.

WILLIAMSON & ASSOCIATES
PROFESSIONAL SURVEYORS © 2022
3088 BANKS ROAD NANAIMO B.C. V1T 4E5
PHONE: 250-259-0422 FAX: 250-759-7774
FILE: 2018-3 SITE PLAN (SHEET 1 OF 2) (CASE PLAN 2018)

THE PLAN SHOWING PROPOSED DOCK LOCATION ON:
PLOT 1, DISTRICT LOT 282, CLAYOQUOT DISTRICT, PLAN EPP124154,

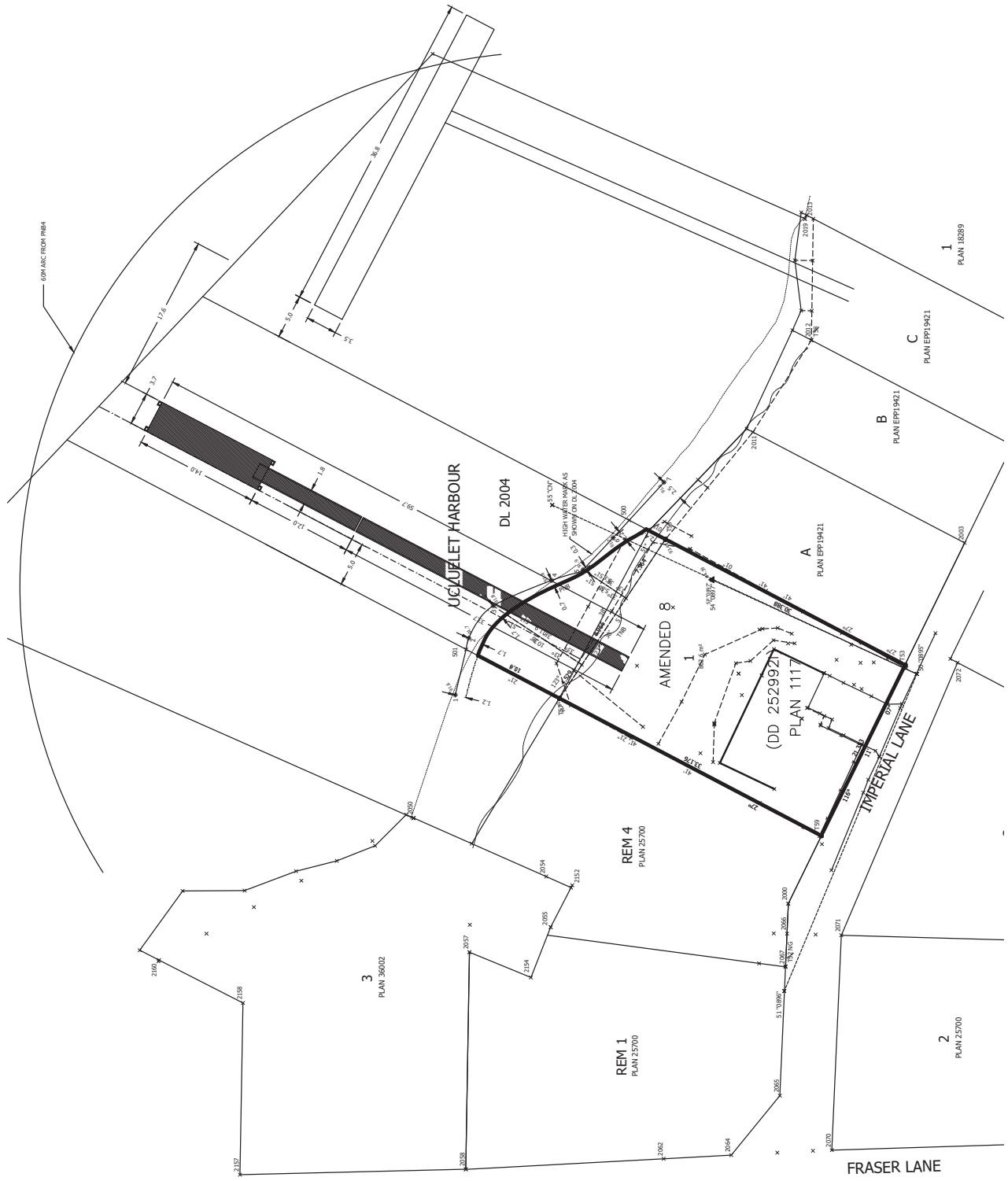


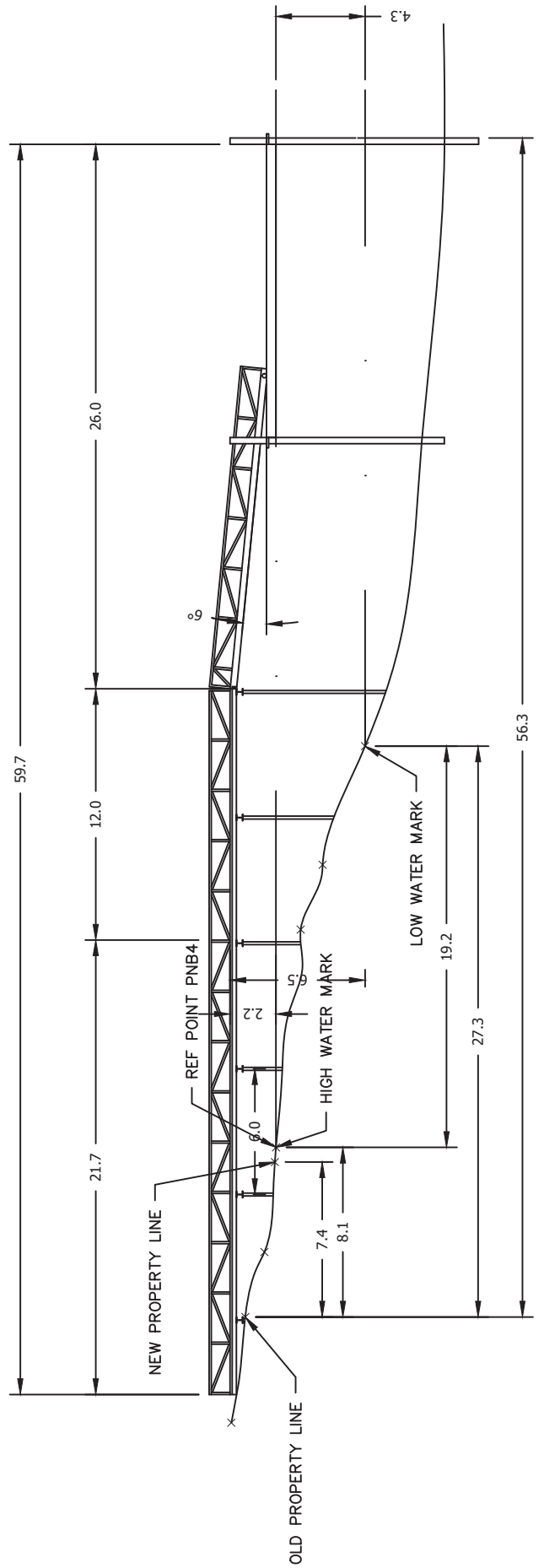
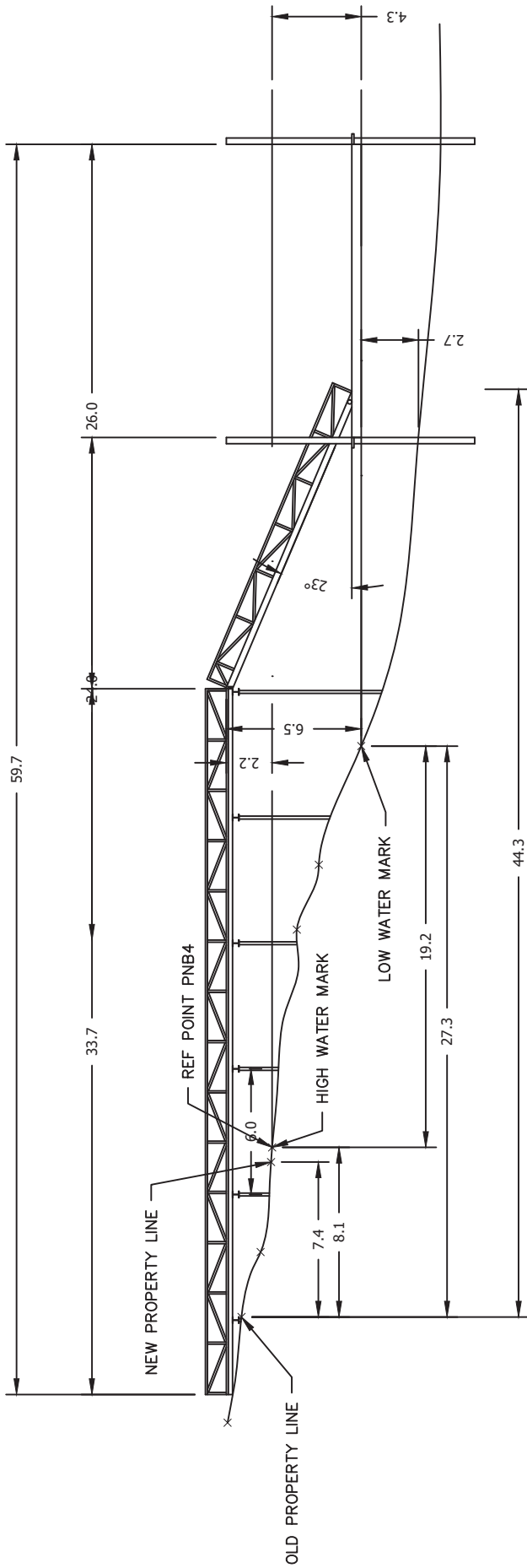
NOTES:
MUNICIPAL ADDRESS: 1567 IMPERIAL LANE



THIS PLAN PURPORTS TO POSITION ONLY THE ACTUAL AND/OR PROPOSED IMPROVEMENT(S) SHOWN RELATIVE TO ONLY THE BOUNDARIES SHOWN OF OR APPURTENANT TO THE ABOVE DESCRIBED PARCELS). THIS PLAN PROVIDES NO WARRANTY OR REPRESENTATION AS TO THE ACCURACY OF THE INFORMATION CONTAINED HEREIN, NOR DOES IT GUARANTEE THAT THE BOUNDARIES SHOWN ARE CORRECT OR THAT THERE ARE NO OTHER UNRECORDED INTERESTS OR ENCUMBRANCES RELATIVE TO ANY BOUNDARY OF OR APPURTENANT TO THE ABOVE DESCRIBED PARCELS). THIS PLAN IS NOT TO BE USED TO REESTABLISH BOUNDARY LINES.

WILLIAMSON & ASSOCIATES
PROFESSIONAL SURVEYORS © 2022
3088 BARKING ROAD NANAIMO B.C. V1T 4B5
PHONE: 250-256-7422 FAX: 250-756-7774
WWW.WILLIAMSONSURVEYORS.COM
FILE: 2018-03 SITE PLAN (SHEET 2 OF 2) (BASE PLAN 2018)





PLAN EPP124154

REFERENCE PLAN OF AMENDED LOT 8 (DD 252992I) OF DISTRICT LOT 21 AND 282, CLAYOQUOT DISTRICT, PLAN 1117 PURSUANT TO SECTION 100 (1)(a) OF THE LAND TITLE ACT.

BCGS 92C.093

SCALE 1:250



THE INTENDED PLOT SIZE OF THIS PLAN IS 432mm IN WIDTH BY 280mm IN HEIGHT (B SIZE) WHEN PLOTTED AT A SCALE OF 1:250

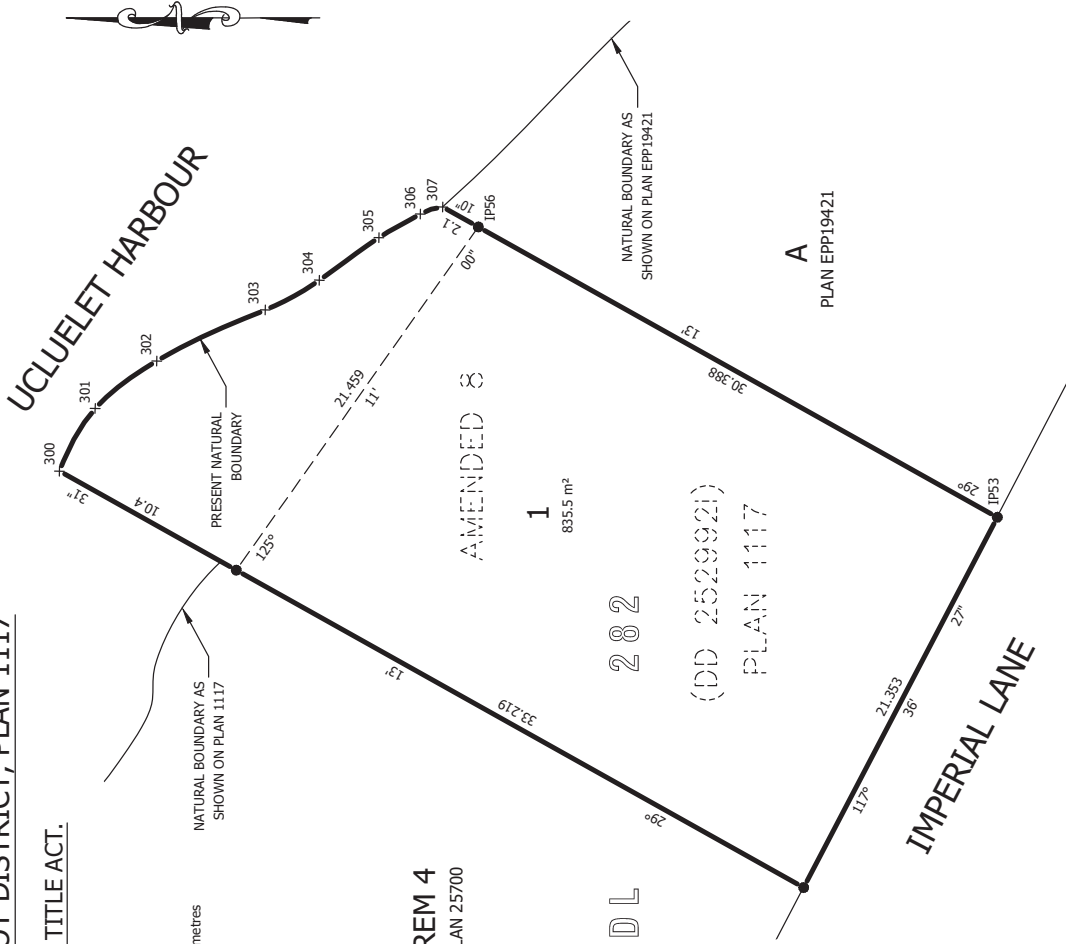
LEGEND

- STANDARD IRON POST FOUND.
- 300 + DENOTES PRESENT NATURAL BOUNDARY SURVEYED POSITION.
- GRID BEARINGS ARE DERIVED FROM GNSS OBSERVATIONS AND ARE REFERRED TO THE CENTRAL MERIDIAN OF UTM ZONE 10.
- THE UTM COORDINATES AND ESTIMATED ABSOLUTE ACCURACY ACHIEVED ARE DERIVED USING THE PRECISE POINT POSITIONING (PPP) SERVICE OF NATURAL RESOURCES CANADA.

THIS PLAN SHOWS HORIZONTAL GROUND LEVEL DISTANCES UNLESS OTHERWISE SPECIFIED. TO COMPUTE GRID DISTANCES, MULTIPLY GROUND LEVEL DISTANCES BY THE AVERAGE COMBINED FACTOR OF 1.0000278. THE AVERAGE COMBINED FACTOR HAS BEEN DETERMINED BASED ON AN ELLIPSOIDAL ELEVATION OF -8.2 METRES.

REM 4
PLAN 25700

DL



| Present Natural Boundary Ties | | |
|---|--------------|-------------|
| UTM ZONE 10 COORDINATES Datum: NAD83 (CSRS) 3.0.0.BC.1.NVT | | |
| Point # | UTM Northing | UTM Easting |
| 300 | 5424172.6 | 313684.4 |
| 301 | 5424170.8 | 313687.6 |
| 302 | 5424167.7 | 313690.1 |
| 303 | 5424162.1 | 313692.7 |
| 304 | 5424159.3 | 313694.2 |
| 305 | 5424156.3 | 313696.4 |
| 306 | 5424154.2 | 313697.6 |
| 307 | 5424153.0 | 313697.9 |

| Georeferencing Table and Bearing Derivation | | | |
|--|---------------|-------------------|-----------------------------|
| Datum: NAD83 (CSRS) 3.0.0.BC.1.NVT UTM ZONE 10 COORDINATES | | | |
| Station | UTM Northing | UTM Easting | Estimated Absolute Accuracy |
| IP 53 | 5424124.70 | 313682.07 | 0.05 Metres |
| IP 56 | 5424151.22 | 313696.90 | 0.05 Metres |
| STATION CONNECTION | BEARING (DMS) | DISTANCE (METRES) | |
| IP 53 -> IP 56 | 29°13'10" | 30.388 | |

Williamson & Associates
Professional Surveyors
3088 Batons Road
Nanaimo B.C. V9T 4B5
FILE: 22018-1.REF REV3 BASEPLAN: 22018

SURVEYOR GENERAL FILE # 0889724.

THE WATER BOUNDARY SHOWN HEREON IS THE NATURAL BOUNDARY AS DEFINED IN THE LAND ACT.

THIS PLAN LIES WITHIN THE ALBERNI-CLAYOQUOT REGIONAL DISTRICT.

THE FIELD SURVEY REPRESENTED BY THIS PLAN WAS COMPLETED ON THE 31st DAY OF AUGUST, 2022.
ARNE O. HALS, B.C.L.S. 1031.



DEVELOPMENT VARIANCE PERMIT DVP23-04

Pursuant to section 498 of the Local Government Act, R.S.B.C 2015 C.1 as amended:

1. This Development Variance Permit is issued to:

Sidney and Susan Whittaker, 2574 Steve Ellis Rd, Nanaimo, BC, V9R 0J7

2. This Development Variance Permit applies to, and only to, those lands within the District of Ucluelet described below, and the buildings, structures, and other development thereon:

1567 Imperial Lane; Lot 1, Plan EPP124154, District Lot 282, Clayoquot Land District (PID 031828345)

3. The work authorized by this Permit may only be carried out in compliance with the requirements of the District of Ucluelet Zoning Bylaw No. 1160, 2013, except where specifically varied or supplemented by this development variance permit and in compliance with all federal, provincial, and municipal statutes, regulations, and bylaws.
4. This permit authorizes the following variance specific to the plans and details attached as Schedule "A":
 - A. 0 m of the upland side of the natural boundary of the ocean whereas section 306.2.1(a) of District of Ucluelet Zoning Bylaw No. 1160, 2013 requires a minimum of 7.5 m.
 - B. 0 m of the front yard property line (the natural boundary of the ocean) whereas section CS-1.6.1(2)(a) of District of Ucluelet Zoning Bylaw No. 1160, 2013 requires a minimum Front yard of 1.5 m.

Allow a dock and associated structural elements to within:

1. The above variance is granted for the proposed structures and use of the land as shown on Schedule "A". Should the buildings be later removed or destroyed, this Development Variance Permit shall cease to apply and the zoning bylaw requirements in effect at the time shall apply.
2. Notice shall be filed in the Land Title Office under Section 503 of the Local Government Act, and upon such filing, the terms of this Permit or any amendment hereto shall be binding upon all persons who acquire an interest in the land affected by this Permit.

3. This Permit is NOT a Building Permit.

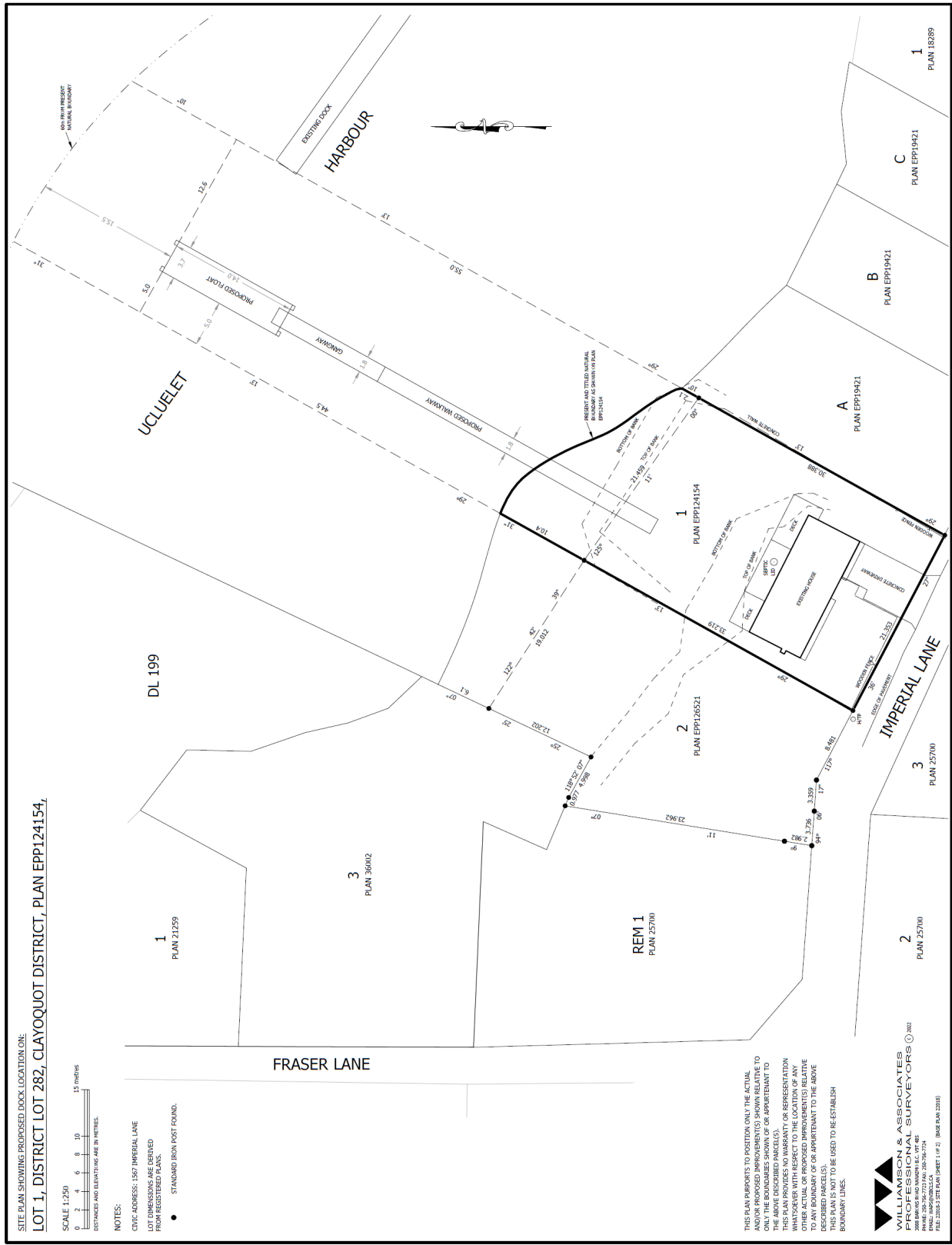


AUTHORIZING RESOLUTION passed by the Municipal Council on the _____ of _____, 2023.

IN WITNESS WHEREOF this Development Variance Permit is hereby executed and issued by the Municipality the _____ of _____, 2023.

ISSUED the _____ day of _____, 2023.

Bruce Greig - Director of Community Planning



SITE PLAN SHOWING PROPOSED DOCK LOCATION ON:
LOT 1, DISTRICT LOT 282, CLAYOQUOT DISTRICT, PLAN EPP124154,

SCALE 1:250
 0 2 4 6 8 10 12 14 16 metres
 DISTANCES AND ELEVATIONS ARE IN METRES.

NOTES:

- CIVIC ADDRESS: 1567 IMPERIAL LANE
- LOT DIMENSIONS ARE SHOWN FROM REGISTERED PLANS.
- STANDARD IRON POST FOUND.

THIS PLAN PURPORTS TO POSITION ONLY THE ACTUAL AND/OR PROPOSED IMPROVEMENT(S) SHOWN RELATIVE TO ONLY THE BOUNDARIES SHOWN OF OR APPURTENANT TO THIS PLAN PROVIDES NO WARRANTY OR REPRESENTATION WHATSOEVER WITH RESPECT TO THE LOCATION OF ANY OTHER ACTUAL OR PROPOSED IMPROVEMENT(S) RELATIVE TO THE BOUNDARIES OF OR APPURTENANT TO THE ABOVE DESCRIBED PARCEL(S).
 THIS PLAN IS NOT TO BE USED TO RE-ESTABLISH BOUNDARY LINES.

WILLIAMSON & ASSOCIATES
 PROFESSIONAL SURVEYORS
 3055 BURNS ROAD (NANAIMO) B.C. V9T 8B5
 TEL: 250.754.2000 FAX: 250.754.2074
 EMAIL: INFO@WASBCA.COM
 FILE: 2018-5-RTF PLAN (SHEET 1 OF 2) (BASE PLAN 2259)



DEVELOPMENT PERMIT DP23-02

Pursuant to section 488 of the Local Government Act, R.S.B.C 2015 C.1 as amended:

1. This Development Permit is issued to:

Sidney and Susan Whittaker, 2574 Steve Ellis Rd, Nanaimo, BC, V9R 0J7
(The "Permittee")

2. This Development Permit applies to, and only to, those lands within the District of Ucluelet described below, and the buildings, structures, and other development thereon:

1567 Imperial Lane; Lot 1, Plan EPP124154, District Lot 282, Clayoquot Land District (PID 031828345) (The "Lands")

3. This Permit authorizes the following improvements on the Lands:
 - a) The construction of one dock and associated structural elements as shown in the attached site plan (**Schedule 1**).
4. The permit holder, as a condition of issuance of this Permit, agrees to comply with the terms and conditions of **Schedule 2** which is attached hereto and forms part of this permit.
5. In addition to compliance with the terms and conditions listed in Schedule 2, the permit holder must adhere to all conditions of the Qualified Environmental Professional report in **Schedule 3** which is attached hereto and forms part of this permit.
6. Prior to any site disturbance or contractor mobilization, the permit holder must erect fencing or otherwise demarcate the no-disturbance area beyond the top of bank, and contact the District of Ucluelet to arrange a pre-construction inspection.
7. The work authorized by this Permit may only be carried out in compliance with all federal, provincial, and municipal statutes, regulations, and bylaws. The Owner is responsible for ensuring that the timing of the work and any required permits or notifications by other agencies are obtained as required to comply with all applicable regulations.
8. Notice shall be filed in the Land Title Office under Section 503 of the Local Government Act, and upon such filing, the terms of this Permit or any amendment hereto shall be binding upon all persons who acquire an interest in the land affected by this Permit.
9. The Owner shall substantially commence the development within 24 months of the date of issuance, after which this permit shall be null and void.
10. Upon completion of all proposed works, the Owner shall provide a letter from a QEP to the District of Ucluelet confirming that the work done under permit was completed meeting the conditions listed below.
11. This Permit is NOT a Building Permit.
12. The Municipality's Chief Administrative Officer is hereby authorized to approve minor amendments to the plans provided that such amendments are consistent with the overall character and intent of the original plans.

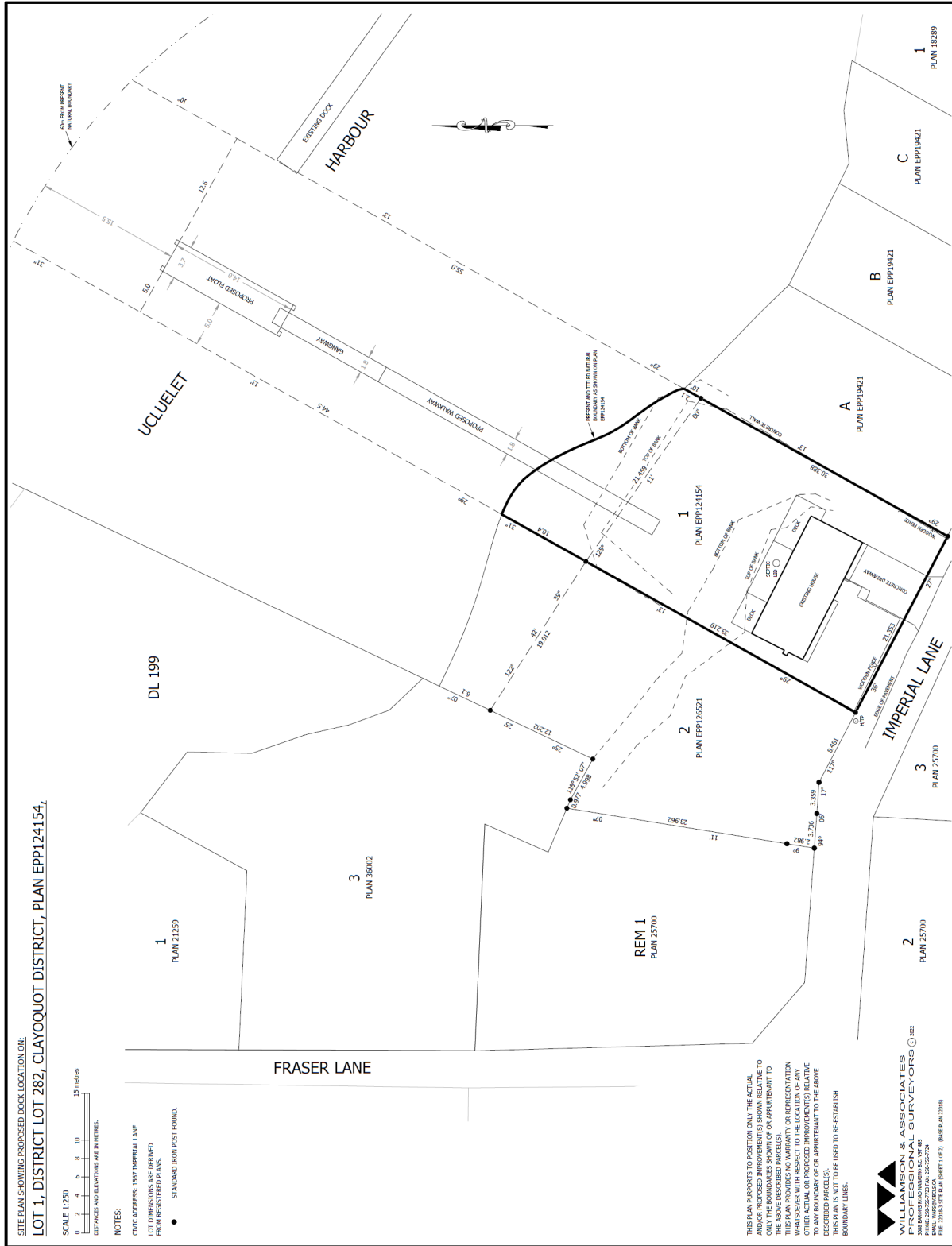


AUTHORIZING RESOLUTION passed by the Municipal Council on the day of , 2023.

ISSUED the day of , 2023.

Bruce Greig
Director of Community Planning

Schedule 1





Schedule 2

Terms and Conditions

As a condition of the issuance of this Permit, the Permittee representing the Lands hereby to comply with all following Impact Reductions and Mitigation Measures, determined by Qualified Environmental Professional (QEP) as necessary to avoid negative impacts to environmental habitats within and adjacent to the Property.

1. There shall be no disturbance of eelgrass vegetation during construction. This includes:
 - a) Mechanical disturbance or destruction of eelgrass beds (dredging, pile driving, prop wash, placement of material, etc.).
 - b) Sedimentation of eelgrass beds or release of deleterious materials.
2. Mitigation strategies of construction related impacts must include a pre-construction survey for forage fish eggs (see Current Environmental Memorandum dated September 2023).

Care must be taken to ensure pile driving does not occur in eelgrass beds and that pile driving barges to not rest or drop spuds onto the eelgrass beds. Displacement by strong "prop wash" must be prevented.

3. An Environmental Monitor must be present at the project kickoff and during all in water works to ensure mitigation measures are clearly understood and implemented properly. The EM will have the authority to halt operations should unacceptable impacts to environmentally sensitive features be observed. Based on observations of local wildlife (presence of marine mammals, observations of negative impacts to observed wildlife, etc.), the EM may implement measures to monitor acoustic percussion levels and adjust pile driving methods as needed.
4. Minimize disturbance to shoreline vegetation. Use of machines working from the beach and foreshore are discouraged. Disturbed vegetation must be restored upon completion of construction work.
5. Spill kits, including ample sorbent boom-type and pads must be on hand and readily accessible at all times. The spill kit must have the capacity to capture 125% of the volume of maximum spills.
6. Decking materials must allow light penetration to the marine environment. It is recommended that the contractor consult the EM to confirm compliance during purchase and installation of decking materials.

The following conditions must be adhered to following construction to prevent harm to sensitive species or habitats:

1. There shall be no motorized boat traffic or bilge pumping within 3 m of the identified eelgrass bed. Eelgrass is highly sensitive to damage from propellers and suffocation from suspended sediments. The eelgrass bed would exist beneath the proposed gangway, with avoidance from boat traffic highly possible. Signage to inform operators and mark "limited access zones" is recommended.
2. There shall be absolutely no dredge works within 5 m of the eelgrass bed to facilitate dock usage.



3. Limit foot traffic from the home to the shoreline to the existing footpath to maintain foreshore vegetation. Any modifications of this footpath are subject to additional environmental assessments and are likely to require a Development Permit and associated approvals.



Schedule 3

(See Appendix D for environmental reports)

Memorandum – 1567 Imperial Lane Ucluelet Proposed Dock



| | |
|---|-----------------------------------|
| To: Sid Whittaker | Date: June 9 th , 2023 |
| From: Warren Fleenor, R.P. Bio Mikala Wheeler, B. Sc | Project: 3070 Pages: 10 |

RE: Reconnaissance Aquatic Resources Inventory – 1567 Imperial Lane, Ucluelet BC.

The proponent, Sid Whittaker, undertaking development at 1567 Imperial Lane (PID: 007-890-800 and 003-659-038) in Ucluelet, BC retained Current Environmental Ltd. (CEL) to complete an aquatic resources inventory on the subject lots (Figure 1). The survey included an assessment of the shoreline waters and potential fish and wildlife habitat that could be subject to degradation due to development or harmful uses on the subject property. The assessment took place as a matter of defining the constraints of Development Permit Area VII – Marine Shoreline - under the District of Ucluelet Official Community Plan Bylaw No. 1236, 2020¹. Proposed development includes a raised walkway and gangway on piles (approximately 45 meters x 1.8 meters) and a floating dock (14 meters x 3.7 meters) (Appendix A).

1.0 BIOPHYSICAL DESCRIPTION

A site survey was conducted by CEL on August 19, 2022. The property consists of two individual lots each zoned as CS-1 (Commercial Services -1/Village Square Commercial) and were recently purchased by the proponent. Lot 1 (PID: 007-890-800) supports a single-family dwelling. Lot 2 (PID: 003-659-038) is an undeveloped lot consisting of mature shrubs and young deciduous trees. Vegetation on the foreshore was limited to patches of slough sedge (*Carex obnupta*) and sea asparagus (*Salicornia sp.*) (Photo 1). The lots front the Ucluelet Harbour in an area that has historical and current commercial and industrial use for marine activities. The greater Ucluelet Harbour is known to support dense, productive eelgrass (*Zostera marina*) beds, particularly northeast of the subject lot, deeper within the harbor.

The assessment was focused to Lot 1, the location of the proposed dock installation (Figure 1). Much of the lot is within the 30-meter Foreshore DPA boundary. The area between the house and the beach is primarily a maintained lawn with little naturalized area. A narrow footpath leads from the existing deck to the shoreline on the eastern edge of the lot. A snorkel survey confirmed a band of healthy eelgrass running parallel with the shoreline through the proposed site of development. The areas of eelgrass were relatively consistent, occurring in a 2-meter to 4-meter-wide band, approximately 6 meters from the natural high tide boundary.

¹ District of Ucluelet. (2020). Bylaw No. 1236. District of Ucluelet Official Community Plan Bylaw. DPA VII – Environmental Development Permit Areas. pp.131.



REPORT TO COUNCIL

Council Meeting: June 27th, 2023

500 Matterson Drive, Ucluelet, BC V0R 3A0

FROM: MONICA WHITNEY-BROWN

FILE No: 3060-20/ 3090-20

SUBJECT: ENVIRONMENTAL DEVELOPMENT PERMIT /DEVELOPMENT VARIANCE PERMIT FOR 1656 BAY ST.

REPORT NO: 23- 94

ATTACHMENT(S): APPENDIX A – DEVELOPMENT VARIANCE PERMIT 23-10
 APPENDIX B – DEVELOPMENT PERMIT 23-03
 APPENDIX C – QEP REPORT

RECOMMENDATION(S):

THAT Council authorize the Director of Community Planning to execute and issue Development Variance Permit DVP23-10 to allow the construction of an addition to a single-family dwelling 16 metres from the natural boundary of a watercourse.

THAT Council authorize the Director of Community Planning to execute and issue Environmental Development Permit DP23-03 to allow an addition in an environmental development permit area at 1656 Bay Street.

BACKGROUND:

This environmental application was received on May 4th for the property located at 1656 Bay Street (PID 002407728, Lot 13, Plan VIP26711, District Lot 282, Clayoquot Land District). The applicant is planning a significant addition to the existing single-family dwelling on the property.

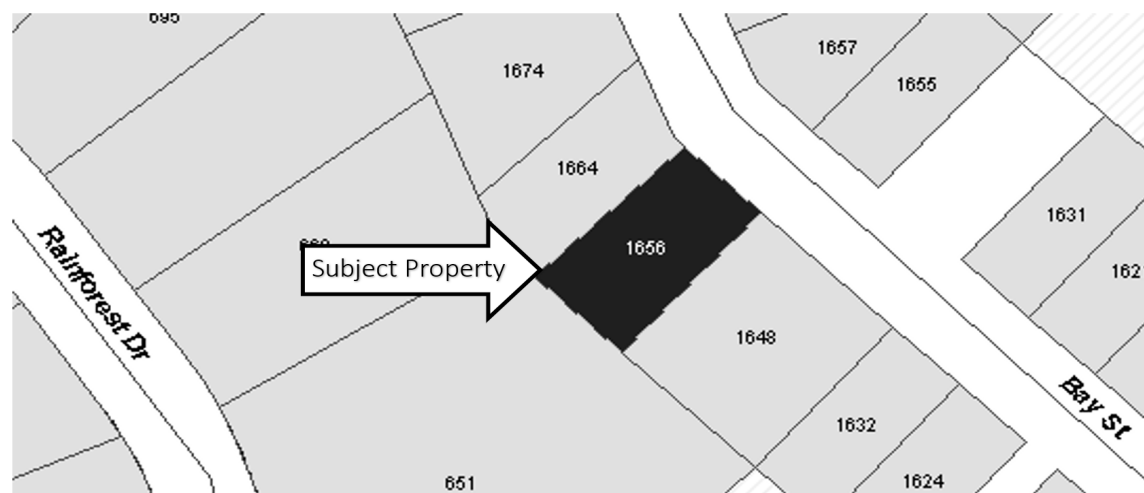


Figure 1- Subject Property

Development Permit Area VI (Streams and Riparian Areas)

The subject property falls within the Official Community Plan's "*Environmental Development Permit Areas*". Development Permit area is designated as all land within 30 metres on both sides of streams and watercourses.

DISCUSSION:

Environmental Development Permit:

The applicant is proposing a two-storey addition comprising of a new entry, a workshop, two-car garage and two short-term rental suites to the existing 2240 ft² single-family dwelling on the subject property. The lot is designated within the Streams and Riparian Areas Development Permit Area, under the Official Community Plan (fig.2).

Environmental Development Permit Areas are established to guide development and land use to ensure the most sensitive environmental features of a site are protected and ecological functions are not needlessly disturbed by development activities. For all land lying within an Environmental DP area, the applicant must submit a report prepared by a Qualified Environmental Professional (QEP) assessing the site, its natural features and the proposed development - establishing conditions to guide construction to protect and mitigate environmental impacts. Staff draft the associated development permit terms and conditions from the recommendations in the QEP report.

The area for the proposed addition has been cleared, leveled and compacted. The applicant completed these works, and Staff noted when they applied for an excavation permit that the clearing work had occurred improperly within a development permit area. As per Official Community Plan requirements, the applicant has since retained a Qualified Environmental Professional (QEP) to prepare a report on the environmental considerations of the site and develop recommendations to restore environmentally sensitive areas (Appendix C). The report states that "The proposed project, as currently projected, is not expected to have any adverse effects to wildlife or wildlife habitat".

Development Variance Permit:

In addition to the environmental development permit, the applicant is required to obtain a development variance permit to vary Section 306.2(b) of the District of Ucluelet Zoning Bylaw No. 1160, 2013 which states that "No building or structure may be placed, constructed, sunk into, erected, moved, sited, altered or enlarged within 30 m (98.5 ft) of the natural boundary of any natural watercourse or source of water supply". In line with the recommendations of the QEP report, this application is seeking to vary this requirement, from 30 m to 16 m on the subject property.

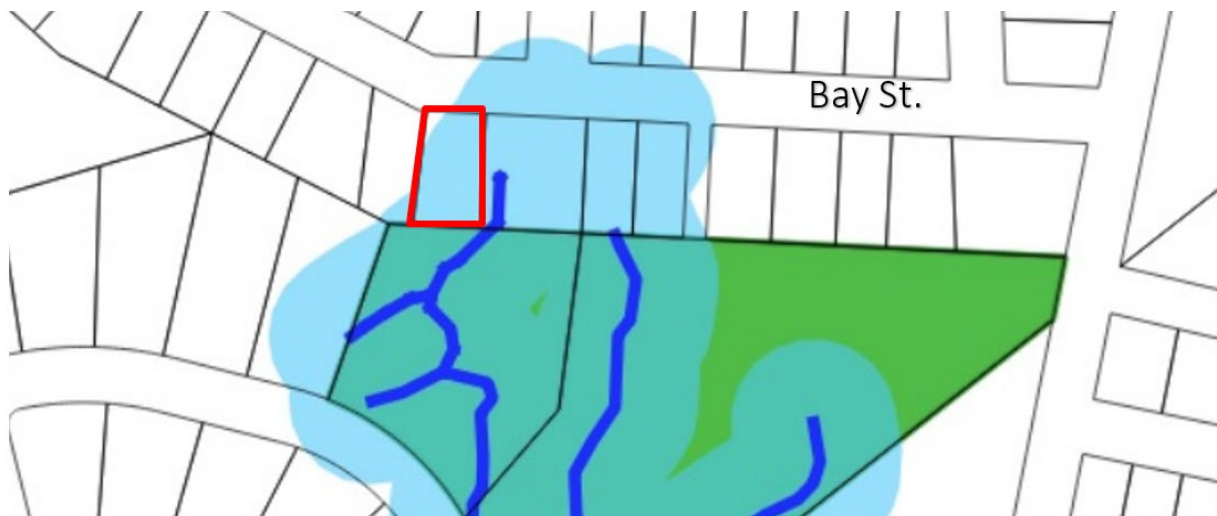


Figure 2 - Subject Property on Schedule E of the Official Community Plan

ANALYSIS OF OPTIONS:

| | | | |
|----------|--|--------------------------------|---|
| A | Authorize the issuance of Development Permit 23-03 and Development Variance Permit 23-10 | <u>Pros</u> | <ul style="list-style-type: none"> Allows applicant’s development to proceed in a manner which a QEP has deemed consistent with the OCP development permit guidelines. |
| | | <u>Cons</u> | <ul style="list-style-type: none"> Unknown |
| | | <u>Implications</u> | <ul style="list-style-type: none"> Approval will require follow-up by Staff to ensure compliance with all conditions. |
| C | Reject the application | <u>Pros</u> | <ul style="list-style-type: none"> Unknown |
| | | <u>Cons</u> | <ul style="list-style-type: none"> Does not allow applicant’s development to proceed in a manner which a QEP has deemed consistent with the OCP development permit guidelines. Staff would need direction from Council on how to apply the Environmental Development Permit guidelines established in the OCP bylaw and/or make amendments to the DP area guidelines. |
| | | <u>Implications</u> | <ul style="list-style-type: none"> Additional staff time will be required to follow up with applicant and consultants. Council should provide reasoning for how the proposal does not meet DP guidelines. |
| | | <u>Suggested Motion</u> | No motion is required. |

POLICY OR LEGISLATIVE IMPACTS:

This application is consistent with the Official Community Plan and the Local Government Act.

NEXT STEPS:

- If Council approves both permits, Staff would register the development permit and variance on LTSA, and the applicant would be able to apply for a building permit.
- The applicant will have to meet all conditions of the DP and DVP in order to proceed with their proposed addition.

Respectfully submitted: Monica Whitney-Brown, Planning Assistant
Bruce Greig, Director of Community Planning
Duane Lawrence, CAO



DEVELOPMENT VARIANCE PERMIT DVP 23-10

Pursuant to section 498 of the Local Government Act, R.S.B.C 2015 C.1 as amended:

1. This Development Permit is issued to:
Mason Hampel, 1656 Bay Street, Ucluelet BC, V0R3A0
(The **"Owner"**)

2. This Development Permit applies to, and only to, those lands within the District of Ucluelet described below, and the buildings, structures, and other development thereon:
1656 Bay Street, PID 002407728, Lot 13, Plan VIP26711, District Lot 282, Clayoquot Land District (The **"Lands"**).

3. The work authorized by this Permit may only be carried out in compliance with the requirements of the District of Ucluelet Zoning Bylaw No. 1160, 2013, except where specifically varied or supplemented by this development variance permit and in compliance with all federal, provincial, and municipal statutes, regulations, and bylaws.

4. This permit authorizes the following variance specific to the plans and details attached as Schedule "A":
 - a. Construction of an addition to a single-family dwelling 16 metres from the natural boundary of a watercourse whereas Section 306.2(b) of the District of Ucluelet Zoning Bylaw No. 1160, 2013 requires 30 metres.

5. The above variance is granted for the proposed structures and use of the land as shown on Schedule A. Should the buildings be later removed or destroyed, this Development Variance Permit shall cease to apply and the zoning bylaw requirements in effect at the time shall apply.

6. Notice shall be filed in the Land Title Office under Section 503 of the Local Government Act, and upon such filing, the terms of this Permit or any amendment hereto shall be binding upon all persons who acquire an interest in the land affected by this Permit.

7. This Permit is NOT a Building Permit.



AUTHORIZING RESOLUTION passed by the Municipal Council on the of , 2023.

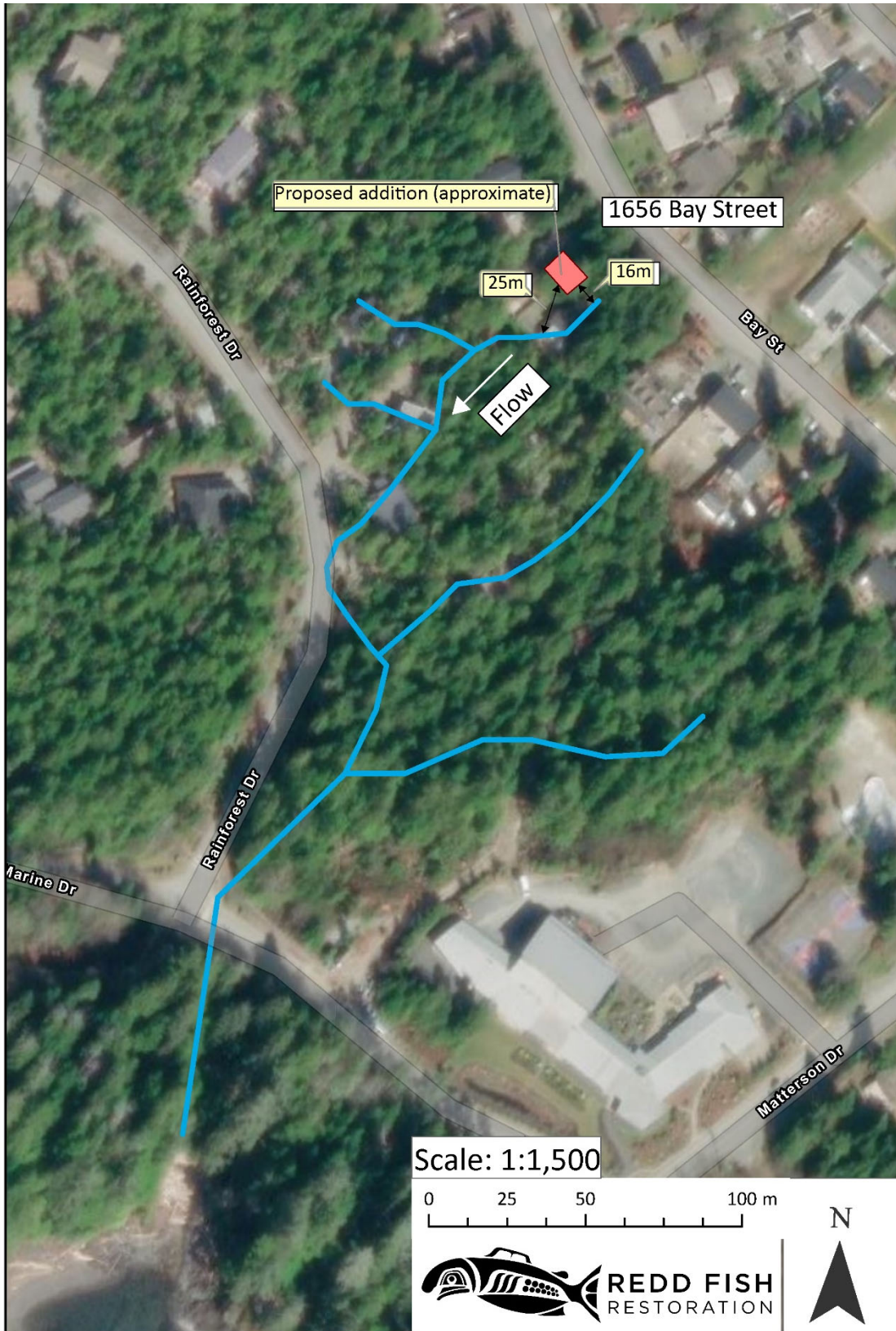
IN WITNESS WHEREOF this Development Variance Permit is hereby executed and issued by the Municipality the of , 2023.

ISSUED the day of , 2023.

Bruce Greig - Director of Community Planning



Schedule A



DEVELOPMENT PERMIT DP23-03

Pursuant to section 488 of the Local Government Act, R.S.B.C 2015 C.1 as amended:

1. This Development Permit is issued to:
Mason Hampel, 1656 Bay Street, Ucluelet BC, V0R3A0
(The “Owner”)
2. This Development Permit applies to, and only to, those lands within the District of Ucluelet described below, and the buildings, structures, and other development thereon:
1656 Bay Street, PID 002407728, Lot 13, Plan VIP26711, District Lot 282, Clayoquot Land District (The “Lands”).
3. This Permit authorizes the following improvements on the Lands:
 - a) Construction of a single-family dwelling and associated landscape and hardscape works as shown in the attached site plan (Schedule 1)
4. The permit holder, as a condition of issuance of this Permit, agrees to comply with the requirements and conditions of Schedule 2 which is attached hereto and forms part of this permit.
5. In addition to compliance with the requirements of Schedule 2, the permit holder must adhere to all conditions of the Qualified Environmental Professional report in Schedule 3 which is attached hereto and forms part of this permit.
6. Prior to any site disturbance or contractor mobilization, the permit holder must erect sediment fencing as required by the Qualified Environmental Report and contact the District of Ucluelet to arrange a pre-construction inspection.
7. The work authorized by this Permit may only be carried out in compliance with all federal, provincial, and municipal statutes, regulations, and bylaws. The Owner is responsible for ensuring that the timing of the work and any required permits or notifications by other agencies are obtained as required to comply with all applicable regulations.
8. Notice shall be filed in the Land Title Office under Section 503 of the Local Government Act, and upon such filing, the terms of this Permit or any amendment hereto shall be binding upon all persons who acquire an interest in the land affected by this Permit.
9. The Owner shall substantially commence the development within 24 months of the date of issuance, after which this permit shall be null and void.
10. Upon completion of all proposed works, the Owner shall provide a letter from a QEP to the District of Ucluelet confirming that the work done under permit was completed meeting the conditions listed below, including the replanting of previously disturbed areas.

11. This Permit is NOT a Building Permit.

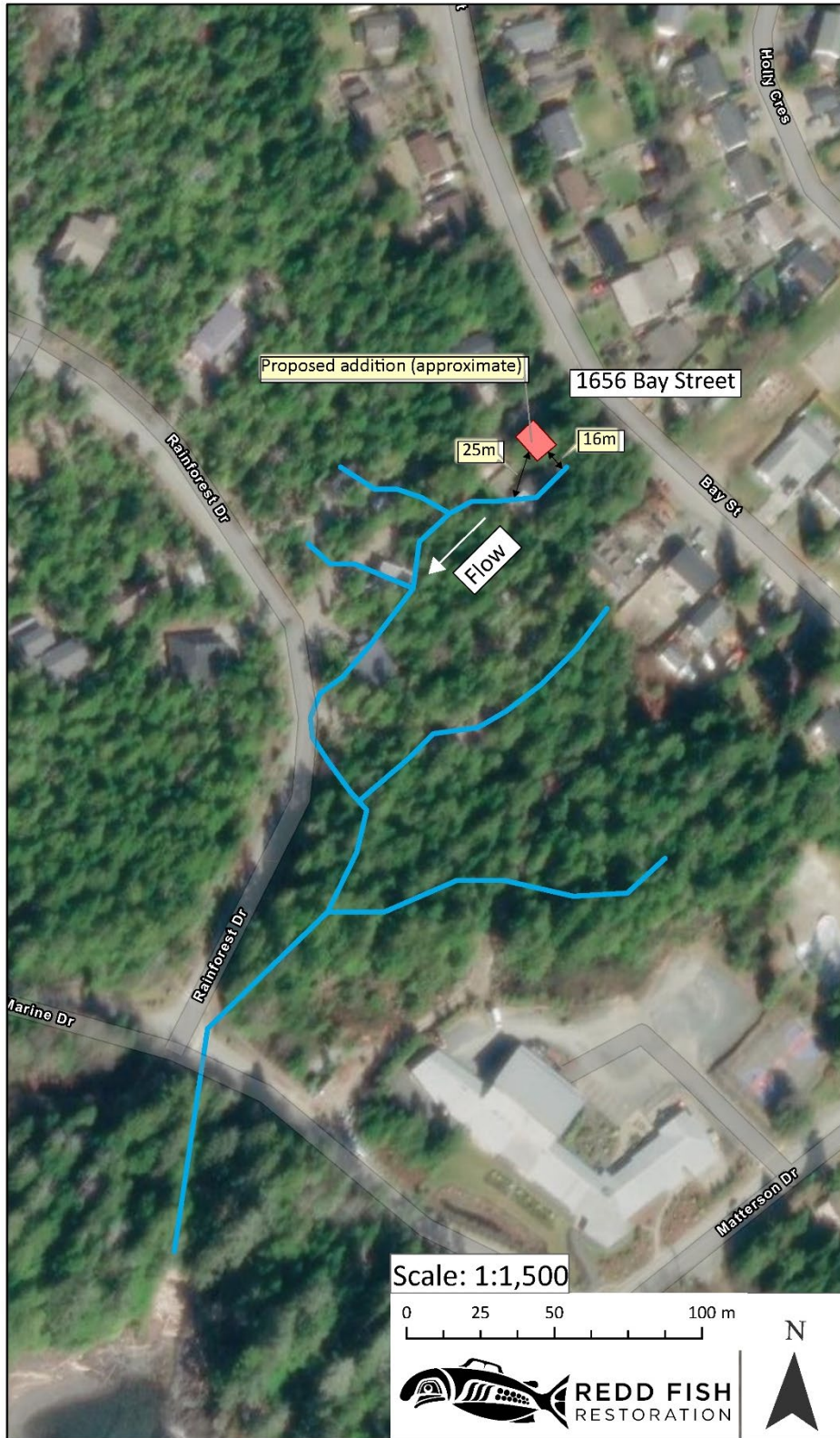
12. The Municipality's Chief Administrative Officer is hereby authorized to approve minor amendments to the plans provided that such amendments are consistent with the overall character and intent of the original plans.

AUTHORIZING RESOLUTION passed by the Municipal Council on the day of , 2023.

ISSUED the day of , 2023.

Bruce Greig
Director of Community Planning

Schedule 1



Schedule 2 Conditions

As a condition of the issuance of this Permit, the Permittee representing the Lands hereby to comply with all following Impact Reductions and Mitigation Measures, determined by Qualified Environmental Professional (QEP) as necessary to avoid negative impacts to environmental habitats within and adjacent to the Property.

1. No further clearing is permitted in association with this development permit, and the remaining 11 m vegetated buffer between the addition and the stream must be maintained.
2. If further clearing is required, a Qualified Environmental Professional is required to update the report and provide the amended version to the District with any additional mitigation requirements prior to the clearing. Any vegetation clearing for the project must be conducted outside of the breeding bird nesting season which is March 26 to August 7 for forested ecosystems in the region (within the A1 Nesting Zone; Environment Canada 2021). If clearing within this window is unavoidable, a pre-clearing nesting bird survey must be conducted.
3. The owner must replant 15 western redcedar trees along the east edge of the property at one tree per 2 m² (one tree every 2 m) in two rows. A deposit of \$4000 required at issuance of this permit, which shall be returned after the District of Ucluelet has received confirmation from the QEP that the replanting has been inspected and this condition is met.
4. Care must be taken to not impact amphibians during construction. The site must be kept dry, avoiding creating pooling water during the late winter and spring months.
5. Sediment fencing must be installed on the east/southeast border of the property to provide a buffer between the proposed addition and the adjacent riparian area. If pumping of water is required it must be conveyed to a well vegetated area away from the watercourses for filtration.

Schedule 3 QEP Report

As a condition of the issuance of this Permit, the Permittee representing the Lands hereby agrees to comply with all following conditions in the Environmental Assessment Report.



286 Main Street
Po Box 641 Ucluelet BC, VOR 3A0
250-726-2424
info@reddfish.org
reddfish.org

June 6, 2023

Mr. and Mrs. Hampel
1656 Bay St.
Ucluelet, BC
VOR 3A0

**RE: BIOPHYSICAL ASSESSMENT TO SUPPORT A STREAMS AND RIPARIAN AREA (DPA – VI)
DEVELOPMENT PERMIT APPLICATION OF A PROPOSED ADDITION TO AN EXISTING RESIDENCE AT
1656 BAY STREET, UCLUELET, BC.**

Dear Mr. and Mrs. Hampel,

Introduction

Redd Fish Restoration (Redd Fish) was asked by Jennifer Price-Francis of Nectar Design to assess the location of a proposed 1,909sqft addition to an existing residence at 1656 Bay Street (Attachment 2), Lot 13, Plan VIP26711, District Lot 282, Clayoquot Land District (PID 002407728). This property is within the traditional territory of the Yuułuʔiłʔatḥ Nation.

The property is within the DPA – VI Streams and Riparian areas as shown on Schedule E of the District of Ucluelet Official Community Plan (2022). This assessment was conducted to address the requirements in Section 488(1)(a) of the District of Ucluelet Official Community Plan.

Methods

Readily available background information sources were reviewed, including:

- BC Conservation Data Center (iMap BC 2023);
- Habitat Wizard (2023); and,
- District of Ucluelet online mapping portal.

The provincial Ecosystems Explorer Database was queried for potential species occurrences in the region based on the following criteria:

- Red or Blue-listed OR SARA listed Animals OR Plants OR Ecosystem; AND 'Municipalities': Ucluelet

The results of this query (Attachment 3) produce some obscure results that included species well outside of their home ranges. This list was sorted into species with potential to occur and those that are considered very unlikely based on one or both of the following:

- Study area outside of known range for the species or species is not known in the area; and,
- No suitable habitat in the study area.



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250-726-2424
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Note that invertebrates identified in this query were beyond the scope of this assessment and were not assessed.

On April 12 and May 26, 2023 Chris Dolphin of Redd Fish visited the site to assess potential interactions with environmental resources and identify potential adverse effects or environmental regulatory conformance issues.

An approximately 30 m buffer around the site was assessed for wildlife habitat value and important wildlife features, within the constraints of adjacent private property. The proposed building site was searched more thoroughly for cavities, burrows or other important wildlife habitat features or environmental sensitivities (e.g., wetlands and watercourses). Conditions were documented with field notes and site photographs. A georeferenced PDF map uploaded to Avenza Maps™ on a GPS enabled handheld device was used to navigate the study area and georeferenced important habitat features. Distances from the proposed addition to the two streams were measured manually with an Eslon 50 m measuring tape.

Results

The property is within the Southern Very Wet Hypermaritime Coastal Western Hemlock Variant (CWHvh1) biogeoclimatic zone (iMapBC 2021). This zone is characterized by a cool wet climate with very little snowfall where the Pacific Ocean moderates temperatures throughout the year (Green and Klinka 1994). Forests on zonal sites are dominated by western hemlock (*Tsuga heterophylla*) commonly mixed with amabilis fir (*Abies amabilis*) and western redcedar (*Thuja plicata*). Salal (*Gautheria shallon*), red huckleberry (*Vaccinium parvifolium*), evergreen huckleberry (*Vaccinium ovatum*), and deer fern (*Struthopteris spicant*) are common understory species. Typical bryophytes include *Rhytidiadelphus loreus* and *Hylocomium splendens* (step moss).

The existing residence is situated within a mowed grassy area bordered by western redcedar, Rhododendron sp. and Salal. The property is directly bordered by existing private residences to the north, east, south and west. The proposed addition will be constructed at the front of the home facing Bay Street. The area for the proposed addition has been cleared, leveled and compacted (Photo 1). Therefore, the pre-disturbance condition can only be inferred based on the adjacent vegetation. It is understood that no further clearing will be needed for the proposed addition.

The provincial Habitat Wizard (2023) does not indicate any streams within one kilometer of the study area. Schedule E of the District of Ucluelet Official Community Plan (2022) indicates one stream approximately 16 m south east of the property, identified as #29 with a channel width of 2.0 m and non-fish bearing status (Photo 2). An approximately 11 m vegetation buffer is between the proposed addition and this stream. There is also a small tributary to this unnamed stream located approximately 25 m



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west/southwest of the proposed addition shown on Schedule E. The width of this tributary is <1 m, as confirmed in the field.

Riparian Areas Protection Regulation (RAPR) assessment methodology would likely result in a Streamside Protection and Enhancement Area (SPEA) of six times the channel width (approximately 12 m and 6 m, respectively). Note that a RAPR assessment was not conducted; however, these features were assessed in the field. The background information was found to be correct. No impacts to these watercourses are anticipated as a result of the proposed addition, if the recommendations below are observed.

No large stick nests or cavities of Piliated Woodpecker (*Dryocopus pileatus*; now under specific protections within the Migratory Bird Regulations [2022]) were noted within the assessment area and the area does not host habitat suitable for tree-nesting seabirds whose nests are also now protected year-round (Migratory Bird Regulation 2022). Based on the downed wood in the area, it appears that approximately 10 maturing western redcedar and amabilis fir trees were removed. Approximately 6 of the trees were removed during the first week of September 2022. The remainder of the trees were removed during the middle of January 2023 as they were compromised due to strong winds and snowfall. (pers. Comm the land owner).

The BC Conservation Data Center (BC CDC) iMap application was queried for marked known occurrence records of species at risk (Attachment 3). Two occurrences overlap the site: tall woolly-heads (*Psilocarphus elatior*) and northern red-legged frog (*Rana aurora*). Tall woolly-heads is a provincially red-listed species and is federally listed as Endangered on Schedule 1 of the Species At Risk Act (SARA). This plant occurs in wet areas and vernal wetlands (Klinkenberg 2020).

Northern red-legged frogs are provincially blue-listed and listed as 'Special Concern' under the federal SARA. This species is locally common, however. No amphibians were noted during the field assessment.

There are records of California wax-myrtle (*Morella californica*) southeast of the site on the Ucluelet peninsula. This species is provincially blue-listed but is relatively common in the region. Two California wax-myrtle plants were noted in the southwest corner of the property.

Table 1. Wildlife species at risk from the BC Ecosystems Explorer Query with potential of occurring on the site.

| Group | Common Name | Scientific Name | BC List | SARA Schedule | |
|------------|--------------------------|------------------------|---------|---------------|-----------------|
| | | | | Schedule | Designation |
| amphibians | Northern Red-legged Frog | <i>Rana aurora</i> | Blue | 1 | Special Concern |
| amphibians | Wandering Salamander | <i>Aneides vagrans</i> | Blue | 1 | Special Concern |



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| | | | | | |
|----------------------------|--|--|--------|---|-----------------|
| amphibians | Western Toad | <i>Anaxyrus boreas</i> | Yellow | 1 | Special Concern |
| birds | Band-tailed Pigeon | <i>Patagioenas fasciata</i> | Blue | 1 | Special Concern |
| birds | Barn Swallow | <i>Hirundo rustica</i> | Yellow | 1 | Threatened |
| birds | Black Swift | <i>Cypseloides niger</i> | Blue | 1 | Endangered |
| birds | Black-throated Green Warbler | <i>Setophaga virens</i> | Blue | - | - |
| birds | Evening Grosbeak | <i>Coccothraustes vespertinus</i> | Yellow | 1 | Special Concern |
| birds | Great Blue Heron, <i>fannini</i> subspecies | <i>Ardea herodias fannini</i> | Blue | 1 | Special Concern |
| birds | Olive-sided Flycatcher | <i>Contopus cooperi</i> | Yellow | 1 | Threatened |
| birds | Western Screech-Owl, <i>kennicottii</i> subspecies | <i>Megascops kennicottii kennicottii</i> | Blue | 1 | Threatened |
| mammals | Little Brown Myotis | <i>Myotis lucifugus</i> | Blue | 1 | Endangered |
| SARA = Species at Risk Act | | | | | |

The proposed project, as currently projected, is not expected to have any adverse effects to wildlife or wildlife habitat.

Recommendations

In order to avoid potential impacts to breeding birds and subsequent contravention of the provincial *Wildlife Act* or the federal *Migratory Bird Convention Act*, vegetation clearing for the project should be conducted outside of the breeding bird nesting season which is March 26 to August 7 for forested ecosystems in the region (within the A1 Nesting Zone; Environment Canada 2021). If clearing within this window is unavoidable, a pre-clearing nesting bird survey should be conducted. Note that no further clearing is currently anticipated.

It is recommended that the owner replant approximately 10-15 western redcedar trees along the east edge of the property at one tree per 2m² (one tree every 2 m) in two rows.

Care should be taken to not impact amphibians during construction. Keep the site dry, avoid creating pooling water during the late winter and spring months and take care to not physically impact amphibians on the site, if they occur.



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The site is relatively level. Sediment fencing should be installed on the east/southeast border of the property to provide a buffer between the proposed addition and the adjacent riparian area. If pumping of water is required it must be conveyed to a well vegetated area away from the watercourses for filtration.

Note that conformance with building codes and other bylaws is not part of this assessment.

Closure

We trust that the above meets your current requirements, if you have any questions please contact the undersigned.

Regards,

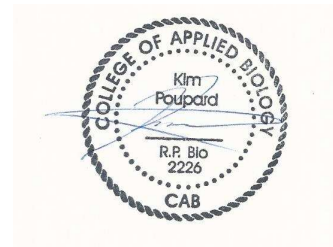
Redd Fish Restoration

Prepared by:

A handwritten signature in black ink, appearing to read "Chris Dolphin".

Chris Dolphin, B.Sc

Reviewed by:



Kim Poupard, R.P.Bio

- Attachments:**
1. Site Photos
 2. Design Drawings
 3. BC Conservation Data Center Query Results

References:

Environment Canada. 2023. General Nesting Periods of Migratory Birds. Available online:
<https://www.canada.ca/en/environment-climate-change/services/avoiding-harm-migratory-birds/general-nesting-periods/nesting-periods.html> (accessed April 13, 2023).

BC Conservation Data Center. Online mapping application maintained by the Province of British Columbia. Available at: <http://maps.gov.bc.ca/ess/hm/cdc/> (accessed April 13, 2023).



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BC Habitat Wizard. Online mapping application maintained by the Province of British Columbia.
Available at: <https://maps.gov.bc.ca/ess/hm/habwiz/> (accessed April 13, 2023).

Klinkenberg, Brian. (Editor) 2020. E-Flora BC: Electronic Atlas of the Plants of British Columbia [eflora.bc.ca]. Lab for Advanced Spatial Analysis, Department of Geography, University of British Columbia, Vancouver.

Acts and Regulations:

Migratory Birds Regulations. 2022. Status update on the modernization of the Migratory Birds Regulations, 2022. Available online at: <https://www.canada.ca/en/environment-climate-change/services/migratory-game-bird-hunting/status-update-modernization-regulations.html> (accessed April 13, 2023).

District of Ucluelet. 2020. Official Community Plan. Bylaw No 1236 (2020). Adopted Jan 2022. Available online at: <https://ucluelet.ca/community/planning-building-bylaw/community-planning-and-zoning/official-community-plan> (accessed April 13, 2023).



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Photo 1. Showing area previously cleared, leveled and compacted for the proposed addition. It is understood no additional clearing is needed for the addition.



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Photo 2. Showing small stream approximately 16 m south east of the property.

GENERAL NOTES:**NOTES TO CONTRACTOR:**

- ALL DIMENSIONS ARE APPROXIMATE AND ARE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY ALL QUALITIES, DIMENSIONS, SIZES, LOADS, ETC. PRIOR TO ANY CONSTRUCTION
- PLANS SUPPLIED ARE BASED ON A LEVEL LOT UNLESS OTHERWISE NOTED
- EXTERIOR DIMENSIONS ARE TO OUTSIDE OF FRAMING U.O.N.
- DIMENSIONS TAKE PRECEDENCE OVER SCALE
- IT IS THE RESPONSIBILITY OF THE PRODUCT SUPPLIER TO VERIFY EXACT SIZES, QUANTITIES AND DIMENSIONS PRIOR TO ANY MANUFACTURING.
- THE CONTRACTOR WILL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND INSURANCES.
- CONTRACTOR IS RESPONSIBLE FOR MAINTAINING A SAFE WORK SITE AT ALL TIMES.
- CONTRACTOR MUST COMPLY WITH WORKSAFE REGULATIONS.
- DESIGNER ASSUMES NO LIABILITY FOR ERRORS AND OMISSIONS

GENERAL NOTES:

- BUILDER/CONTRACTOR TO ENSURE ALL WORKMANSHIP AND MATERIALS CONFIRMS WITH MUNICIPAL CODE AND BC BUILDING CODE (BCBC) 2018
- ANY DISCREPANCIES BETWEEN THESE DRAWINGS AND BCBC 2018, THE BCBC 2018 SHALL TAKE PRECEDENCE.
- ANY STRUCTURAL ASPECTS OF THIS PROJECT OUTSIDE OF SECTION 09 OF THE BCBC 2018 MUST BE PERFORMED BY A CERTIFIED STRUCTURAL ENGINEER
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND MATERIALS SHOWN ON DRAWINGS BEFORE PROCEEDING.
- CONTRACTOR SHALL CHECK ALL EXISTING GRADES AND LOCATIONS OF CITY SERVICES PRIOR TO CONSTRUCTION.
- DIMENSIONS TAKE PRECEDENCE OVER SCALE
- DESIGNER ASSUMES NO LIABILITY FOR ERRORS AND OMISSIONS
- CONTRACTOR MUST ADHERE TO ALL NEW REVISIONS OF THE BCBC

GENERAL FRAMING NOTES:

- ALL STRUCTURAL FRAMING TO BE SPF NO. 2 K.D U.O.N.
- ALL HEADERS 2-2X10 U.O.N.
- PROVIDE 2X10 FLOOR SOLID BLOCKING BEHIND FIXTURES ALONG PLUMBING WALLS.
- ALL 2X10 FLOOR JOIST SPANS TO HAVE 2X2 CROSS BRIDGING @ 7'-0" MAX. SPACING.
- PLACE DOUBLE JOISTS UNDER ALL PARALLEL PARTITIONS.
- INSTALL ALL FLOOR JOISTS CROWN UP.
- LINTELS IN BEARING WALLS SHALL BE 2 2X10 U.O.N
- SUPPLY AND INSTALL WOOD FRAMING TO MIN. GRADE AS FOLLOWS:

STUDS, RAFTERS AND POSTS: SPRUCE/PINE/FOR NO.2 OR BTR
 FLOOR JOISTS: SPF NO.2 OR BTR
 GENERAL FURRING AND BLOCKING: STD OR GROUP B SPECIES
 B.U. BEAMS AND HEADERS: HEM. FIR NO.2 OR BTR

- FLOOR JOISTS SHALL HAVE BRIDGING ROWS @ 7'-0" MAX O.C.
- FLOOR AREAS TO BE FINISHED WITH SHEET VINYL OR CERAMIC TILES TO HAVE MIN. 1/4" PARTICLE BOARD APPLIED OVER SUBFLOOR
- FLOOR SHEATHING SHALL BE 5/8" D. FIR T&G PLYWOOD U.O.N.
- WALL SHEATHING SHALL BE 1/2 EXT. GRADE SPRUCE PLYWOOD
- WOOD FRAME CONSTRUCTION CLOSER THAN 8" TO THE GROUND MUST BE PRESSURE TREATED OR SEPARATED FROM THE CONCRETE WITH POLY TYPE 'S' ROLL TYPE ROOFING. ENDS AND SIDES OF BEAMS FRAMING INTO CONCRETE MUST BE PRESSURE TREATED OR A 1/2" AIRSPACE PROVIDED IF THE MEMBER IS BELOW GROUND LEVEL.
- ROOF SNOW BASED ON SS1.0kPa, SR 0.4kPa

THERMAL AND MOISTURE PROTECTION:

- FLASHING OVER ALL EXTERIOR OPENINGS.
- CAULK OVER AND AROUND ALL EXTERIOR OPENINGS USING NON-HARDENING CAULKING COMPOUND.
- FLASH ALL CHANGES IN MATERIALS ON EXTERIOR WALLS.
- ALL WOOD SIDING TO BE 8" MIN. ABOVE FINISHED GRADE.

HAMPEL ADDITION FOR: PERMIT

1656 BAY ST
 UCLUELET, BC V0R 3A0
 DATE: MARCH 15TH, 2023

**BUILDING AND CODE INFORMATION:**

CIVIC ADDRESS: 1656 BAY ST, UCLUELET, BC, V0R 3A0
 LEGAL DESCRIPTION: LOT 13, DISTRICT LOT 282, PLAN 26711
 ZONING: R-1

PROPERTY TOTALS:
 LOT AREA:
 FLOOR AREA COVERAGE:
 TOTAL LOT COVERAGE:

PERMITTED:
 35%

PROPOSED:
 SQ M (10081sf)
 SQ M(2892.83)
 28.7%

EXISTING RESIDENCE:
 TOTAL SQUARE FOOTAGE:
 GROSS FLOOR AREA:
 LOT COVERAGE:
 FLOOR AREA RATIO:
 MAXIMUM BUILDING HEIGHT:

PERMITTED:
 2240sf
 2165sf
 1120sf
 0.43
 28ft

PROPOSED:
 2240sf
 2165sf
 1120sf
 0.43
 28ft

ADDITION:
 TOTAL SQUARE FOOTAGE:
 GROSS FLOOR AREA:
 LOT COVERAGE:
 FLOOR AREA RATIO:
 MAX BUILDING HEIGHT:

PERMITTED:
 1909sf
 1909sf
 1100sf
 0.43
 28ft

PROPOSED:
 1909sf
 1909sf
 1100sf
 0.43
 28ft

BUILDING TOTALS:
 TOTAL SQUARE FOOTAGE:
 GROSS FLOOR AREA:
 LOT COVERAGE:
 TOTAL LOT COVERAGE:
 FLOOR AREA RATIO:
 MAX BUILDING HEIGHT:

PERMITTED:
 4149sf
 4074sf
 2265sf
 2892.83
 0.41
 28ft

PROPOSED:
 4149sf
 4074sf
 2265sf
 2892.83
 0.41
 27' 5 1/2"

SETBACKS: RE: SITE PLAN

INDEX:

| PAGE # | CATEGORIES PAGES USED | PAGE DESCRIPTION |
|--------|--|---|
| T1-- | TITLE PAGES T1.01 | TITLE PAGE |
| A1-- | FLOOR PLANS A1.01 A1.02 A1.03 | SITE SURVEY, SITE EXISTING FOUNDATION ADDITION, ROOF ADDITION |
| | A1.04 | BASEMENT RENOVATION, ENTRY LEVEL ADDITION |
| | A1.05 | FIRST FLOOR RENOVATION, SECOND FLOOR ADDITION |
| A2-- | ELEVATIONS, SECTIONS A2.01 | SEISMIC EXTERIOR ELEVATIONS, SECTION |
| A3-- | SECTIONS | |
| A4-- | ENLARGED PLANS | |
| A5-- | DETAILS A5.01 | CONSTRUCTION DETAILS |
| A6-- | SCHEDULES. A6.01 | WINDOW & DOOR |
| A9-- | PERSPECTIVES A9.01 A9.02 | EXTERIOR INTERIOR |

REVISIONS:

PO BOX 1067
 TOFINO BC, V0R 2Z0

info@nectardesign.ca
 www.nectardesign.ca

HAMPEL ADDITION
 1656 BAY ST,
 UCLUELET, BC, V0R 3A0

| | |
|---------------|-----------------|
| Project | HAMPEL ADDITION |
| Drawn By | B.F |
| Sheet Size | 24 X 36 |
| Date | 03-15-2023 |
| Revisions: | |
| For: | PERMIT |
| Sheet Title: | TITLE PAGE |
| Scale | As Noted |
| Sheet Number: | T 1.01 |

Site Plan of:
**Lot 13, District Lot 282,
Clayoquot District, Plan 26711**

Parcel Identifier: 002-407-728

Civic address: 1656 Bay Street

SCALE - 1 : 3 5 0



All distances are in metres and decimals thereof.

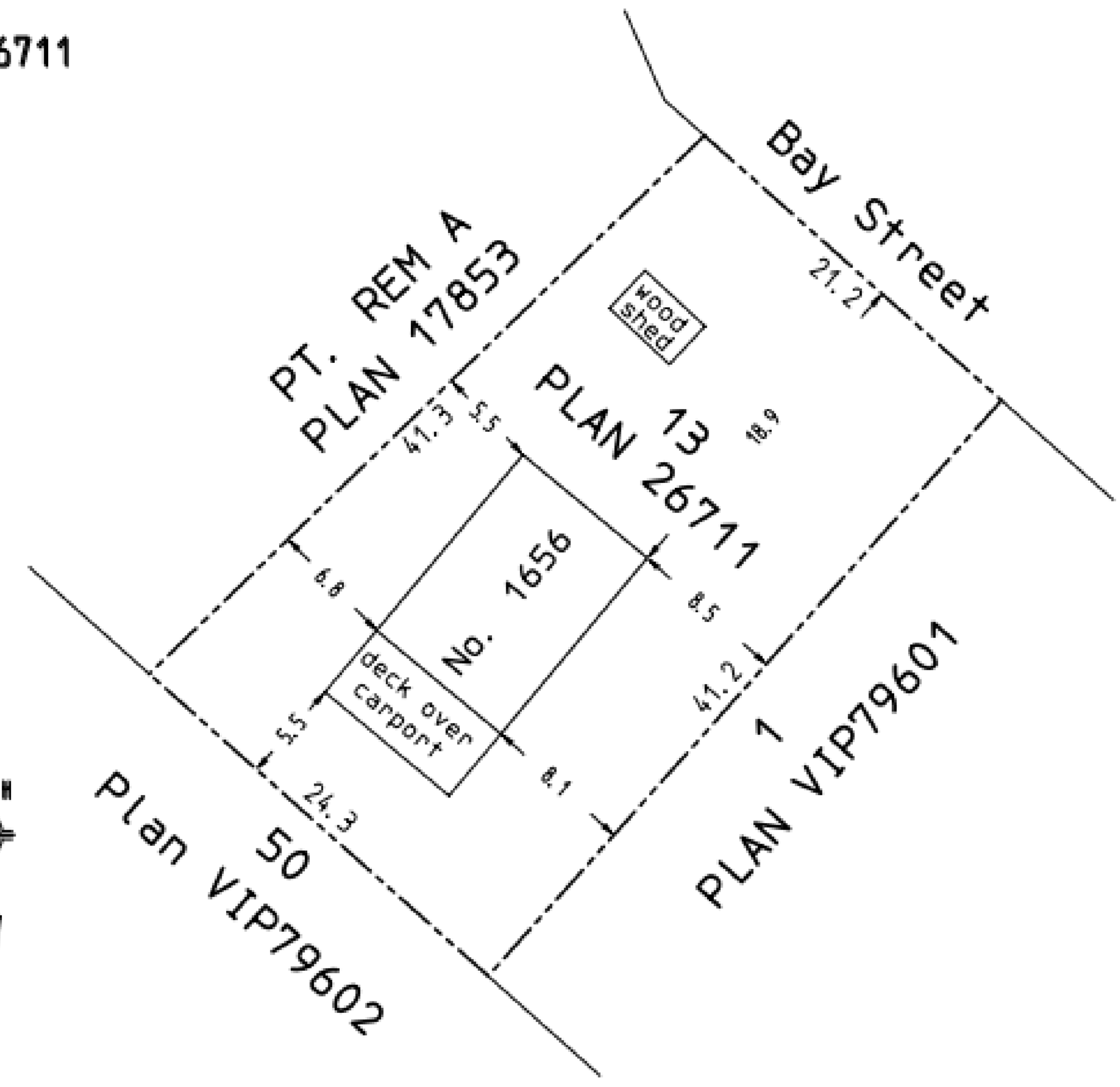
(plot on 8.5" x 11" sheet)

The following non-financial changes are shown on the current title and may affect the property
None.

Parcel dimensions shown hereon are derived from Land Title Office records.

This sketch represents a site improvement survey and is not intended for the purposes of a survey/mortgage certificate.

| |
|-----------------------------|
| FILE : 236-Bay |
| DWG/DATE: 2022-09-02 |
| AG Surveys |
| 545 - 110 Marine Drive |
| Ucluelet, BC V0R 3A0 |
| phone (250) 266-4536 |



① SITE
Scale: 1/16" = 1'-0"

HAMPEL ADDITION
1656 BAY ST,
UCLUELET, BC, V0R 3A0

| | |
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| Project | HAMPEL ADDITION |
| Drawn By | B.F |
| Sheet Size | 24X36 |
| Date | 03-15-2023 |

Revisions:

For: PERMIT

Sheet Title:

- PLANS
- SITE SURVEY
- SITE

Scale As Noted

Sheet Number:

A 1.01

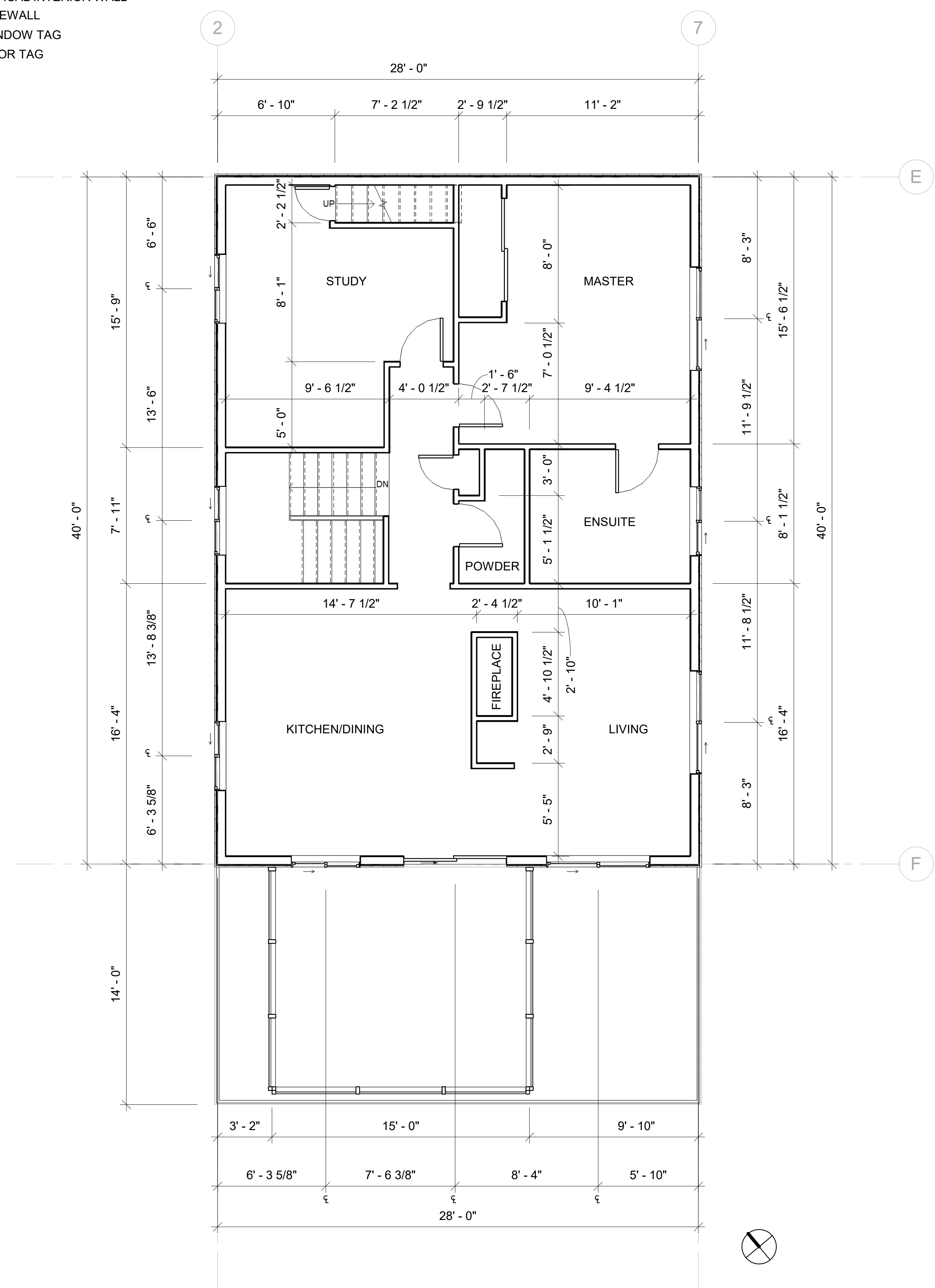
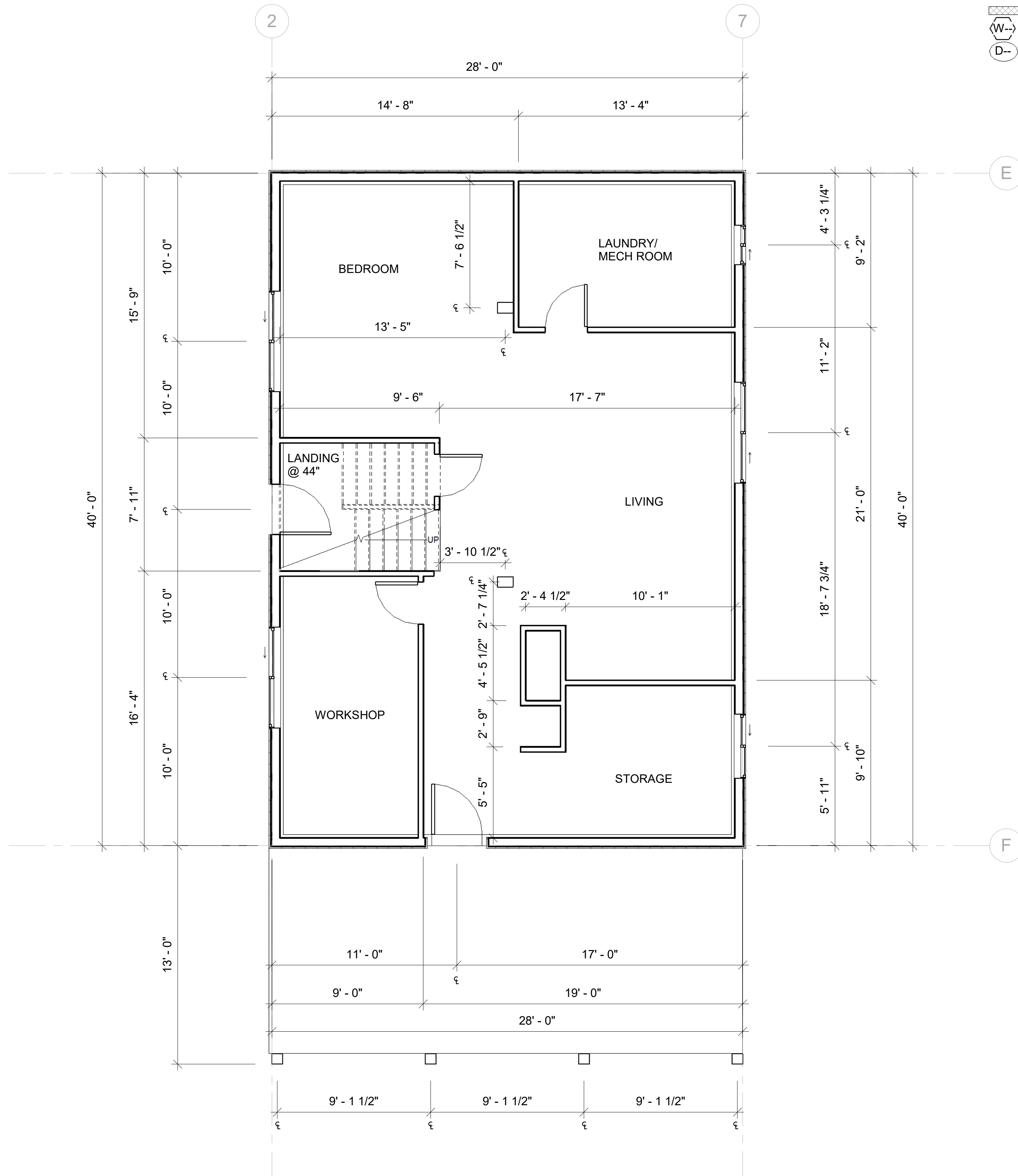
HAMPEL ADDITION
1656 BAY ST,
UCLUELET, BC, V0R 3A0

FLOOR PLAN NOTES:

- ALL EXTERIOR DIMENSIONS TO FACE OF STUD U.O.N.
- ALL INTERIOR DIMENSIONS TO FACE OF STUD U.O.N.
- ALL GRID LINES TO FACE OF STUD U.O.N.

FLOOR PLAN KEY:

- NOTES A POINT LOAD
- TYPICAL FOUNDATION WALL
- TYPICAL INSULATED EXTERIOR WALL
- TYPICAL INTERIOR WALL
- FIREWALL
- WINDOW TAG
- DOOR TAG



② EXISTING BASEMENT
Scale: 1/4" = 1'-0"

BASEMENT: 1120 SQFT

① EXISTING FIRST FLOOR
Scale: 1/4" = 1'-0"

FIRST FLOOR: 1120 SQFT

Project HAMPEL ADDITION

Drawn By B.F

Sheet Size 24X36

Date 03-15-2023

Revisions:

For: PERMIT

Sheet Title:

PLANS
- EXISTING

Scale As Noted

Sheet Number:

A 1.02

HAMPEL ADDITION
1656 BAY ST,
UCLUELET, BC, V0R 3A0

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| Project | HAMPEL ADDITION |
| Drawn By | B.F |
| Sheet Size | 24X36 |
| Date | 03-15-2023 |
| Revisions: | |
| For: | PERMIT |
| Sheet Title: | |
| PLANS | |
| - | FOUNDATION ADDITION |
| - | ROOF ADDITION |
| Scale | As Noted |
| Sheet Number: | |

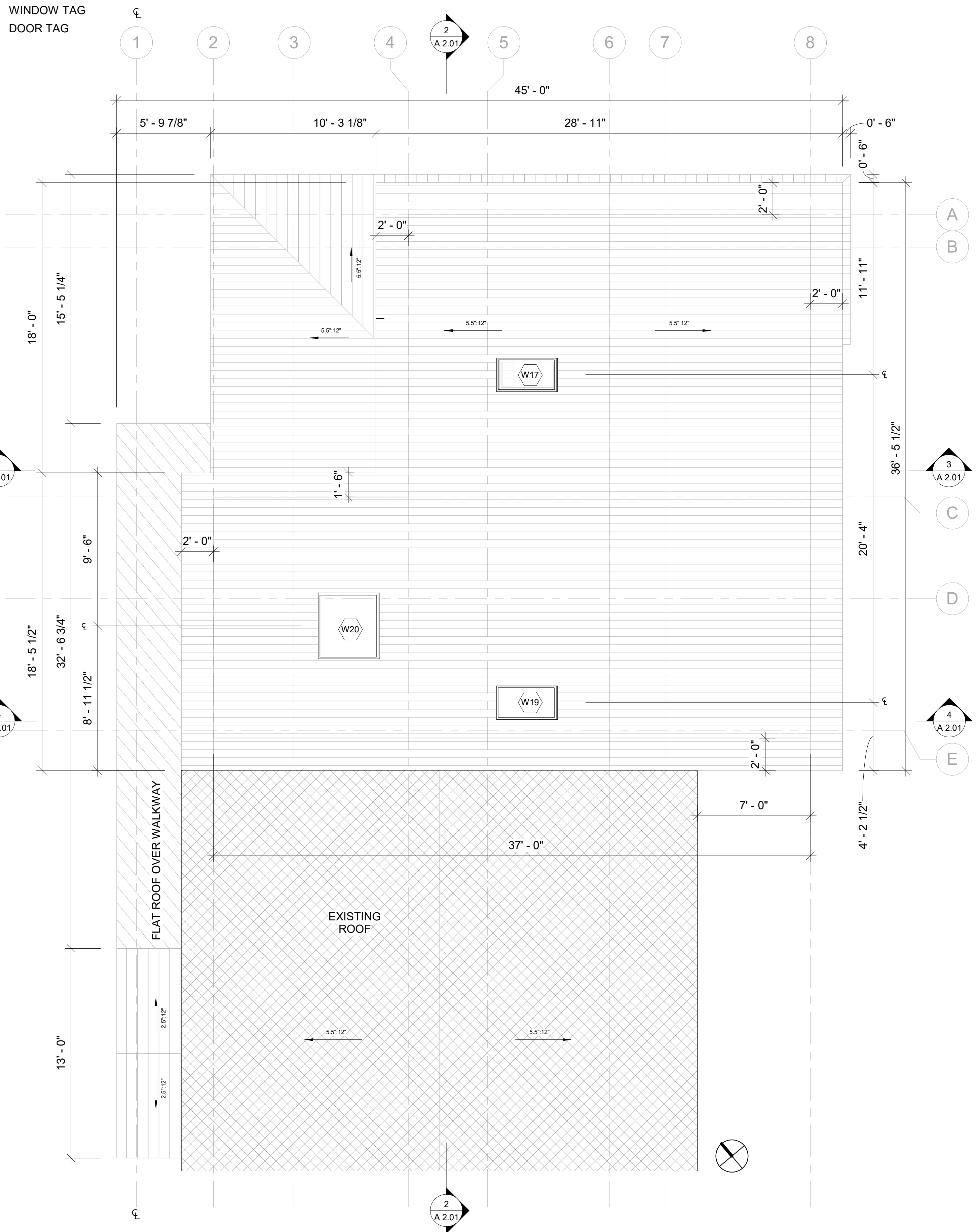
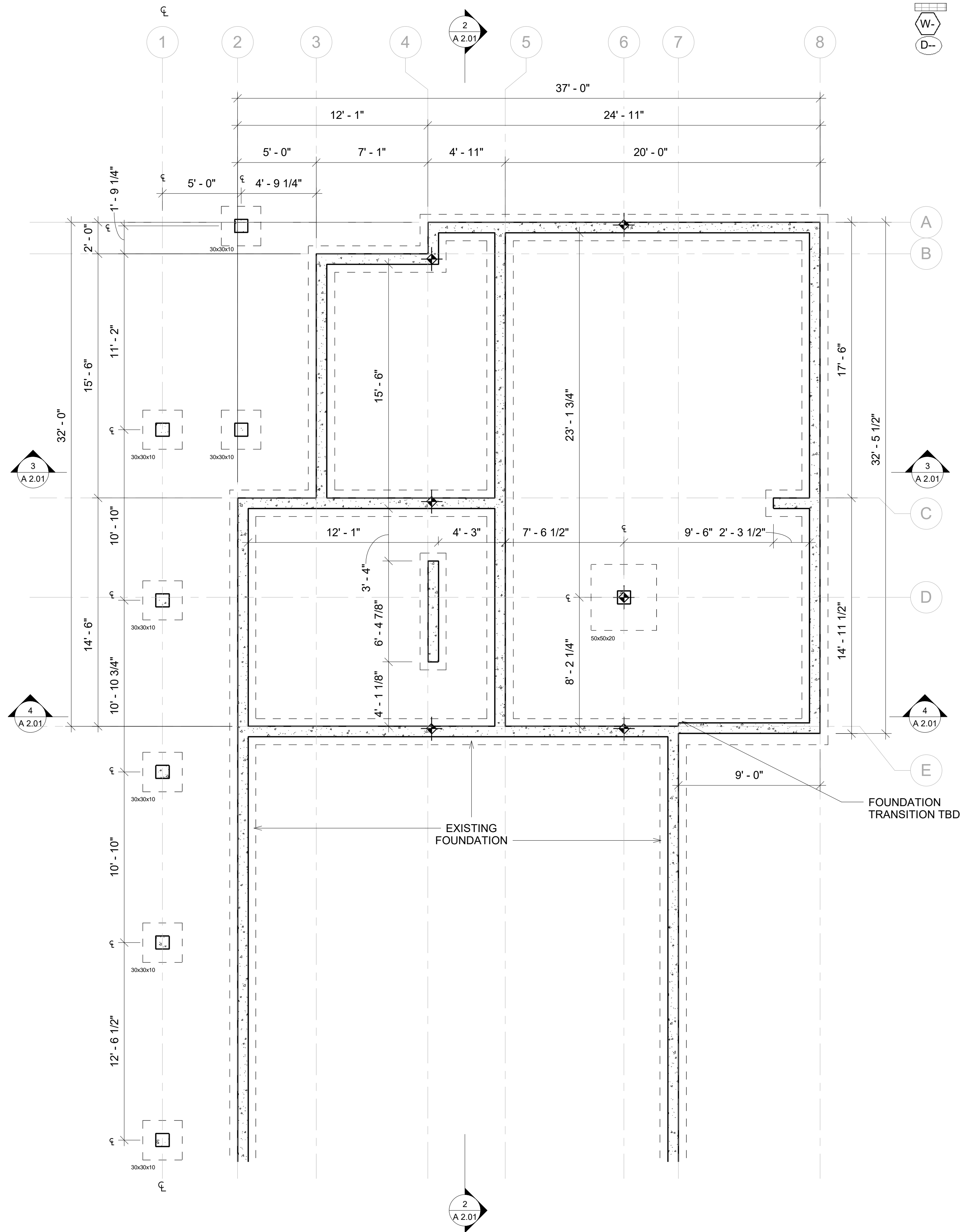
A 1.03

FLOOR PLAN NOTES:

- ALL EXTERIOR DIMENSIONS TO FACE OF STUD U.O.N.
- ALL INTERIOR DIMENSIONS TO FACE OF STUD U.O.N.
- ALL GRID LINES TO FACE OF STUD U.O.N.

FLOOR PLAN KEY:

- NOTES A POINT LOAD
- TYPICAL FOUNDATION WALL
- TYPICAL INSULATED EXTERIOR WALL
- TYPICAL INTERIOR WALL
- FIREWALL
- WINDOW TAG
- DOOR TAG



② FOUNDATION ADDITION
Scale: 1/4" = 1'-0"

① ROOF ADDITION
Scale: 1/4" = 1'-0"

HAMPEL ADDITION

1656 BAY ST,
UCLUELET, BC, V0R 3A0

FLOOR PLAN NOTES:

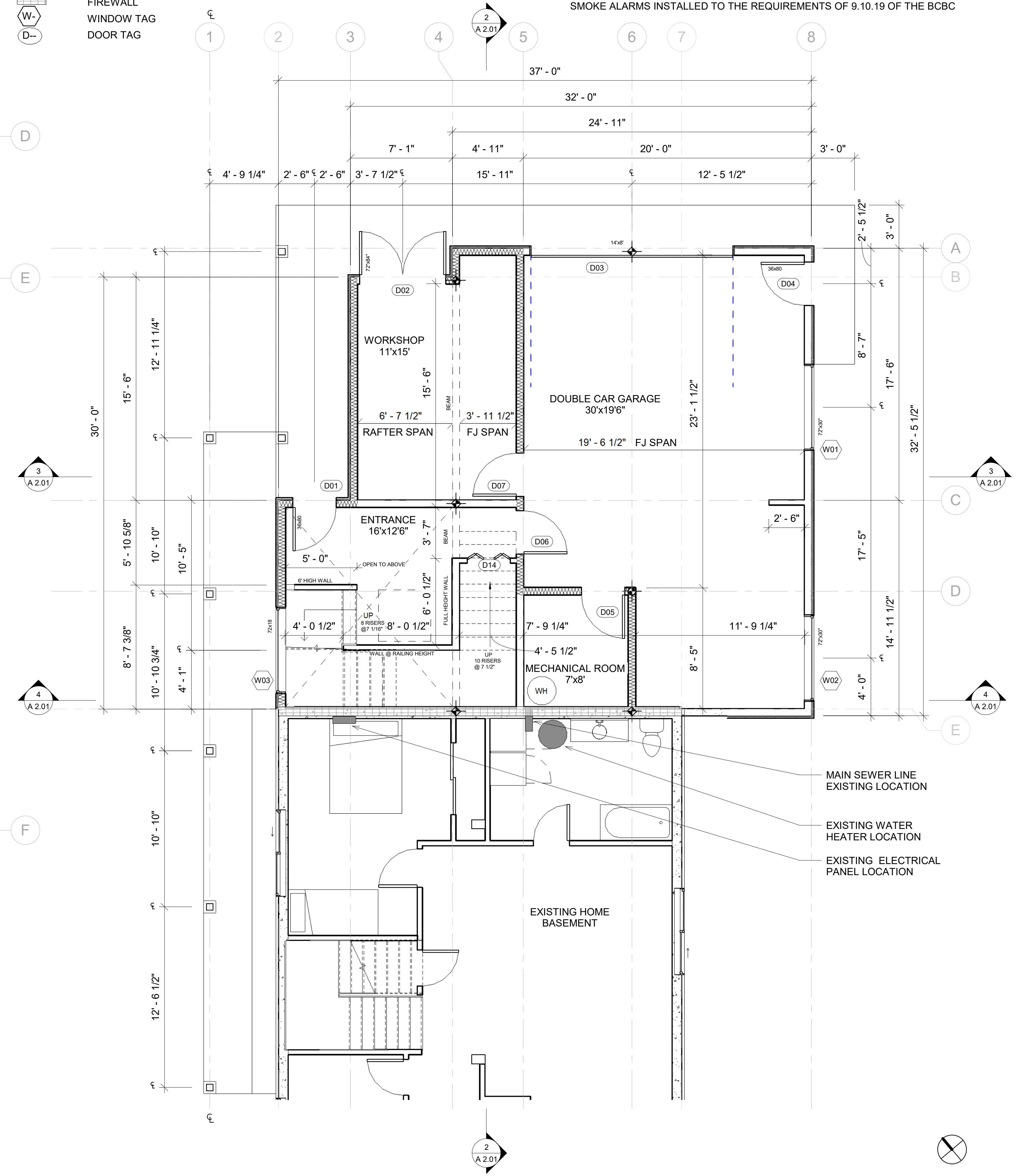
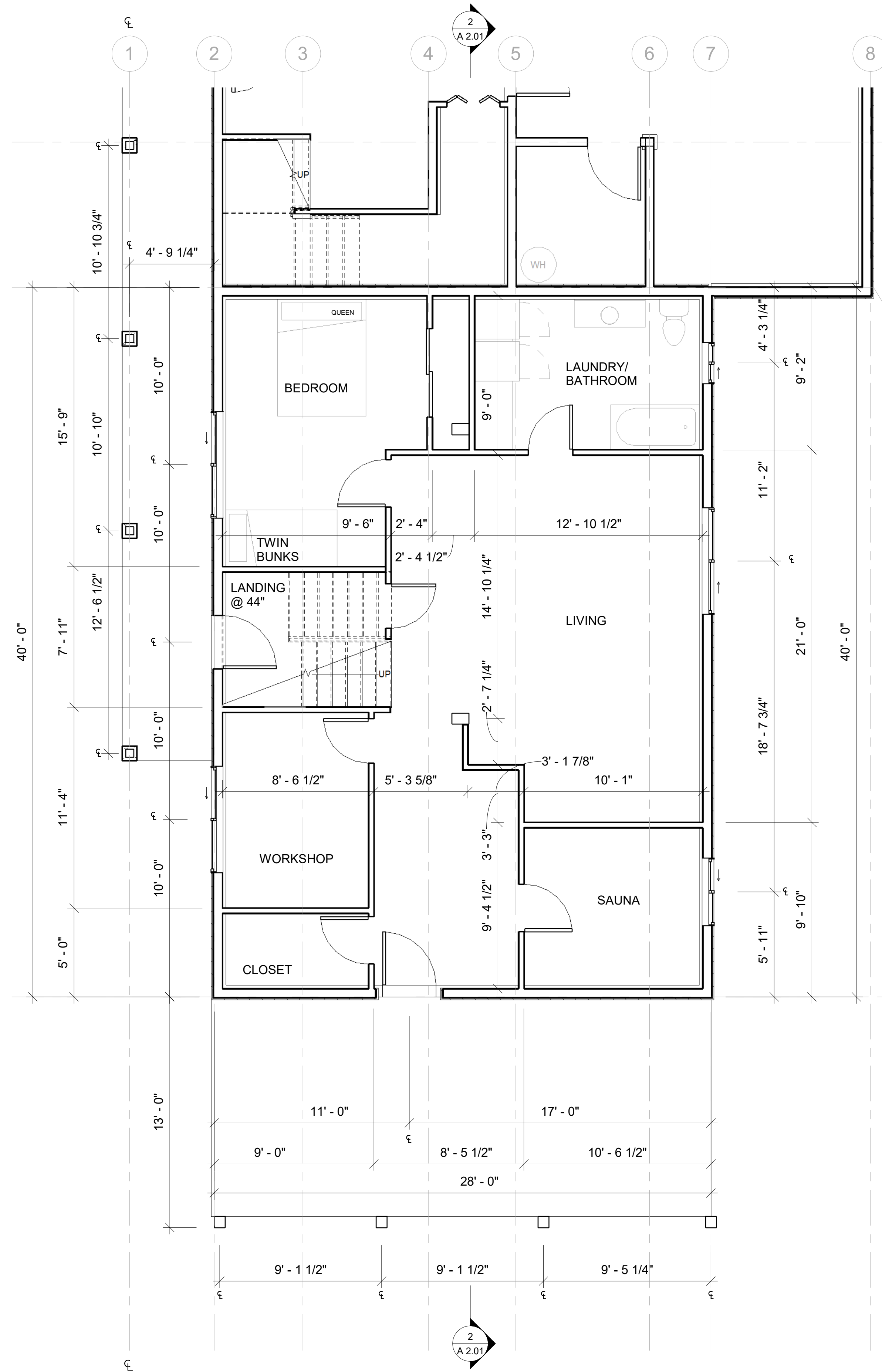
- ALL EXTERIOR DIMENSIONS TO FACE OF STUD U.O.N.
- ALL INTERIOR DIMENSIONS TO FACE OF STUD U.O.N.
- ALL GRID LINES TO FACE OF STUD U.O.N.

FLOOR PLAN KEY:

- NOTES A POINT LOAD
- TYPICAL FOUNDATION WALL
- TYPICAL INSULATED EXTERIOR WALL
- TYPICAL INTERIOR WALL
- FIREWALL
- WINDOW TAG
- DOOR TAG

MECHANICAL EQUIPMENT:

- HEATING - BASEBOARDS
- DHW - 80 GAL ELECTRIC WATER TANK
- VENTILATION - HRV INSTALLED TO THE REQUIREMENTS OF 9.32 OF THE BCBC
- SMOKE ALARMS INSTALLED TO THE REQUIREMENTS OF 9.10.19 OF THE BCBC



2 BASEMENT RENOVATION
Scale: 1/4" = 1'-0"

1 ENTRY LEVEL ADDITION
Scale: 1/4" = 1'-0"

| | |
|------------|-----------------|
| Project | HAMPEL ADDITION |
| Drawn By | B.F |
| Sheet Size | 24X36 |
| Date | 03-15-2023 |
| Revisions: | |

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Sheet Title:

- PLANS
- BASEMENT RENOVATION
- ENTRY LEVEL ADDITION

Scale: As Noted

Sheet Number:

A 1.04

HAMPEL ADDITION

1656 BAY ST,
UCLUELET, BC, V0R 3A0

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|------------|-----------------|
| Project | HAMPEL ADDITION |
| Drawn By | B.F |
| Sheet Size | 24X36 |
| Date | 03-15-2023 |

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|------------|--------|
| Revisions: | |
| For: | PERMIT |

Sheet Title:

- PLANS
- FIRST FLOOR RENOVATION
- SECOND FLOOR ADDITION

Scale: As Noted

Sheet Number:

A 1.05

MECHANICAL EQUIPMENT:

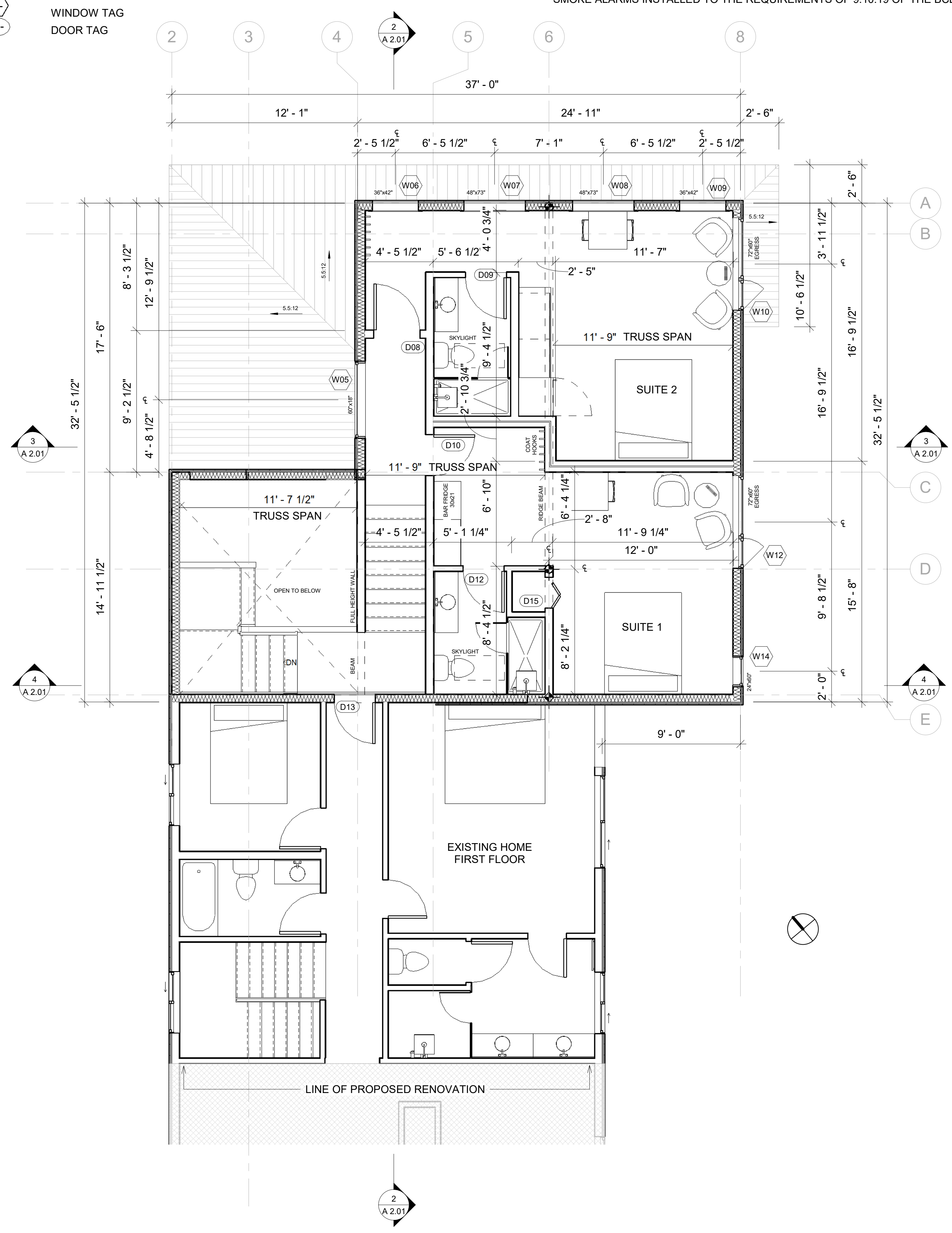
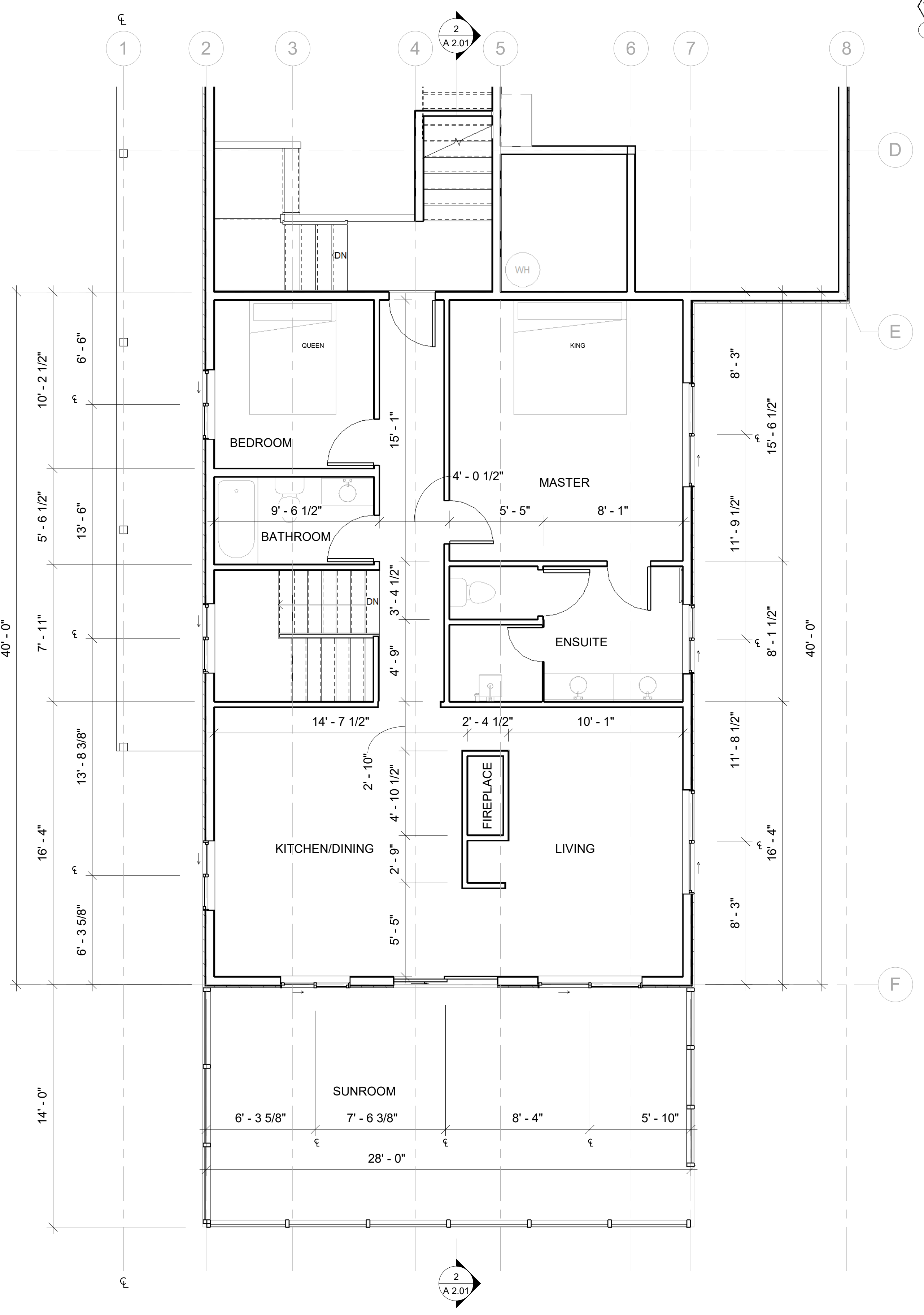
- HEATING - BASEBOARDS
- DHW - 80 GAL ELECTRIC WATER TANK
- VENTILATION - HRV INSTALLED TO THE REQUIREMENTS OF 9.32 OF THE BCBC
- SMOKE ALARMS INSTALLED TO THE REQUIREMENTS OF 9.10.19 OF THE BCBC

FLOOR PLAN KEY:

- NOTES A POINT LOAD
- TYPICAL FOUNDATION WALL
- TYPICAL INSULATED EXTERIOR WALL
- TYPICAL INTERIOR WALL
- FIREWALL
- WINDOW TAG
- DOOR TAG

FLOOR PLAN NOTES:

- ALL EXTERIOR DIMENSIONS TO FACE OF STUD U.O.N.
- ALL INTERIOR DIMENSIONS TO FACE OF STUD U.O.N.
- ALL GRID LINES TO FACE OF STUD U.O.N.

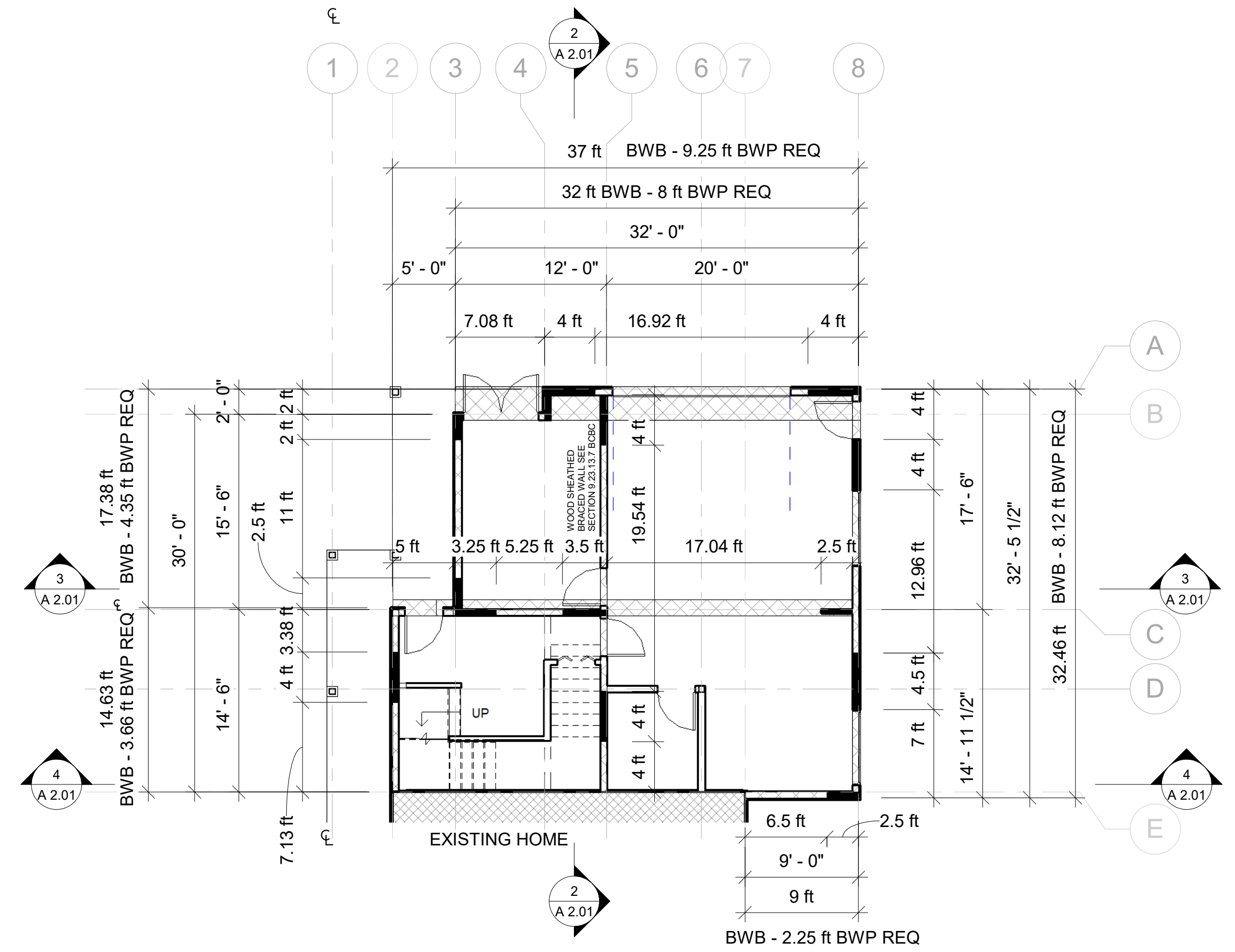


② FIRST FLOOR RENOVATION
Scale: 1/4" = 1'-0"

① SECOND FLOOR ADDITION
Scale: 1/4" = 1'-0"

ADDITION (EXCLUDING OPEN TO BELOW): 809SF
SUITES APPROXIMATE: 350SF EACH

HAMPEL ADDITION
1656 BAY ST,
UCLUELET, BC, V0R 3A0



1 ENTRY LEVEL SEISMIC
Scale: 1/8" = 1'-0"

FLOOR PLAN KEY:

- NOTES A POINT LOAD
- TYPICAL FOUNDATION WALL
- TYPICAL INSULATED EXTERIOR WALL
- TYPICAL INTERIOR WALL
- FIREWALL
- WINDOW TAG
- DOOR TAG

FLOOR PLAN NOTES:

- ALL EXTERIOR DIMENSIONS TO FACE OF STUD U.O.N.
- ALL INTERIOR DIMENSIONS TO FACE OF STUD U.O.N.
- ALL GRID LINES TO FACE OF STUD U.O.N.

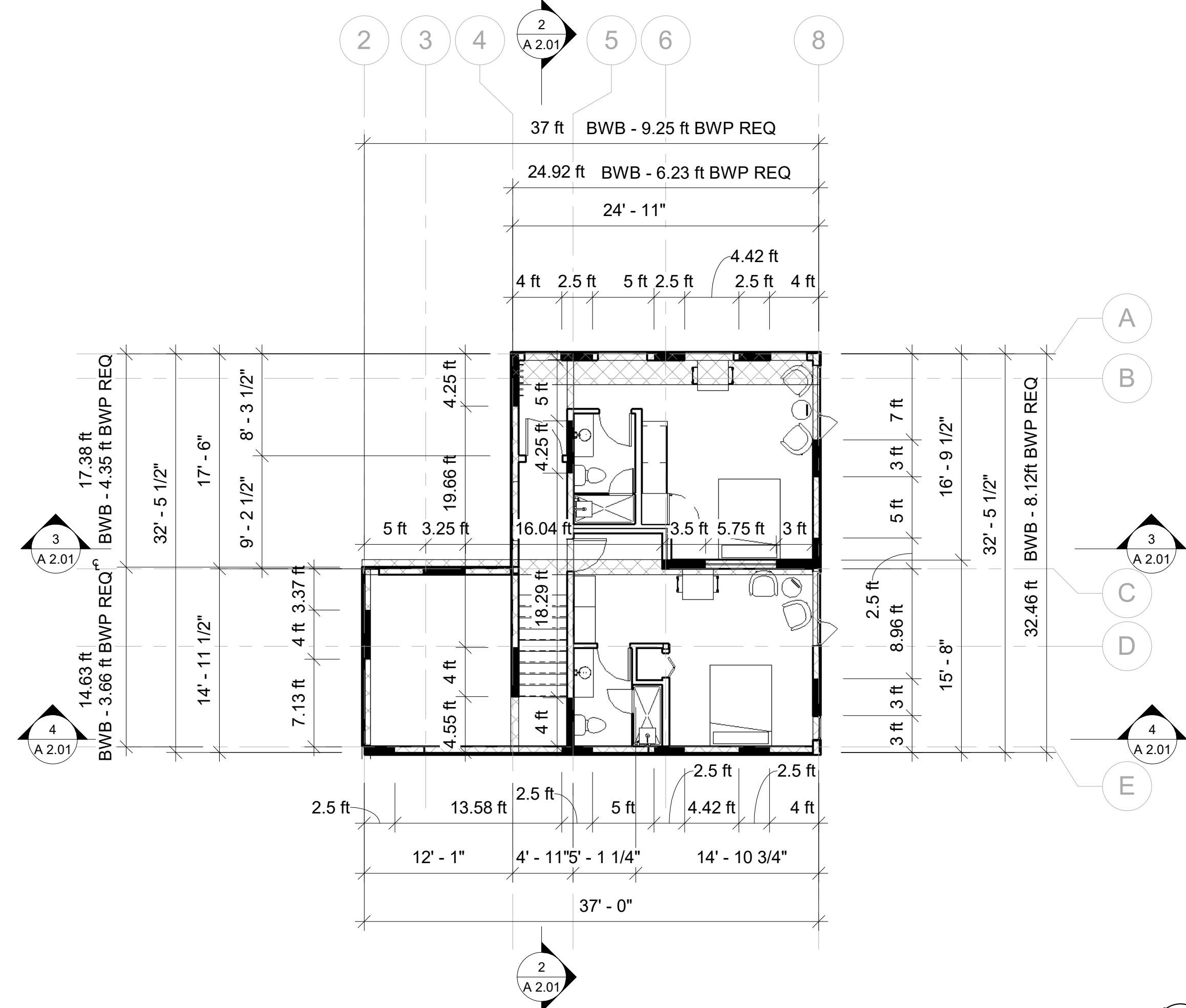
SEISMIC PLAN KEY:

- BRACED WALL BAND
- BRACED WALL

SEISMIC PLAN NOTES

- SEISMIC PLAN BASED OFF 1.0 $S_a(0.2)$<math>< 1.8</math> SPECTRAL ACCELERATION
- ALL BRACED WALL BANDS SHOWN ARE 1.2 METERS OR LESS
- CALCULATIONS BASED ON 25% BRACED WALL PANEL (BWP) PERCENTAGES
- *SEISMIC LAYOUT IS FOR REFERENCE ONLY. CONTRACTOR TO ENSURE THEY FOLLOW THE MOST UP TO DATE BCBC GUIDELINES FOR LATERAL LOADS IN HIGH SEISMIC REGIONS (APPENDIX 9.23.13.4)
- *SEISMIC LAYOUT PROVIDED SHOWS THE *MINIMUM* PART 9 GUIDELINES TO MEET THE BC BUILDING CODE. IF POSSIBLE, IT IS BEST PRACTICE TO CONTINUE BWP CONSTRUCTION REQUIREMENTS ALONG THE ENTIRE BWP WALL LENGTH TO STRENGTHEN LATERAL RESISTANCE

- 9.23.13.7. Additional System Considerations
- 1) Except as provided in Sentences (2) and (3), one exterior wall of the uppermost storey in each orthogonal direction may be set back from the exterior wall of the storey below, provided the adjacent interior braced wall band of the storey below the setback
 - a) is spaced not more than 10.6 m from the exterior wall of the storey below the setback wall,
 - b) consists of braced wall panels that are constructed of a wood-based material in conformance with Sentence 9.23.13.6.(2),
 - c) extends to the foundation, and
 - d) is not taken into consideration when providing braced wall panels constructed of a wood-based material at spacing intervals of not more than 15 m as per Sentence 9.23.13.6.(6).
 - 2) Where the exterior wall of the uppermost storey is set back from the exterior wall of the storey below, the roof and floor space supporting the setback wall shall be sheathed with a wood-based material between the exterior wall of the storey below the setback and the adjacent interior braced wall bands of the storey below the setback.
 - 3) Where the exterior wall of the uppermost storey is set back from the exterior wall of the storey below, the exterior walls perpendicular to the setback wall shall
 - a) have their top plate connected with nails that are spaced at no greater than half the spacing required in Table 9.23.3.4., and
 - b) have their top plate splices fastened with twice the number of nails specified in Sentences 9.23.11.4.(4) and (5).
 - 4) The maximum distance between adjacent required braced wall panels in a braced wall band, measured from the edge of the panels, may be increased to 7.3 m provided that, throughout the height of the building, the length of any braced wall panel within the braced wall band is not less than 1.2 m.
 - 5) The maximum spacing between the centre lines of required braced wall bands given in Table 9.23.13.5. may be increased from 7.6 m to no more than 10.6 m, provided that the interior braced wall band whose spacing is being increased is replaced with an interior braced wall band that
 - a) consists of braced wall panels that are constructed of a wood-based material in conformance with Sentence 9.23.13.6.(2),
 - b) extends to the foundation, and
 - c) is not taken into consideration when providing braced wall panels constructed of a wood-based material at spacing intervals no greater than 15 m as per Sentence 9.23.13.6.(6).
 - 6) For each orthogonal direction of the building, the length of required braced wall panels of one exterior wall given in Table 9.23.13.5. may be reduced from 40% to no less than 25% of the length of the braced wall band, provided an additional parallel and adjacent interior braced wall band is constructed that
 - a) is spaced not more than 10.6 m from the exterior wall,
 - b) consists of braced wall panels that are constructed of a wood-based material in conformance with Sentence 9.23.13.6.(2) and whose lengths sum to no less than 25% of the length of the braced wall band,
 - c) extends to the foundation, and
 - d) is not taken into consideration when providing braced wall panels constructed of a wood-based material at spacing intervals no greater than 15 m as per Sentence 9.23.13.6.(6).
 - 7) Where the length of required braced wall panels of an exterior wall is reduced as described in Sentence (6), the ratio of the length of braced wall panels in the respective upper braced wall bands to the length of braced wall panels in the reduced exterior braced wall band shall not exceed 2.



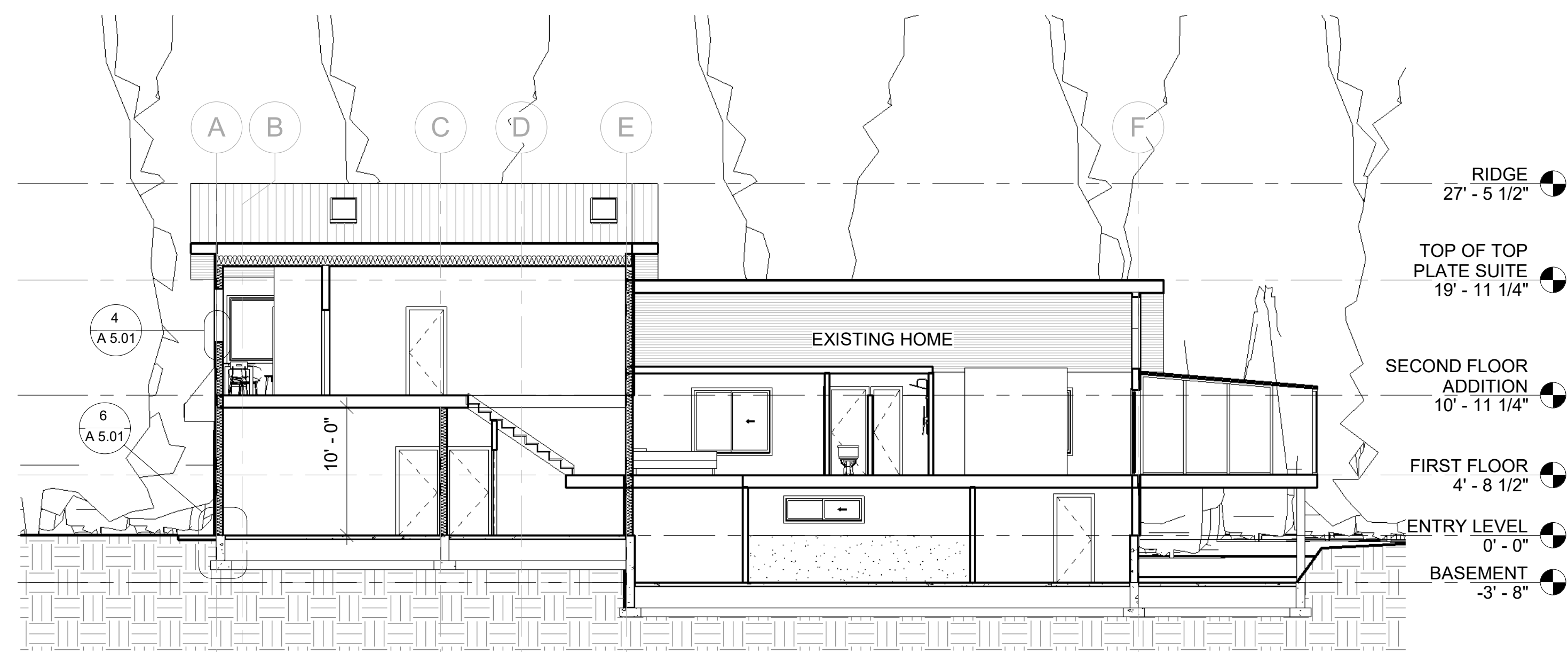
2 SECOND FLOOR SEISMIC
Scale: 1/8" = 1'-0"

| | |
|---------------|--------------------|
| Project | HAMPEL ADDITION |
| Drawn By | B.F |
| Sheet Size | 24X36 |
| Date | 03-15-2023 |
| Revisions: | |
| For: | PERMIT |
| Sheet Title: | PLANS - SEISMIC |
| Scale | As Noted |
| Sheet Number: | A 1.06 |

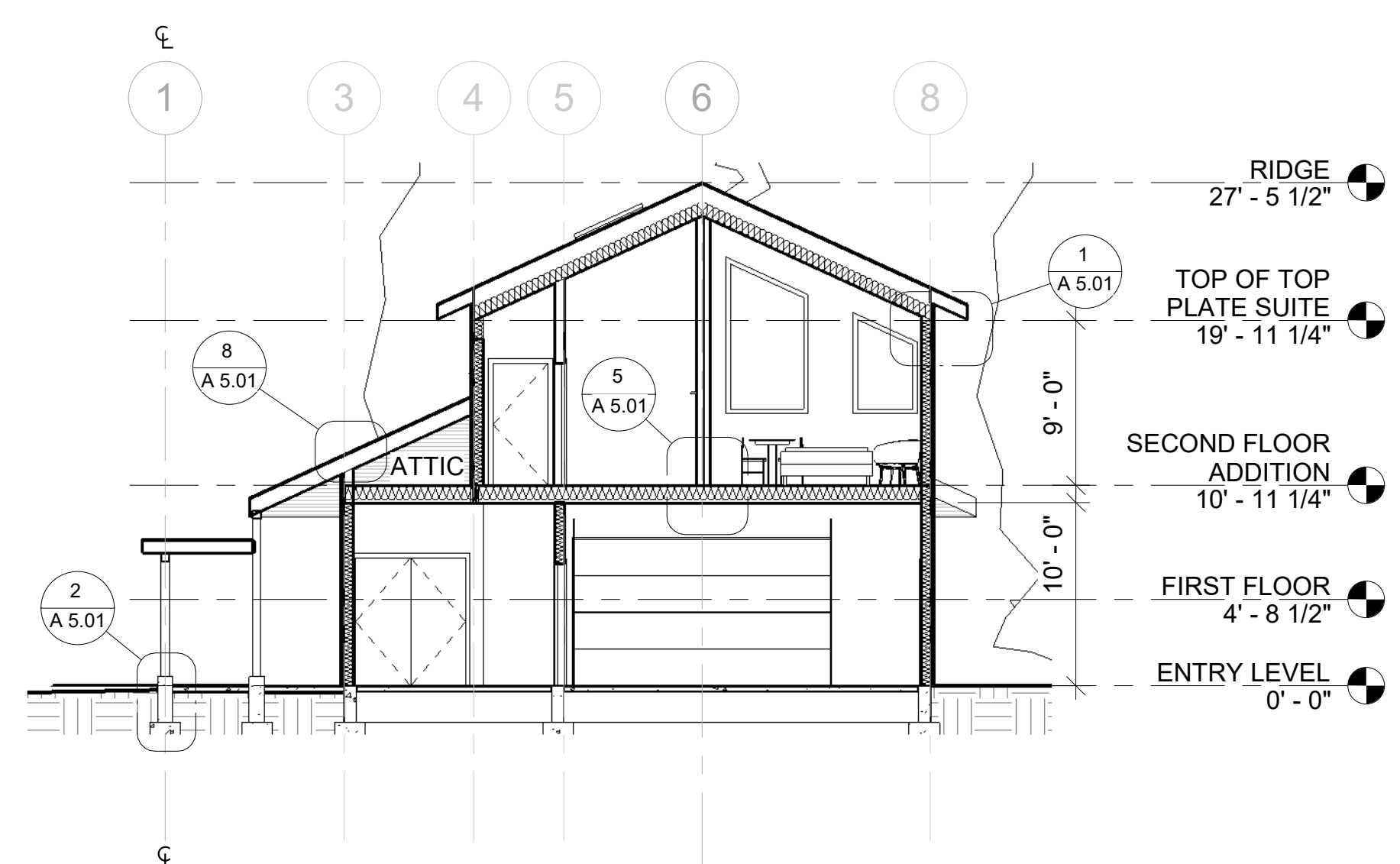
HAMPEL ADDITION
1656 BAY ST,
UCLUELET, BC, V0R 3A0

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|---------------|-----------------|
| Project | HAMPEL ADDITION |
| Drawn By | B.F |
| Sheet Size | 24X36 |
| Date | 03-15-2023 |
| Revisions: | |
| For: | PERMIT |
| Sheet Title: | |
| ELEVATIONS | |
| - EXTERIOR | |
| - SECTIONS | |
| Scale | As Noted |
| Sheet Number: | |

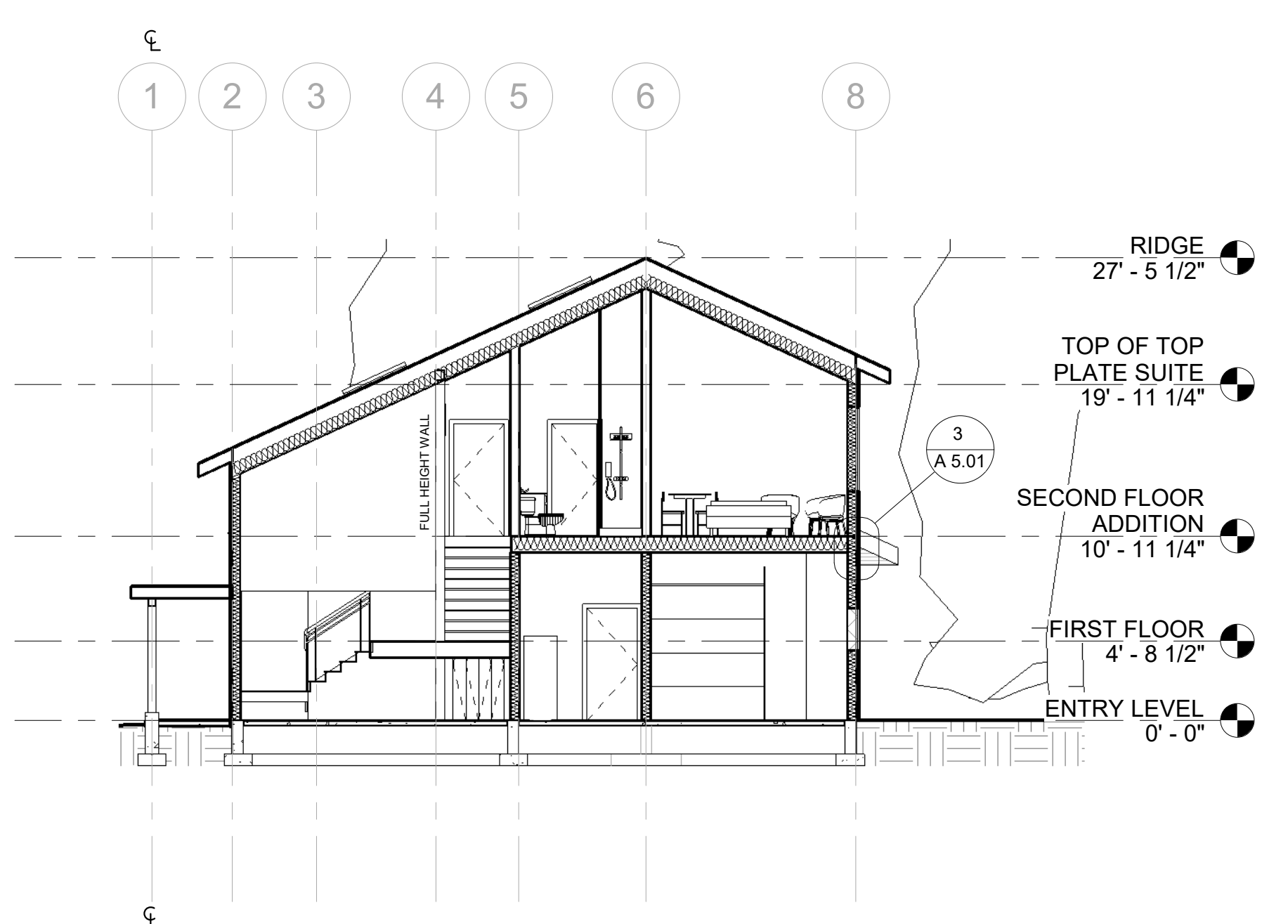
A 2.01



② N/S SECTION
Scale: 1/8" = 1'-0"



③ E/W SECTION
Scale: 1/8" = 1'-0"



④ E/W SECTION 2
Scale: 1/8" = 1'-0"



NORTH



EAST



SOUTH

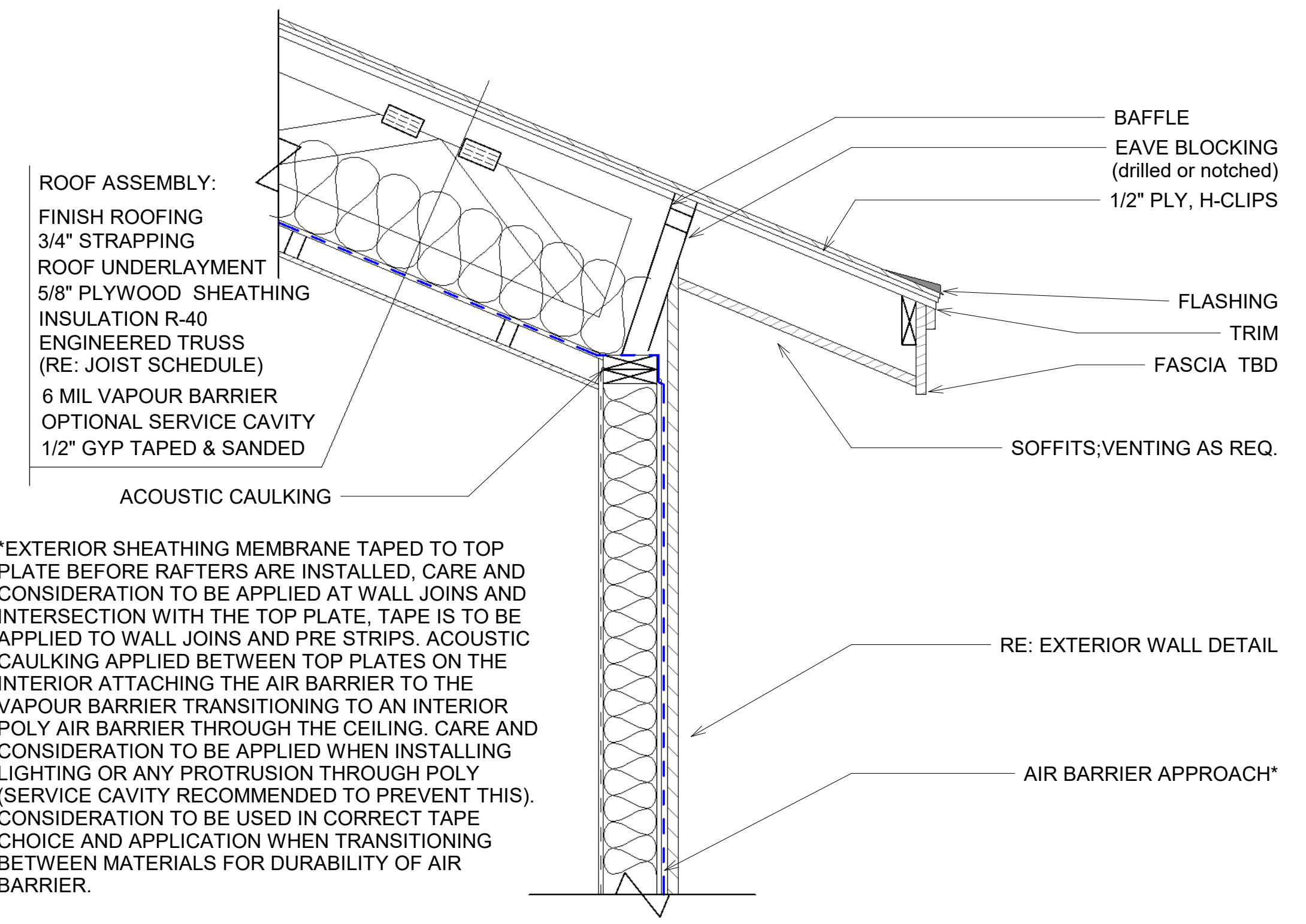
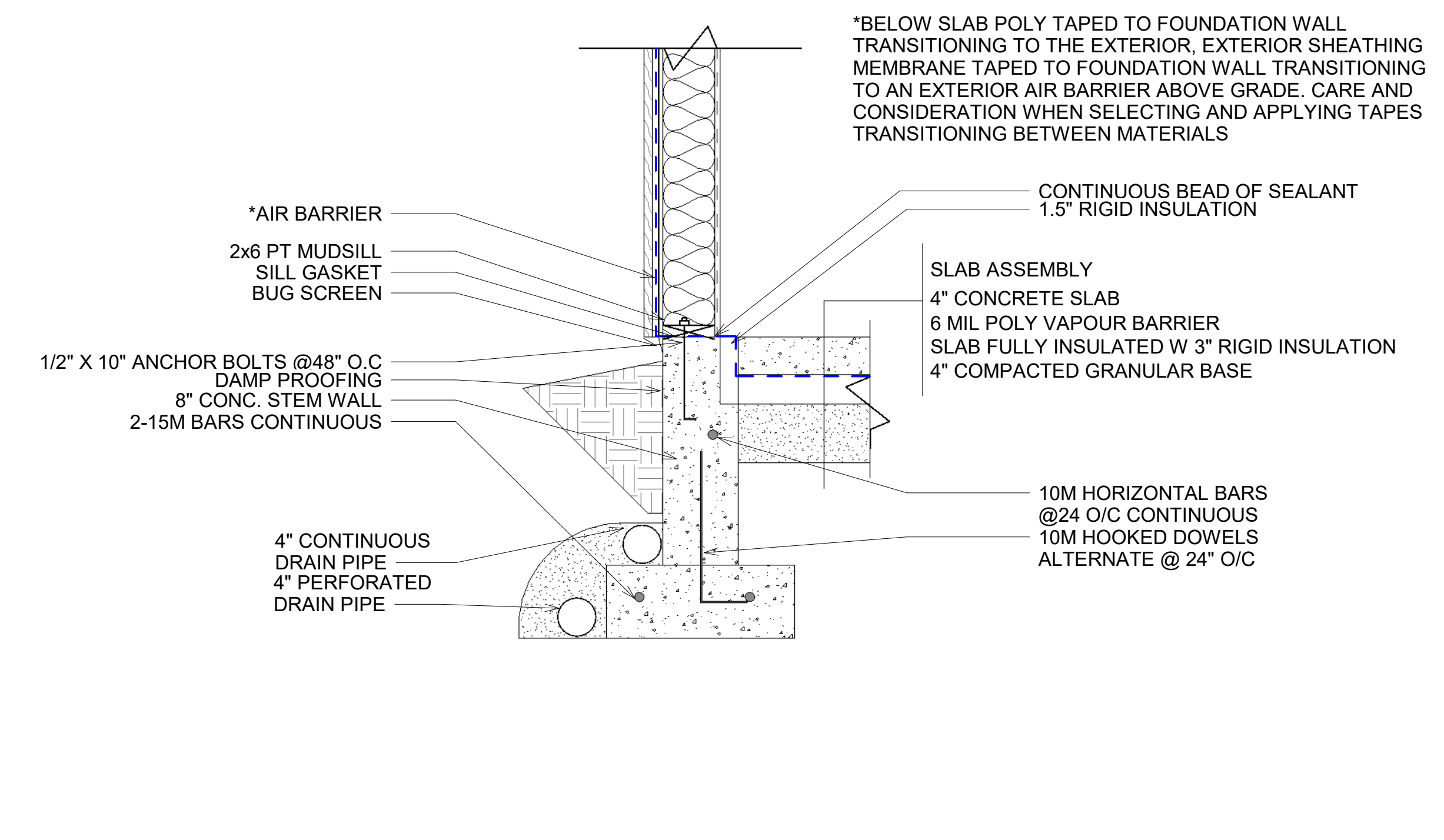


WEST

① ELEVATIONS
Scale: 1/8" = 1'-0"

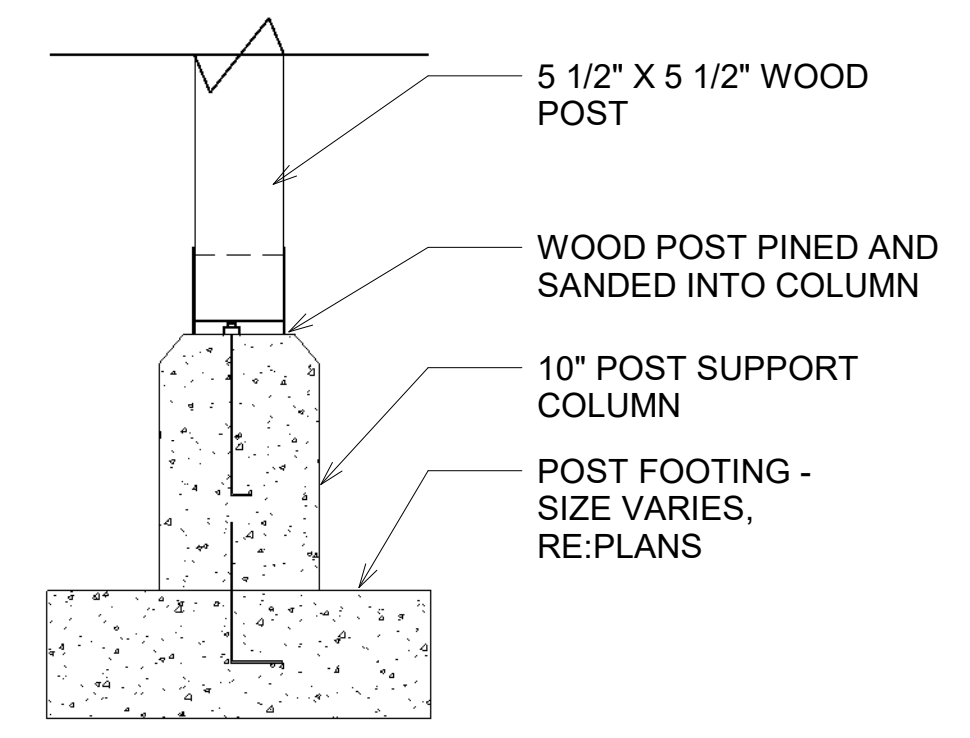
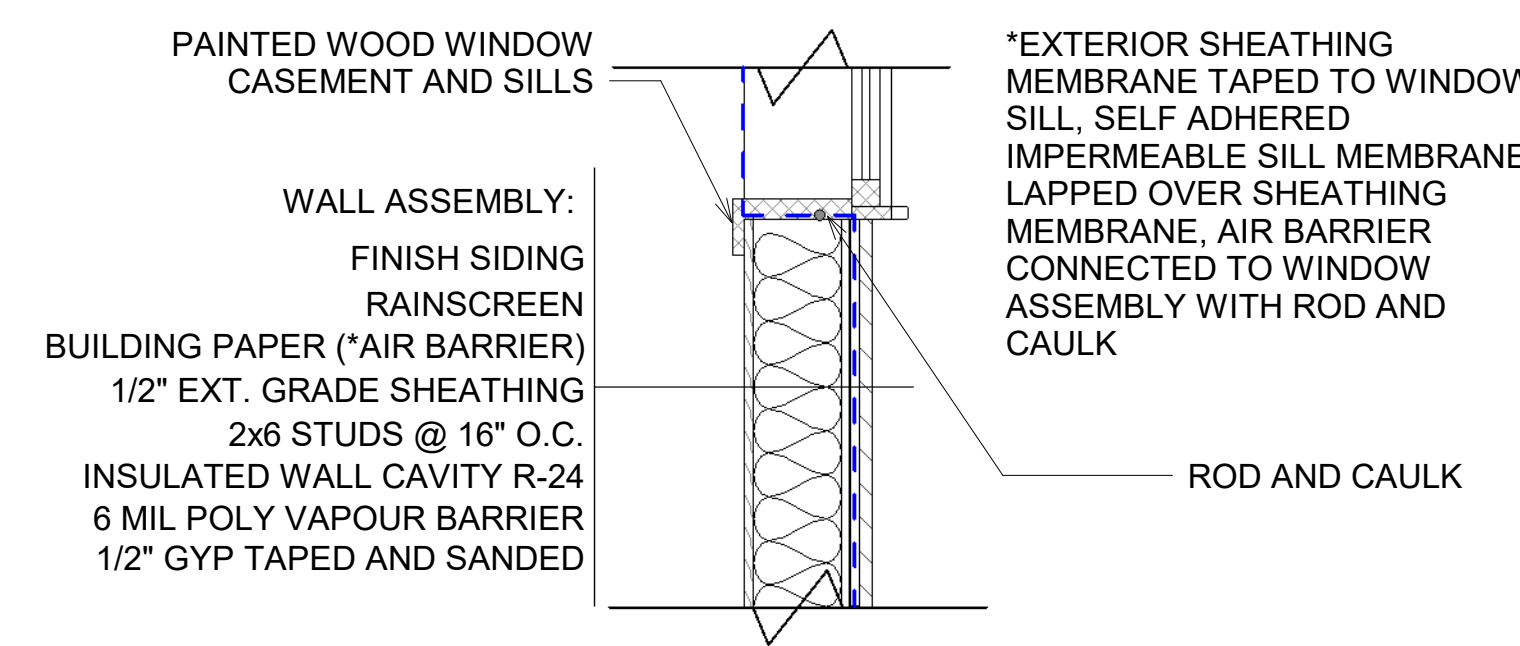
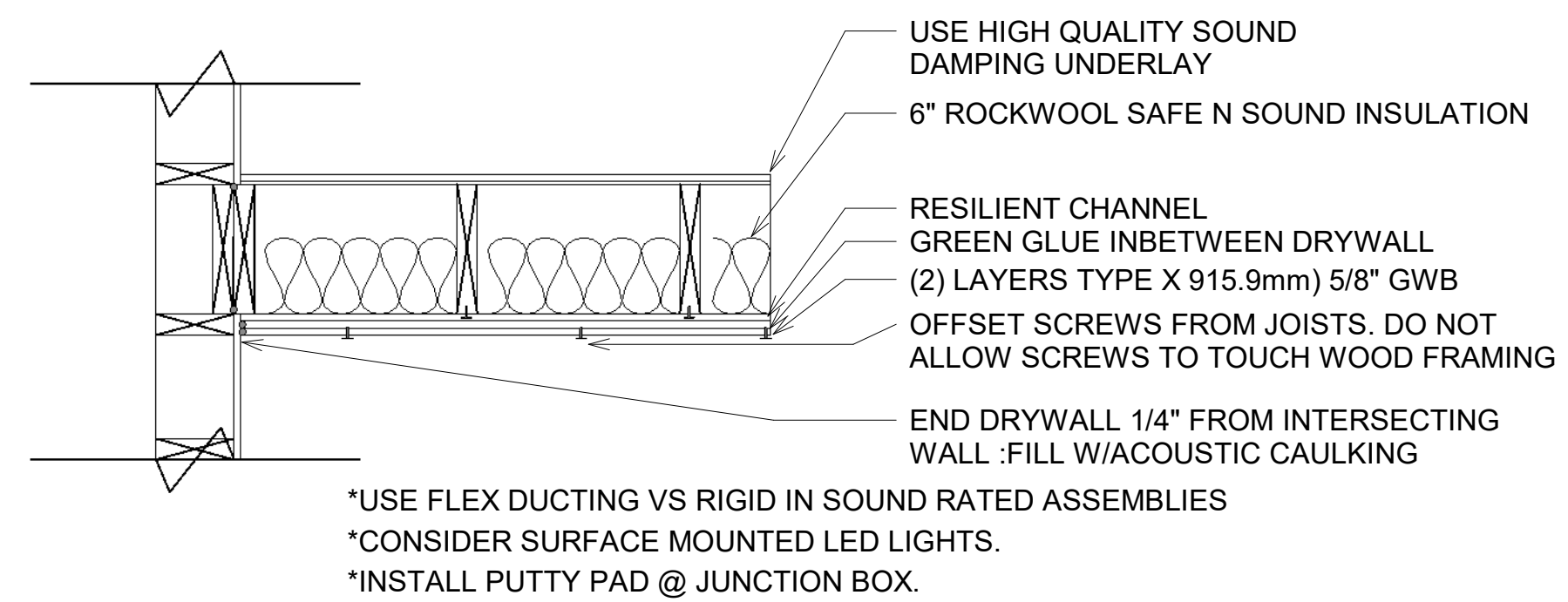
HAMPEL ADDITION

1656 BAY ST,
UCLUELET, BC, V0R 3A0



6 Slab On Grade Foundation
Scale: 1" = 1'-0"

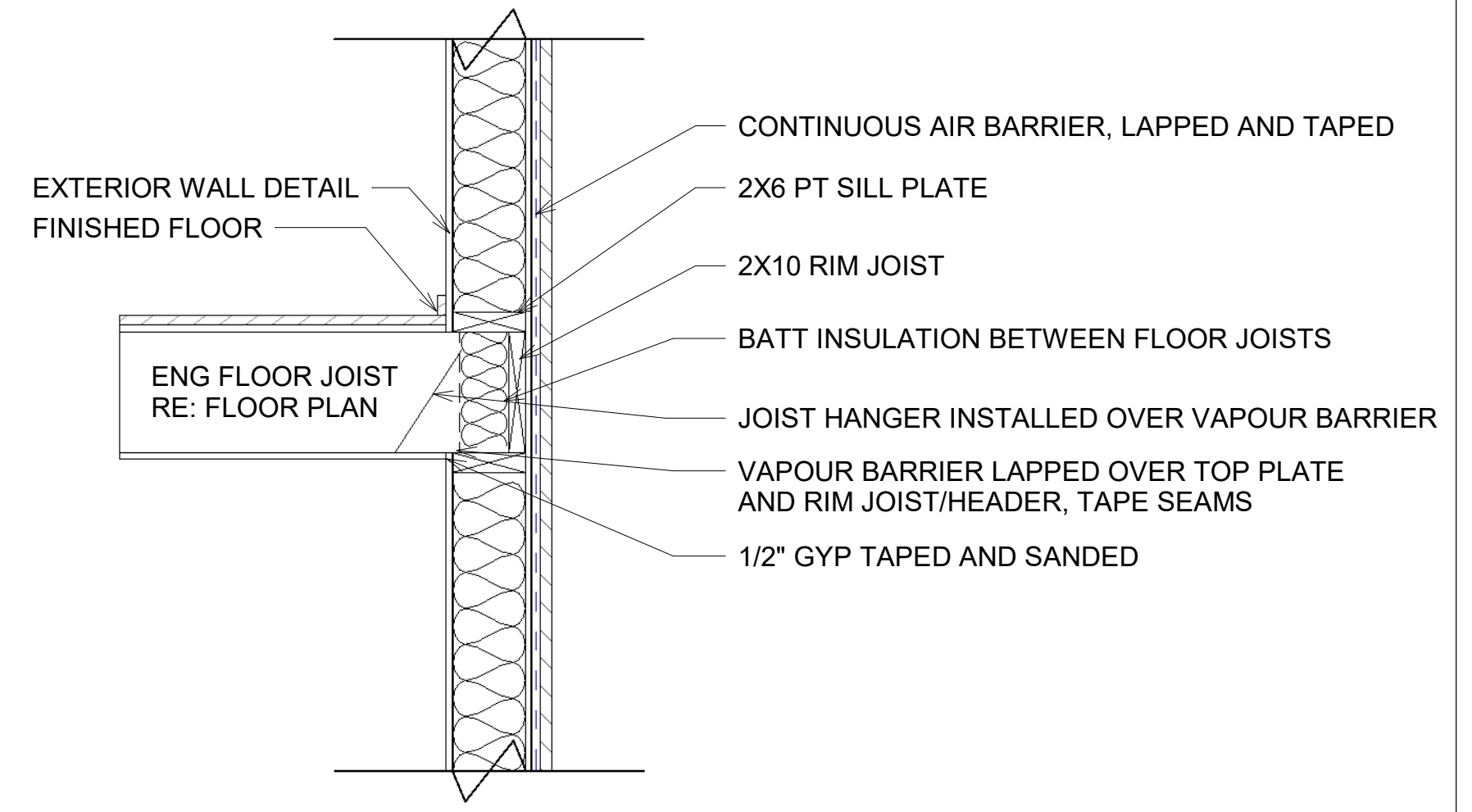
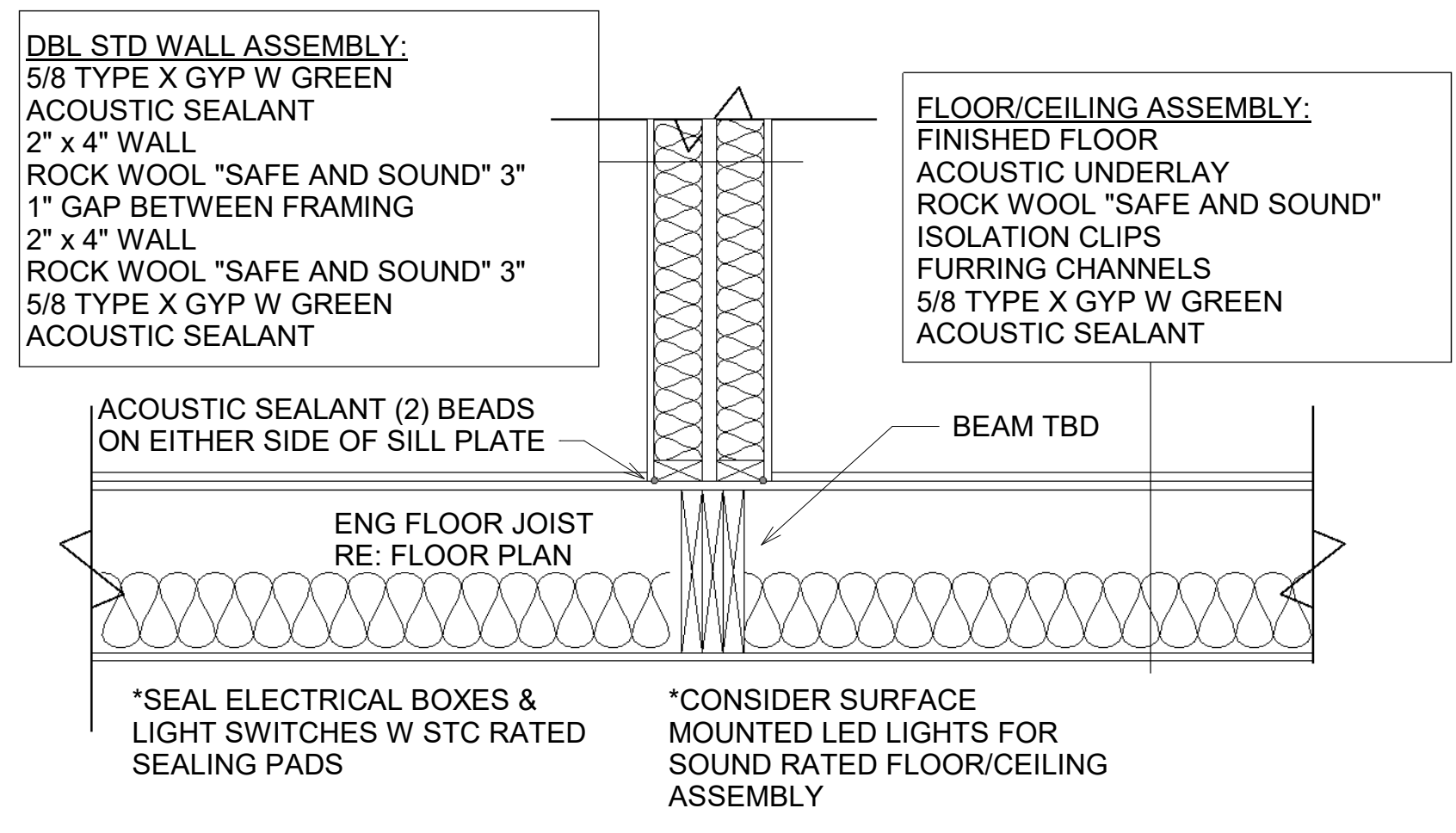
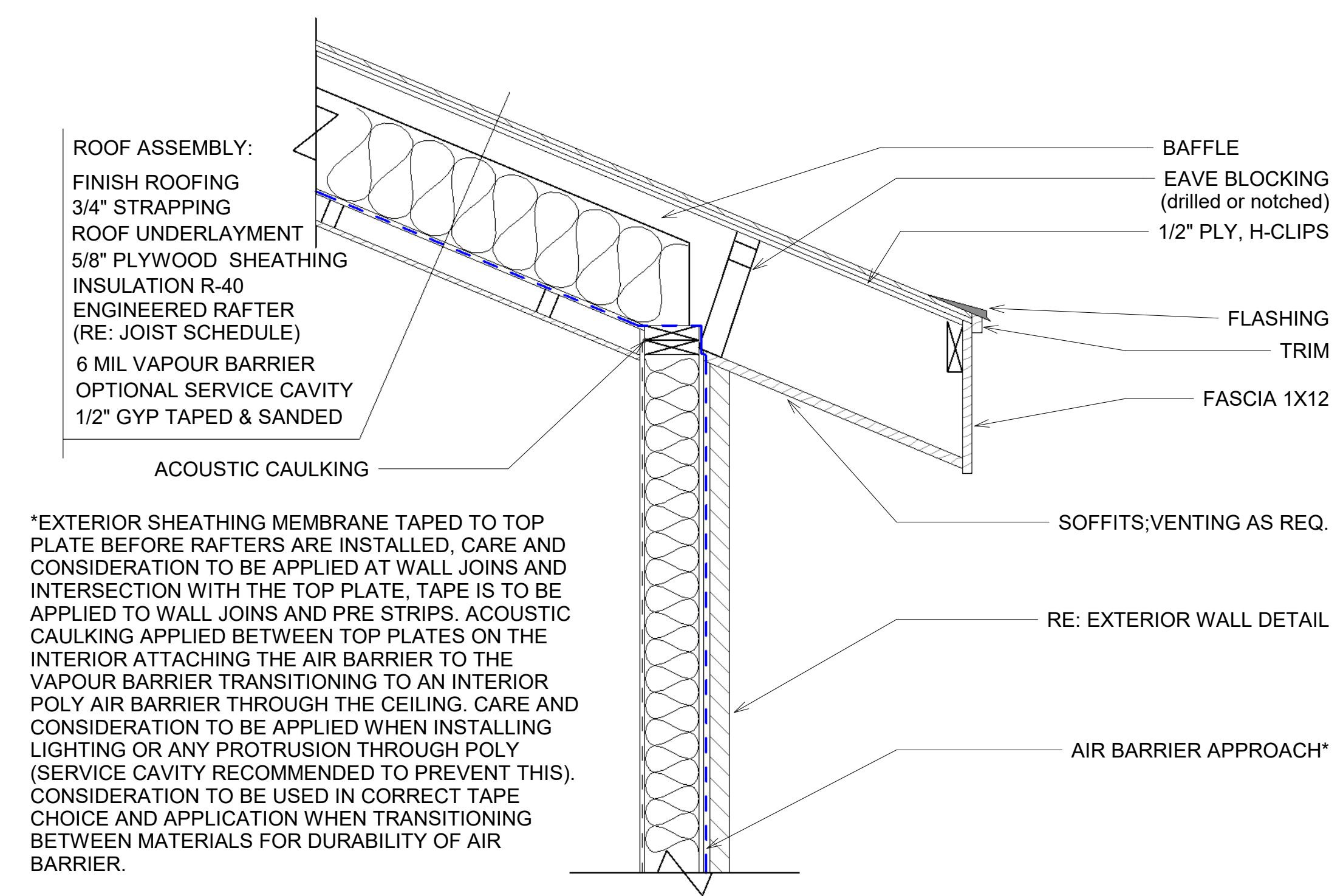
1 Truss Roof
Scale: 1" = 1'-0"



7 Fire/Sound Ceiling 1HR 52 STC
Scale: 1" = 1'-0"

4 Sill & Wall Assembly
Scale: 1" = 1'-0"

2 Wood Post Footing
Scale: 1" = 1'-0"



8 Cathedral Roof
Scale: 1" = 1'-0"

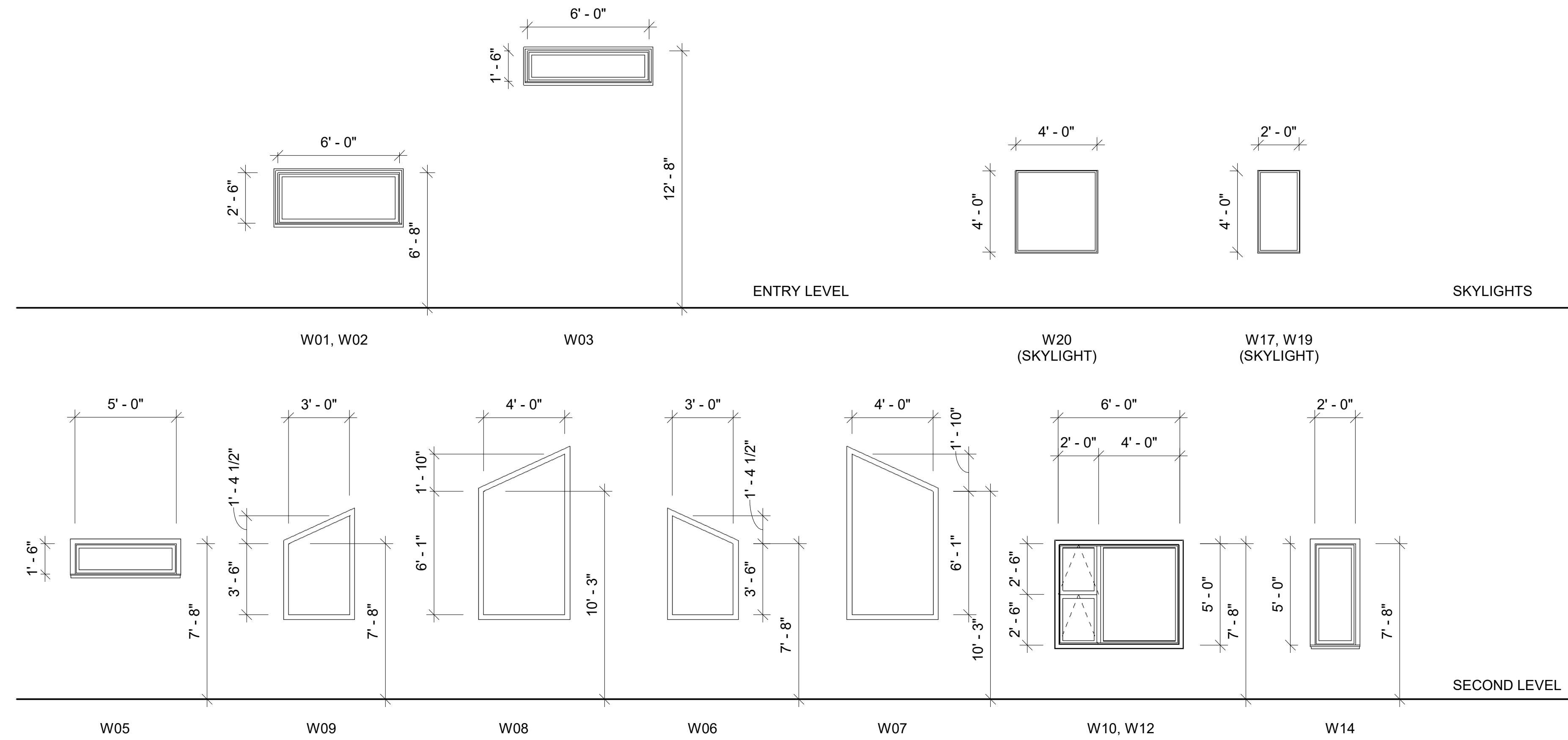
5 Dbl Std Wall
Scale: 1" = 1'-0"

3 Typ. Framed Floor
Scale: 1" = 1'-0"

| | |
|---------------|----------------------|
| Project | HAMPEL ADDITION |
| Drawn By | B.F |
| Sheet Size | 24X36 |
| Date | 03-15-2023 |
| Revisions: | |
| For: | PERMIT |
| Sheet Title: | DETAILS CONSTRUCTION |
| Scale | As Noted |
| Sheet Number: | A 5.01 |

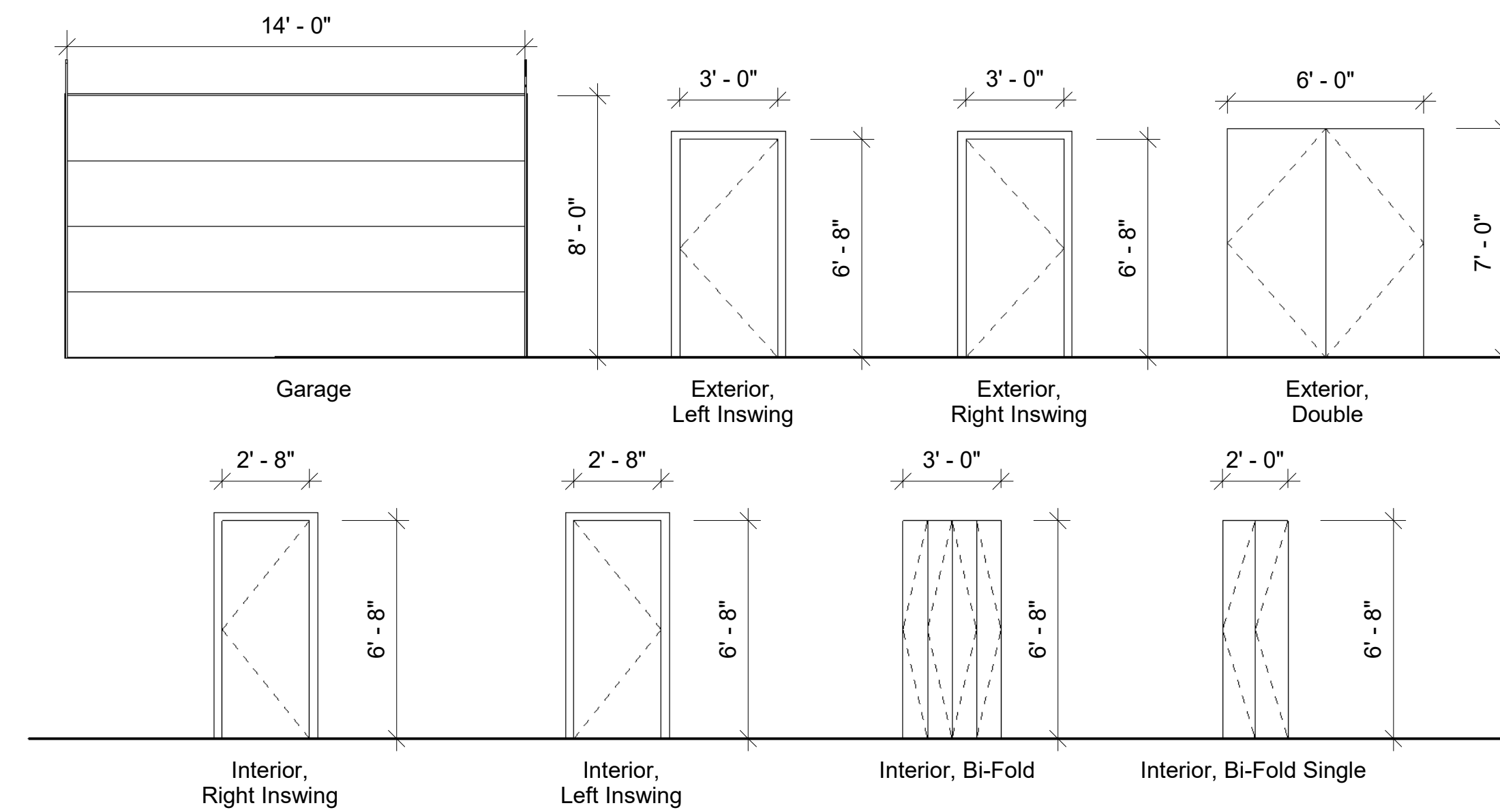
HAMPEL ADDITION
1656 BAY ST,
UCLUELET, BC, V0R 3A0

| Window Schedule | | | | | | |
|-----------------|---------|---------|-------------|-------------|---------------------------|----------|
| Mark | Width | Height | Sill Height | Head Height | Description | Comments |
| W01 | 6' - 0" | 2' - 6" | 4' - 2" | 6' - 8" | Fixed | |
| W02 | 6' - 0" | 2' - 6" | 4' - 2" | 6' - 8" | Fixed | |
| W03 | 6' - 0" | 1' - 6" | 11' - 2" | 12' - 8" | Fixed | |
| W05 | 5' - 0" | 1' - 6" | 6' - 2" | 7' - 8" | Fixed | |
| W06 | 3' - 0" | 3' - 6" | 4' - 2" | 7' - 8" | Fixed, Rake | |
| W07 | 4' - 0" | 6' - 1" | 4' - 2" | 10' - 3" | Fixed, Rake | |
| W08 | 4' - 0" | 6' - 1" | 4' - 2" | 10' - 3" | Fixed, Rake | |
| W09 | 3' - 0" | 3' - 6" | 4' - 2" | 7' - 8" | Fixed, Rake | |
| W10 | 6' - 0" | 5' - 0" | 2' - 8" | 7' - 8" | Fixed W 24" double Awning | |
| W12 | 6' - 0" | 5' - 0" | 2' - 8" | 7' - 8" | Fixed W 24" double Awning | |
| W14 | 2' - 0" | 5' - 0" | 2' - 8" | 7' - 8" | | |
| W17 | 2' - 0" | 4' - 0" | | | Skylight | |
| W19 | 2' - 0" | 4' - 0" | | | Skylight | |
| W20 | 4' - 0" | 4' - 0" | | | Skylight | |



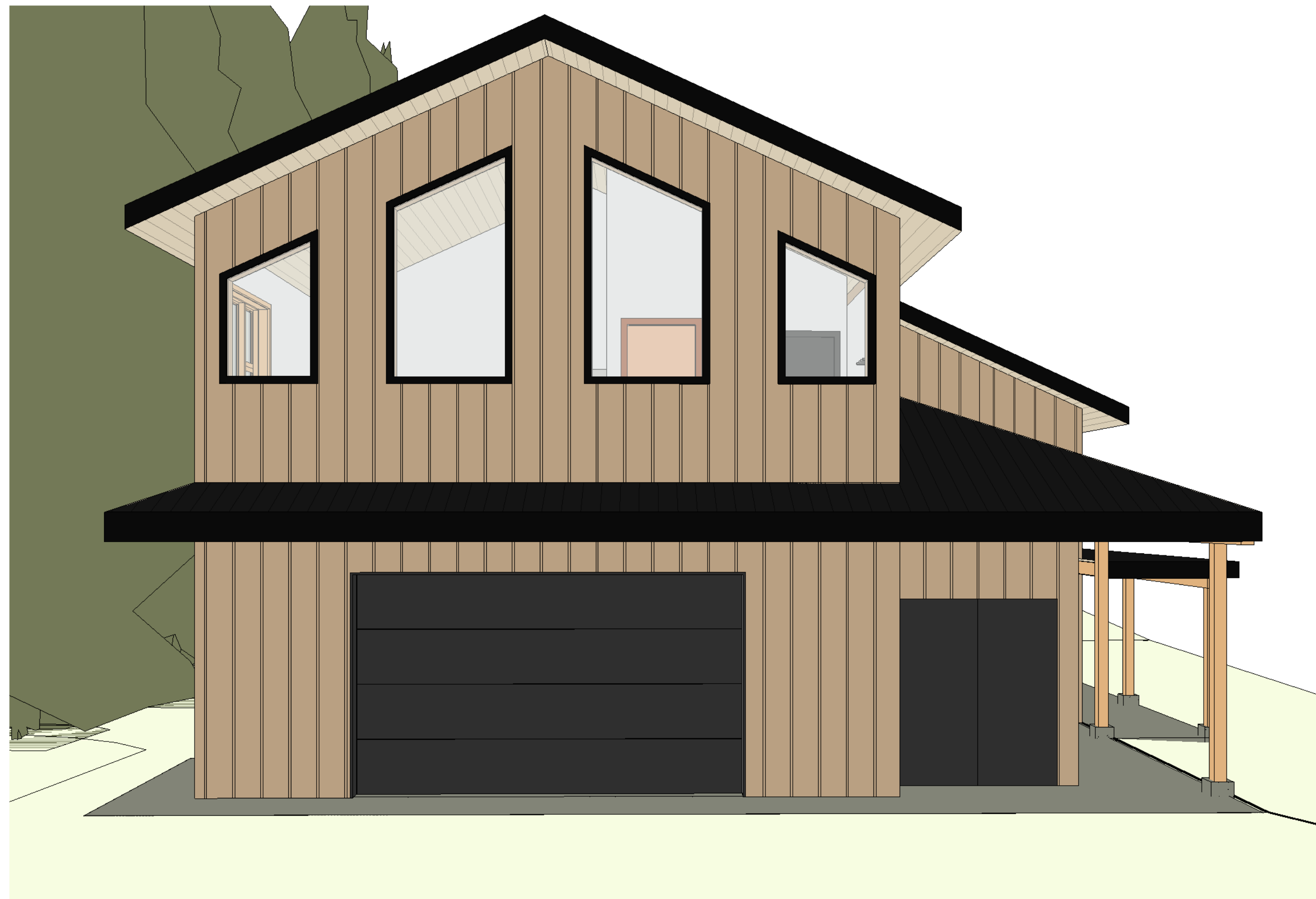
WINDOWS VIEWED FROM THE EXTERIOR

| Door Schedule | | | | | |
|---------------|----------|---------|-------------|--------------------------|---------------------------|
| Mark | Width | Height | Head Height | Description | Comments |
| D01 | 3' - 0" | 6' - 8" | 6' - 8" | Exterior, Right Inswing | |
| D02 | 6' - 0" | 7' - 0" | 7' - 0" | Exterior, Double | |
| D03 | 14' - 0" | 8' - 0" | 8' - 0" | Garage | |
| D04 | 3' - 0" | 6' - 8" | 6' - 8" | Exterior, Right Inswing | |
| D05 | 3' - 0" | 6' - 8" | 6' - 8" | Exterior, Left Inswing | |
| D06 | 3' - 0" | 6' - 8" | 6' - 8" | Exterior, Right Inswing | |
| D07 | 3' - 0" | 6' - 8" | 6' - 8" | Exterior, Left Inswing | |
| D08 | 3' - 0" | 6' - 8" | 6' - 8" | Interior, Left Inswing | |
| D09 | 2' - 8" | 6' - 8" | 6' - 8" | Interior, Left Inswing | |
| D10 | 2' - 8" | 6' - 8" | 6' - 8" | Interior, Left Inswing | |
| D12 | 2' - 8" | 6' - 8" | 6' - 8" | Interior, Left Inswing | |
| D13 | 2' - 8" | 6' - 8" | 6' - 8" | Interior, Left Inswing | Entrance to Existing Home |
| D14 | 3' - 0" | 6' - 8" | 6' - 8" | Interior, Bi-Fold | |
| D15 | 2' - 0" | 6' - 8" | 6' - 8" | Interior, Bi-Fold Single | |
| D16 | 2' - 8" | 6' - 8" | 6' - 8" | | |
| D17 | 2' - 0" | 6' - 8" | 6' - 8" | | |
| D18 | 2' - 0" | 6' - 8" | 6' - 8" | | |



****SCHEDULES PROVIDED FOR REFERENCE ONLY. FINAL MEASUREMENTS TO BE SITE VERIFIED BY CONTRACTOR OR SUPPLIER****

| | |
|---------------|------------------------------|
| Project | HAMPEL ADDITION |
| Drawn By | B.F. |
| Sheet Size | 24X36 |
| Date | 03-15-2023 |
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| For: | PERMIT |
| Sheet Title: | SCHEDULES - WINDOW & DOOR |
| Scale | As Noted |
| Sheet Number: | A 6.01 |



HAMPEL ADDITION
1656 BAY ST,
UCLUELET, BC, V0R 3A0

Project HAMPEL ADDITION

Drawn By B.F

Sheet Size 24X36

Date 03-15-2023

Revisions:

For: PERMIT

Sheet Title:

PERSPECTIVES
- EXTERIOR

Scale As Noted

Sheet Number:

A 9.01



SUITE 1



SUITE 2

HAMPEL ADDITION
1656 BAY ST,
UCLUELET, BC, V0R 3A0

| | |
|------------|-----------------|
| Project | HAMPEL ADDITION |
| Drawn By | B.F |
| Sheet Size | 24x36 |
| Date | 03-15-2023 |

Revisions:

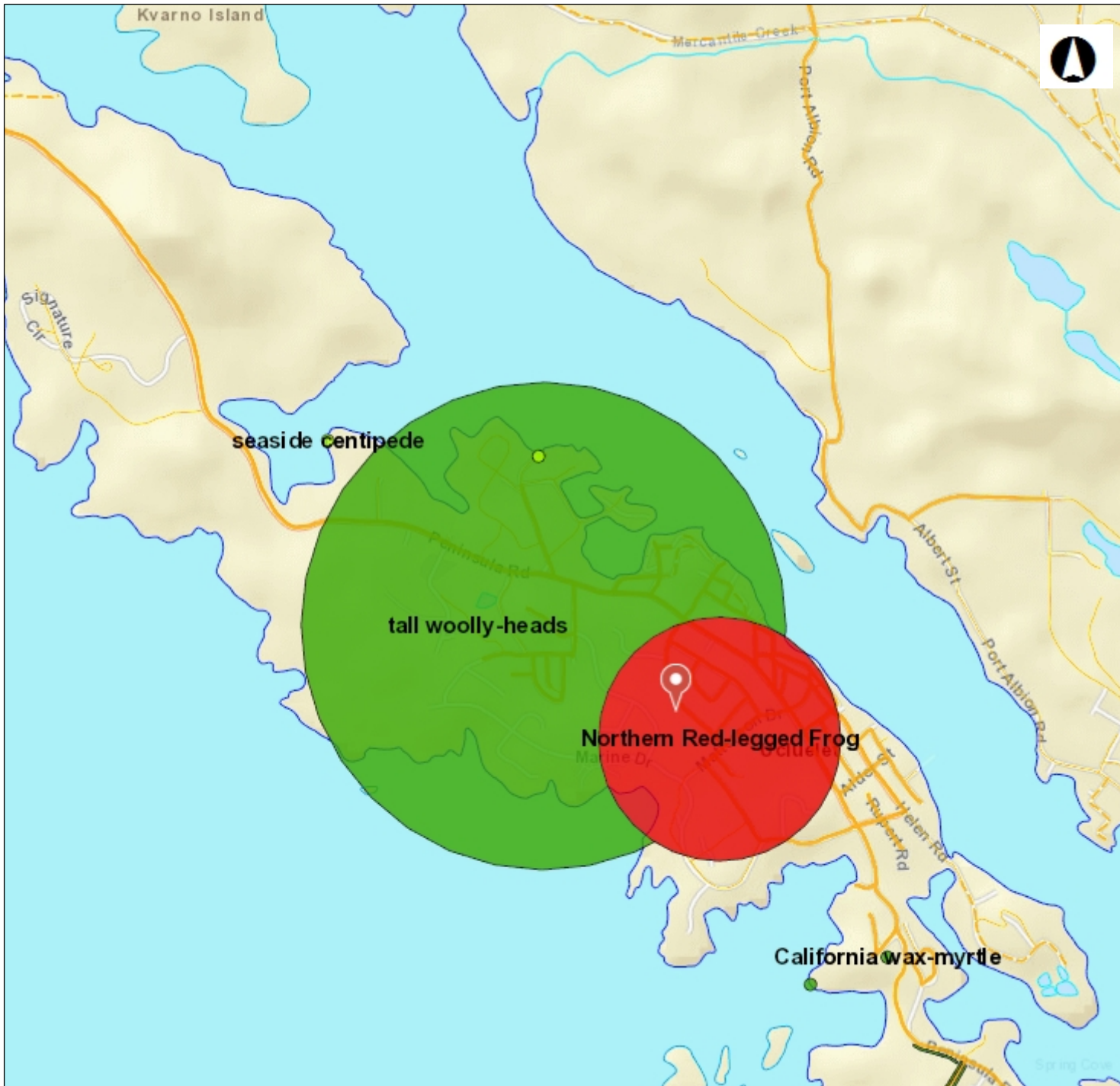
For: PERMIT

Sheet Title:

PERSPECTIVES
- INTERIOR

Scale As Noted

Sheet Number:
A 9.02



CDC Occurrence Map

Legend

Species and Ecosystems at Available Occurrences - CD

FEATURE_CODE

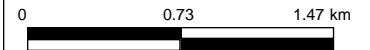
- Animal - Vertebrate
- Animal - Invertebrate
- Plant - Vascular
- Plant - Non-vascular
- Ecological Community

Species and Ecosystems at Secured) Publicly Available

Species and Ecosystems at and Historical) Publicly Avail CDC

FEATURE_CODE

- Animal - Vertebrate



1: 36,112

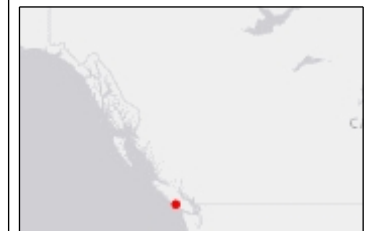
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Datum: NAD83
Projection: WGS_1984_Web_Mercator_Auxiliary_Sphere

Key Map of British Columbia





286 Main Street
 Po Box 641 Ucluelet BC, VOR 3A0
 250-726-2424
 info@reddfish.org
 reddfish.org

Table 1. BC Ecosystems Explorer Query Results and Likelihood of Occurrence Assessment.

| Group | English Name | Scientific Name | BC List | SARA* Schedule | SARA Status | MBCA* | Likelihood of Occurrence (Yes / No) | Rational (If No) ¹ |
|------------|------------------------------|----------------------------------|---------|-------------------|-----------------|-------|--|----------------------------------|
| amphibians | Coastal Tailed Frog | <i>Ascaphus truei</i> | Yellow | 1 | Special Concern | | No | 1 |
| amphibians | Northern Red-legged Frog | <i>Rana aurora</i> | Blue | 1 | Special Concern | | Yes | |
| amphibians | Wandering Salamander | <i>Aneides vagrans</i> | Blue | 1 | Special Concern | | Yes | |
| amphibians | Western Toad | <i>Anaxyrus boreas</i> | Yellow | 1 | Special Concern | | Yes | |
| birds | American Avocet | <i>Recurvirostra americana</i> | Blue | | | Y | No | 2 |
| birds | American Bittern | <i>Botaurus lentiginosus</i> | Blue | | | Y | No | 2 |
| birds | American Golden-Plover | <i>Pluvialis dominica</i> | Blue | | | Y | No | 2 |
| birds | American White Pelican | <i>Pelecanus erythrorhynchos</i> | Red | | | | No | 2 |
| birds | Ancient Murrelet | <i>Synthliboramphus antiquus</i> | Blue | 1 | Special Concern | Y | No | 2 |
| birds | Band-tailed Pigeon | <i>Patagioenas fasciata</i> | Blue | 1 | Special Concern | Y | Yes | |
| birds | Barn Owl | <i>Tyto alba</i> | Blue | 1 | Threatened | | No | 1, 2 |
| birds | Barn Swallow | <i>Hirundo rustica</i> | Yellow | 1 | Threatened | Y | Yes | |
| birds | Bay-breasted Warbler | <i>Setophaga castanea</i> | Red | | | Y | No | 1, 2 |
| birds | Black Scoter | <i>Melanitta americana</i> | Blue | | | Y | No | 2 |
| birds | Black Swift | <i>Cypseloides niger</i> | Blue | 1 | Endangered | Y | Yes | |
| birds | Black-crowned Night-heron | <i>Nycticorax nycticorax</i> | Red | | | Y | No | 1, 2 |
| birds | Black-throated Green Warbler | <i>Setophaga virens</i> | Blue | | | Y | Yes | |
| birds | Bobolink | <i>Dolichonyx oryzivorus</i> | Red | 1 | Threatened | Y | No | 1, 2 |
| birds | Brandt's Cormorant | <i>Urile penicillatus</i> | Red | | | | No | 2 |
| birds | Brant | <i>Branta bernicla</i> | Blue | | | Y | No | 2 |



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|-------|---|---|--------|---|-----------------|---|-----|------|
| birds | California Gull | <i>Larus californicus</i> | Red | | | Y | No | 2 |
| birds | Canada Goose, <i>occidentalis</i> subspecies | <i>Branta canadensis</i> <i>occidentalis</i> | Red | | | | No | 2 |
| birds | Canada Warbler | <i>Cardellina canadensis</i> | Blue | 1 | Threatened | Y | No | 1 |
| birds | Caspian Tern | <i>Hydroprogne caspia</i> | Blue | | | Y | No | 2 |
| birds | Cassin's Auklet | <i>Ptychoramphus aleuticus</i> | Red | 1 | Special Concern | Y | No | 2 |
| birds | Common Murre | <i>Uria aalge</i> | Red | | | Y | No | 2 |
| birds | Common Nighthawk | <i>Chordeiles minor</i> | Blue | 1 | Threatened | Y | No | 2 |
| birds | Connecticut Warbler | <i>Oporornis agilis</i> | Blue | | | Y | No | 1, 2 |
| birds | Double-crested Cormorant | <i>Nannopterum auritum</i> | Blue | | | | No | 2 |
| birds | Evening Grosbeak | <i>Coccothraustes vespertinus</i> | Yellow | 1 | Special Concern | Y | Yes | |
| birds | Forster's Tern | <i>Sterna forsteri</i> | Red | | | Y | No | 2 |
| birds | Great Blue Heron, <i>fannini</i> subspecies | <i>Ardea herodias fannini</i> | Blue | 1 | Special Concern | | Yes | |
| birds | Green Heron | <i>Butorides virescens</i> | Blue | | | Y | No | 2 |
| birds | Gyr Falcon | <i>Falco rusticolus</i> | Blue | | | | No | 1, 2 |
| birds | Horned Lark, <i>strigata</i> subspecies | <i>Eremophila alpestris strigata</i> | Red | 1 | Endangered | | No | 2 |
| birds | Horned Puffin | <i>Fratercula corniculata</i> | Red | | | Y | No | 2 |
| birds | Hudsonian Godwit | <i>Limosa haemastica</i> | Red | | | Y | No | 2 |
| birds | Lark Sparrow | <i>Chondestes grammacus</i> | Blue | | | Y | No | 1 |
| birds | Lewis's Woodpecker | <i>Melanerpes lewis</i> | Blue | 1 | Threatened | Y | No | 1, 2 |
| birds | Long-billed Curlew | <i>Numenius americanus</i> | Yellow | 1 | Special Concern | Y | No | 2 |
| birds | Marbled Murrelet | <i>Brachyramphus marmoratus</i> | Blue | 1 | Threatened | Y | No | 2 |
| birds | Northern Fulmar | <i>Fulmarus glacialis</i> | Red | | | Y | No | 2 |
| birds | Northern Goshawk, <i>laingi</i> subspecies | <i>Accipiter gentilis laingi</i> | Red | 1 | Threatened | | No | 2 |



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| birds | Northern Pygmy-owl, <i>swarthi</i> subspecies | <i>Glaucidium gnoma swarthi</i> | Blue | | | | No | 2 |
| birds | Olive-sided Flycatcher | <i>Contopus cooperi</i> | Yellow | 1 | Threatened | Y | Yes | |
| birds | Peregrine Falcon | <i>Falco peregrinus</i> | No Status | 1 | Special Concern | | No | 2 |
| birds | Peregrine Falcon, <i>anatum</i> subspecies | <i>Falco peregrinus anatum</i> | Red | 1 | Special Concern | | No | 2 |
| birds | Peregrine Falcon, <i>pealei</i> subspecies | <i>Falco peregrinus pealei</i> | Blue | 1 | Special Concern | | No | 2 |
| birds | Pine Grosbeak, <i>carlottae</i> subspecies | <i>Pinicola enucleator carlottae</i> | Blue | | | | Yes | |
| birds | Prairie Falcon | <i>Falco mexicanus</i> | Red | | | | No | 2 |
| birds | Purple Martin | <i>Progne subis</i> | Blue | | | Y | Yes | |
| birds | Red Knot | <i>Calidris canutus</i> | Blue | 1 | Threatened / Endangered | Y | No | 2 |
| birds | Red-necked Phalarope | <i>Phalaropus lobatus</i> | Blue | 1 | Special Concern | Y | No | 2 |
| birds | Rough-legged Hawk | <i>Buteo lagopus</i> | Blue | | | | Yes | |
| birds | Rusty Blackbird | <i>Euphagus carolinus</i> | Blue | 1 | Special Concern | | No | 2 |
| birds | Sage Thrasher | <i>Oreoscoptes montanus</i> | Red | 1 | Endangered | Y | No | 2 |
| birds | Short-billed Dowitcher | <i>Limnodromus griseus</i> | Blue | | | Y | No | 2 |
| birds | Short-eared Owl | <i>Asio flammeus</i> | Blue | 1 | Special Concern | | No | 1, 2 |
| birds | Smith's Longspur | <i>Calcarius pictus</i> | Blue | | | Y | No | 2 |
| birds | Surf Scoter | <i>Melanitta perspicillata</i> | Blue | | | Y | No | 2 |
| birds | Thick-billed Murre | <i>Uria lomvia</i> | Red | | | Y | No | 2 |
| birds | Tufted Puffin | <i>Fratercula cirrhata</i> | Blue | | | Y | No | 2 |
| birds | Upland Sandpiper | <i>Bartramia longicauda</i> | Red | | | Y | No | 2 |
| birds | Wandering Tattler | <i>Tringa incana</i> | Blue | | | Y | No | 2 |
| birds | Western Grebe | <i>Aechmophorus occidentalis</i> | Red | 1 | Special Concern | Y | No | 2 |



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|------------|---|--|-----------|---|-----------------|---|-----|---|
| birds | Western Screech-Owl | <i>Megascops kennicottii</i> | No Status | 1 | Threatened | | Yes | |
| birds | Western Screech-Owl, <i>kennicottii</i> subspecies | <i>Megascops kennicottii kennicottii</i> | Blue | 1 | Threatened | | Yes | |
| birds | White-tailed Ptarmigan, <i>saxatilis</i> subspecies | <i>Lagopus leucura saxatilis</i> | Blue | | | | No | 2 |
| birds | Yellow-billed Cuckoo | <i>Coccyzus americanus</i> | Red | | | Y | No | 2 |
| birds | Yellow-breasted Chat | <i>Icteria virens</i> | Red | 1 | Endangered | Y | No | 2 |
| bivalves | Long Fingernailclam | <i>Musculium transversum</i> | Blue | | | | N/A | |
| bivalves | Olympia Oyster | <i>Ostrea lurida</i> | Blue | 1 | Special Concern | | N/A | |
| bivalves | Striated Fingernailclam | <i>Sphaerium striatinum</i> | Blue | | | | N/A | |
| bivalves | Swamp Fingernailclam | <i>Musculium partumeium</i> | Blue | | | | N/A | |
| gastropods | Blue-grey Taildropper | <i>Prophysaon coeruleum</i> | Blue | 1 | Threatened | | N/A | |
| gastropods | Broadwhorl Tightcoil | <i>Pristiloma johnsoni</i> | Blue | | | | N/A | |
| gastropods | Dromedary Jumping-slug | <i>Hemphillia dromedarius</i> | Red | 1 | Threatened | | N/A | |
| gastropods | Evening Fieldslug | <i>Deroceras hesperium</i> | Red | | | | N/A | |
| gastropods | Haida Gwaii Slug | <i>Staalaa gwaii</i> | Red | 1 | Special Concern | | N/A | |
| gastropods | Meadow Rams-horn | <i>Planorbula campestris</i> | Blue | | | | N/A | |
| gastropods | Northern Abalone | <i>Haliotis kamtschatkana</i> | Red | 1 | Endangered | | N/A | |
| gastropods | Oregon Forestsnail | <i>Allogona townsendiana</i> | Red | 1 | Endangered | | N/A | |
| gastropods | Prairie Fossaria | <i>Galba bulimoides</i> | Blue | | | | N/A | |
| gastropods | Puget Oregonian | <i>Cryptomastix devia</i> | Red | 1 | Extinct | | N/A | |
| gastropods | Rocky Mountain Physa | <i>Physella propinqua</i> | Blue | | | | N/A | |
| gastropods | Sunset Physa | <i>Physella virginia</i> | Blue | | | | N/A | |
| gastropods | Threaded Vertigo | <i>Nearctula sp. 1</i> | Blue | 1 | Special Concern | | N/A | |
| gastropods | Warty Jumping-slug | <i>Hemphillia glandulosa</i> | Red | 1 | Special Concern | | N/A | |
| gastropods | Western Thorn | <i>Carychium occidentale</i> | Blue | | | | N/A | |



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| gastropods | Wrinkled Marshsnail | <i>Stagnicola caperata</i> | Blue | | | | N/A | |
| insects | Alkali Bluet | <i>Enallagma clausum</i> | Blue | | | | N/A | |
| insects | Audouin's Night-stalking Tiger Beetle | <i>Omus audouini</i> | Red | 1 | Threatened | | N/A | |
| insects | Autumn Meadowhawk | <i>Sympetrum vicinum</i> | Blue | | | | N/A | |
| insects | Black Petaltail | <i>Tanypteryx hageni</i> | Blue | | | | N/A | |
| insects | Blue Dasher | <i>Pachydiplax longipennis</i> | Blue | | | | N/A | |
| insects | Boisduval's Blue, <i>blackmorei</i> subspecies | <i>Icaricia icarioides blackmorei</i> | Blue | | | | N/A | |
| insects | Clodius Parnassian, <i>claudianus</i> subspecies | <i>Parnassius clodius claudianus</i> | Blue | | | | N/A | |
| insects | Common Ringlet, <i>insulana</i> subspecies | <i>Coenonympha californica insulana</i> | Red | | | | N/A | |
| insects | Common Wood-nymph, <i>incana</i> subspecies | <i>Cercyonis pegala incana</i> | Red | | | | N/A | |
| insects | Dun Skipper | <i>Euphyes vestris</i> | Blue | 1 | Threatened | | N/A | |
| insects | Edith's Checkerspot, <i>taylori</i> subspecies | <i>Euphydryas editha taylori</i> | Red | 1 | Endangered | | N/A | |
| insects | Edwards' Beach Moth | <i>Anarta edwardsii</i> | Red | 1 | Endangered | | N/A | |
| insects | Greenish Blue, <i>insulanus</i> subspecies | <i>Icaricia saepiolus insulanus</i> | Red | 1 | Endangered | | N/A | |
| insects | Johnson's Hairstreak | <i>Callophrys johnsoni</i> | Red | | | | N/A | |
| insects | Large Marble, <i>insulanus</i> subspecies | <i>Euchloe ausonides insulanus</i> | Red | 1 | Extinct | | N/A | |
| insects | Monarch | <i>Danaus plexippus</i> | Red | 1 | Special Concern | | N/A | |
| insects | Moss' Elfin, <i>mossii</i> subspecies | <i>Callophrys mossii mossii</i> | Red | | | | N/A | |
| insects | Propertius Duskywing | <i>Erynnis propertius</i> | Red | | | | N/A | |



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| insects | Rocky Mountain Parnassian, <i>olympiannus</i> subspecies | <i>Parnassius smintheus olympiannus</i> | Blue | | | | N/A | |
| insects | Sand-verbena Moth | <i>Copablepharon fuscum</i> | Red | 1 | Endangered | | N/A | |
| insects | Silver-spotted Skipper | <i>Epargyreus clarus</i> | Blue | | | | N/A | |
| insects | Silver-spotted Skipper, <i>californicus</i> subspecies | <i>Epargyreus clarus californicus</i> | Red | | | | N/A | |
| insects | Sinuuous Snaketail | <i>Ophiogomphus occidentis</i> | Blue | | | | N/A | |
| insects | Western Branded Skipper, <i>oregonia</i> subspecies | <i>Hesperia colorado oregonia</i> | Red | | | | N/A | |
| insects | Western Pine Elfin, <i>sheltonensis</i> subspecies | <i>Callophrys eryphon sheltonensis</i> | Blue | | | | N/A | |
| insects | Western Pondhawk | <i>Erythemis collocata</i> | Blue | | | | N/A | |
| insects | Zerene Fritillary, <i>bremnerii</i> subspecies | <i>Speyeria zerene bremnerii</i> | Red | | | | N/A | |
| Lampreys | Cowichan Lake Lamprey | <i>Entosphenus macrostomus</i> | Red | 1 | Threatened | | N/A | |
| Lampreys | Western Brook Lamprey (Morrison Creek Population) | <i>Lampetra richardsoni</i> pop. 1 | Red | 1 | Endangered | | N/A | |
| malacostracans | Quatsino Cave Amphipod | <i>Stygobromus quatsinensis</i> | Blue | | | | N/A | |
| mammals | Caribou (Northern Mountain Population) | <i>Rangifer tarandus</i> pop. 15 | Blue | 1 | Special Concern | | No | 1,2 |
| mammals | Ermine, <i>anguinae</i> subspecies | <i>Mustela richardsonii anguinae</i> | Blue | | | | | |
| mammals | Fisher | <i>Pekania pennanti</i> | No Status | | | | | |
| mammals | Grey Whale | <i>Eschrichtius robustus</i> | Blue | 1 | Special Concern | | No | 2 |



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|-------------------|--|-------------------------------------|-----------|---|-----------------|-----|------|
| mammals | Grizzly Bear | <i>Ursus arctos</i> | Blue | 1 | Special Concern | No | 2 |
| mammals | Hoary Bat | <i>Lasiurus cinereus</i> | Blue | | | | |
| mammals | Little Brown Myotis | <i>Myotis lucifugus</i> | Blue | 1 | Endangered | Yes | |
| mammals | Mountain Goat | <i>Oreamnos americanus</i> | Blue | | | No | 1, 2 |
| mammals | Roosevelt Elk | <i>Cervus elaphus roosevelti</i> | Blue | | | No | 2 |
| mammals | Steller Sea Lion | <i>Eumetopias jubatus</i> | Blue | 1 | Special Concern | No | 2 |
| mammals | Townsend's Big-eared Bat | <i>Corynorhinus townsendii</i> | Blue | | | Yes | |
| mammals | Townsend's Vole, <i>cowani</i> subspecies | <i>Microtus townsendii cowani</i> | Red | | | | |
| mammals | Vancouver Island Marmot | <i>Marmota vancouverensis</i> | Red | 1 | Endangered | No | 1, 2 |
| mammals | Western Water Shrew, <i>brooksi</i> subspecies | <i>Sorex navigator brooksi</i> | Blue | | | | |
| mammals | Wolverine | <i>Gulo gulo</i> | No Status | 1 | Special Concern | No | 1 |
| mammals | Wolverine, <i>luscus</i> subspecies | <i>Gulo gulo luscus</i> | Blue | 1 | Special Concern | No | 1 |
| mammals | Wolverine, <i>vancouverensis</i> subspecies | <i>Gulo gulo vancouverensis</i> | Red | 1 | Special Concern | | |
| mammals | Yuma Myotis | <i>Myotis yumanensis</i> | Blue | | | | |
| oligochaetes | an earthworm | <i>Arctiostrotus perrieri</i> | Blue | | | N/A | |
| ray-finned fishes | Bull Trout | <i>Salvelinus confluentus</i> | Blue | | | No | 2 |
| ray-finned fishes | Cutthroat Trout, <i>clarkii</i> subspecies | <i>Oncorhynchus clarkii clarkii</i> | Blue | | | No | 2 |
| ray-finned fishes | Eulachon | <i>Thaleichthys pacificus</i> | Blue | | | No | 2 |



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| ray-finned fishes | Inconnu | <i>Stenodus leucichthys</i> | Blue | | | | No | 2 |
| ray-finned fishes | Misty Lake "Lake" Stickleback | <i>Gasterosteus sp. 18</i> | Red | 1 | Endangered | | No | 2 |
| ray-finned fishes | Misty Lake "Stream" Stickleback | <i>Gasterosteus sp. 19</i> | Red | 1 | Endangered | | No | 2 |
| reptiles | Common Sharp-tailed Snake | <i>Contia tenuis</i> | Red | 1 | Endangered | | No | 2 |
| reptiles | Gophersnake | <i>Pituophis catenifer</i> | No Status | 1 | Extinct / Threatened | | No | 1, 2 |
| reptiles | Gophersnake, <i>catenifer</i> subspecies | <i>Pituophis catenifer catenifer</i> | Red | 1 | Extinct | | No | 1, 2 |
| turtles | Leatherback Sea Turtle | <i>Dermochelys coriacea</i> | Red | 1 | Endangered | | No | 2 |
| turtles | Northern Painted Turtle | <i>Chrysemys picta</i> | No Status | 1 | Endangered / Special Concern | | No | 2 |
| turtles | Northern Painted Turtle - Pacific Coast Population | <i>Chrysemys picta</i> pop. 1 | Red | 1 | Endangered | | No | 2 |

* SARA = *Species at Risk Act*; MBCA = *Migratory Bird Convention Act*

Notes 1:

1. Outside of known range for the species or species is not known in the area
2. No suitable habitat in the study area



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Table 2. BC Ecosystems Explorer Query Results for Vegetation.

| Name Category | English Name | Scientific Name | BC List | SARA Schedule | SARA Status | Habitats (Type / Subtype / Dependence) |
|----------------|----------------------------------|---|---------|---------------|-----------------|--|
| Bryophyte | rigid apple moss | <i>Bartramia aprica</i> | Red | 1 | Endangered | Rock/Sparsely Vegetated Rock / Garry Oak Coastal Bluffs / Facultative - frequent use |
| Bryophyte | Roell's brotherella | <i>Brotherella roellii</i> | Red | 1 | Endangered | |
| Bryophyte | banded cord-moss | <i>Entosthodon fascicularis</i> | Blue | 1 | Special Concern | Grassland/Shrub / Garry Oak Maritime Meadow / Facultative - frequent use |
| Bryophyte | acutleaf small limestone moss | <i>Seligeria acutifolia</i> | Red | 1 | Endangered | |
| Vascular Plant | yellow sand-verbena | <i>Abronia latifolia</i> | Blue | | | Other Unique Habitats / Beach / Obligate ; Other Unique Habitats / Sand Dune / Facultative - frequent use |
| Vascular Plant | pink sand-verbena | <i>Abronia umbellata</i> var. <i>breviflora</i> | Red | 1 | Endangered | Other Unique Habitats / Beach / Facultative - frequent use ; Other Unique Habitats / Sand Dune / Facultative - frequent use |
| Vascular Plant | dwarf maiden-hair fern | <i>Adiantum aleuticum</i> var. <i>subpumilum</i> | Blue | | | Other Unique Habitats / Beach / Facultative - frequent use ; Rock/Sparsely Vegetated Rock / Cliff / Facultative - frequent use |
| Vascular Plant | mountain hemlock dwarf mistletoe | <i>Arceuthobium tsugense</i> ssp. <i>mertensianae</i> | Blue | | | Forest / Conifer Forest - Mesic (average) / Unknown |



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|----------------|--------------------------|--|---------|--|--|--|
| Vascular Plant | three-forked mugwort | <i>Artemisia furcata</i> | Blue | | | Alpine/Tundra / Alpine/Subalpine Meadow / Unknown ; Alpine/Tundra / Krummholtz / Unknown ; Alpine/Tundra / Tundra / Unknown ; Rock/Sparsely Vegetated Rock / Cliff / Unknown ; Rock/Sparsely Vegetated Rock / Talus / Unknown |
| Vascular Plant | corrupt spleenwort | <i>Asplenium adulterinum</i> | Blue | | | Rock/Sparsely Vegetated Rock / Cliff / Facultative - frequent use ; Rock/Sparsely Vegetated Rock / Rock/Sparsely Vegetated Rock / Facultative - frequent use |
| Vascular Plant | river bulrush | <i>Bolboschoenus fluviatilis</i> | Blue | | | Other Unique Habitats / Estuary / Facultative - frequent use ; Riparian / Riparian Shrub / Facultative - frequent use ; Wetland / Marsh / Obligate |
| Vascular Plant | two-edged water-starwort | <i>Callitriche heterophylla</i> var. <i>heterophylla</i> | Unknown | | | Lakes / Pond/Open Water / Facultative - occasional use |
| Vascular Plant | beach bindweed | <i>Calystegia soldanella</i> | Blue | | | Other Unique Habitats / Sand Dune / Obligate |
| Vascular Plant | angled bittercress | <i>Cardamine angulata</i> | Blue | | | Forest / Conifer Forest - Moist/wet / Facultative - frequent use ; Forest / Old Forest / Facultative - occasional use ; Riparian / Riparian Forest / Facultative - frequent use ; Stream/River / Stream/River / Facultative - frequent use |



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|----------------|----------------------------|---|--------|--|--|--|
| Vascular Plant | estuarine paintbrush | <i>Castilleja ambigua</i> var. <i>ambigua</i> | Blue | | | Grassland/Shrub / Garry Oak Maritime Meadow / Facultative - frequent use ; Other Unique Habitats / Estuary / Facultative - frequent use ; Other Unique Habitats / Vernal Pools/Seasonal Seeps / Facultative - frequent use |
| Vascular Plant | Fischer's chickweed | <i>Cerastium fischerianum</i> | Blue | | | Grassland/Shrub / Meadow / Facultative - occasional use ; Lakes / Lake / Facultative - frequent use ; Riparian / Riparian Herbaceous / Facultative - occasional use ; Stream/River / Stream/River / Facultative - frequent use |
| Vascular Plant | tooth-leaved monkey-flower | <i>Erythranthe dentata</i> | Blue | | | Riparian / Riparian Forest / Unknown ; Stream/River / Stream/River / Unknown |
| Vascular Plant | white glacier lily | <i>Erythronium montanum</i> | Blue | | | Alpine/Tundra / Alpine/Subalpine Meadow / Unknown ; Other Unique Habitats / Avalanche Track / Unknown |
| Vascular Plant | dwarf red fescue | <i>Festuca rubra</i> ssp. <i>mediana</i> | Yellow | | | |
| Vascular Plant | Haida Gwaii avens | <i>Geum schofieldii</i> | Blue | | | Rock/Sparsely Vegetated Rock / Cliff / Facultative - frequent use ; Rock/Sparsely Vegetated Rock / Rock/Sparsely Vegetated Rock / Facultative - frequent use ; Rock/Sparsely Vegetated Rock / Talus / Facultative - frequent use |
| Vascular Plant | American glehnia | <i>Glehnia littoralis</i> ssp. <i>leiocarpa</i> | Blue | | | Other Unique Habitats / Beach / Obligate ; Other Unique Habitats / Sand Dune / Obligate |



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 250-726-2424
 info@reddfish.org
 reddfish.org

| | | | | | | |
|----------------|-----------------------|-----------------------------|------|---|------------|--|
| Vascular Plant | hairy goldfields | <i>Lasthenia maritima</i> | Blue | | | Ocean / Marine Island / Unknown ; Rock/Sparsely Vegetated Rock / Cliff / Unknown ; Rock/Sparsely Vegetated Rock / Rock/Sparsely Vegetated Rock / Unknown |
| Vascular Plant | silky beach pea | <i>Lathyrus littoralis</i> | Red | | | Other Unique Habitats / Beach / Facultative - frequent use ; Other Unique Habitats / Sand Dune / Facultative - frequent use |
| Vascular Plant | California wax-myrtle | <i>Morella californica</i> | Blue | | | Grassland/Shrub / Shrub - Natural / Unknown |
| Vascular Plant | redwood sorrel | <i>Oxalis oregana</i> | Blue | | | Forest / Conifer Forest - Moist/wet / Facultative - frequent use ; Forest / Old Forest / Facultative - occasional use |
| Vascular Plant | whitebark pine | <i>Pinus albicaulis</i> | Blue | 1 | Endangered | Forest / Conifer Forest - Dry / Facultative - frequent use ; Forest / Conifer Forest - Mesic (average) / Facultative - frequent use ; Rock/Sparsely Vegetated Rock / Cliff / Facultative - frequent use ; Rock/Sparsely Vegetated Rock / Rock/Sparsely Vegetated Rock / Facultative - frequent use ; Rock/Sparsely Vegetated Rock / Talus / Facultative - frequent use |
| Vascular Plant | black knotweed | <i>Polygonum paronychia</i> | Blue | | | Other Unique Habitats / Beach / Facultative - frequent use ; Other Unique Habitats / Sand Dune / Facultative - frequent use |



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| | | | | | | |
|----------------|----------------------|--|------|--|--|---|
| Vascular Plant | Alaska holly fern | <i>Polystichum setigerum</i> | Blue | | | Forest / Conifer Forest - Moist/wet / Facultative - frequent use ; Riparian / Riparian Forest / Facultative - occasional use ; Riparian / Riparian Shrub / Facultative - occasional use ; Rock/Sparsely Vegetated Rock / Rock/Sparsely Vegetated Rock / Facultative - occasional use ; Stream/River / Stream/River / Facultative - occasional use |
| Vascular Plant | wedge-leaf primrose | <i>Primula cuneifolia</i> ssp. <i>saxifragifolia</i> | Blue | | | Grassland/Shrub / Meadow / Facultative - frequent use ; Rock/Sparsely Vegetated Rock / Rock/Sparsely Vegetated Rock / Facultative - occasional use |
| Vascular Plant | Smith's fairybells | <i>Prosartes smithii</i> | Blue | | | Forest / Conifer Forest - Moist/wet / Unknown ; Forest / Deciduous/Broadleaf Forest / Unknown ; Forest / Mixed Forest (deciduous/coniferous mix) / Unknown ; Riparian / Riparian Forest / Unknown |
| Vascular Plant | leafless wintergreen | <i>Pyrola aphylla</i> | Blue | | | Forest / Conifer Forest - Mesic (average) / Facultative - frequent use |
| Vascular Plant | Hibberson's trillium | <i>Trillium hibbersonii</i> | Blue | | | Rock/Sparsely Vegetated Rock / Cliff / Facultative - occasional use |



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Table 3. BC Ecosystems Explorer Query Results for Ecosystems.

| English Name | Scientific Name | Ecosystem Group | BC List |
|--|--|---|---------|
| red alder / salmonberry / common horsetail | <i>Alnus rubra</i> / <i>Rubus spectabilis</i> / <i>Equisetum arvense</i> | Terrestrial Realm - Flood Group (F): Low Bench Flood Class (Fl) | Blue |
| Lyngbye's sedge herbaceous vegetation | <i>Carex lyngbyei</i> Herbaceous Vegetation | Estuarine Realm: Estuarine Marsh Class (Em) | Red |
| large-headed sedge Herbaceous Vegetation | <i>Carex macrocephala</i> Herbaceous Vegetation | Terrestrial Realm - Beach Group (B): Beachland Class (Bb) | Red |
| tufted hairgrass - meadow barley | <i>Deschampsia cespitosa</i> ssp. <i>beringensis</i> - <i>Hordeum brachyantherum</i> | Estuarine Realm: Estuarine Meadow Class (Ed) | Red |
| common spike-rush Herbaceous Vegetation | <i>Eleocharis palustris</i> Herbaceous Vegetation | Wetland Realm - Mineral Wetland Group: Marsh Wetland Class (Wm); Estuarine Realm: Estuarine Marsh Class (Em) | Blue |
| dune wildrye - beach pea | <i>Leymus mollis</i> ssp. <i>mollis</i> - <i>Lathyrus japonicus</i> | Terrestrial Realm - Beach Group (B): Beachland Class (Bb) | Red |
| Sitka spruce / Pacific reedgrass | <i>Picea sitchensis</i> / <i>Calamagrostis nutkaensis</i> | Terrestrial Realm - Forest: Coniferous - dry | Blue |
| Sitka spruce / slough sedge | <i>Picea sitchensis</i> / <i>Carex obnupta</i> | Terrestrial Realm - Forest: Coniferous - moist/wet | Blue |
| Sitka spruce / salal | <i>Picea sitchensis</i> / <i>Gaultheria shallon</i> | Terrestrial Realm - Forest: Coniferous - dry | Blue |
| Sitka spruce / Oregon beaked-moss | <i>Picea sitchensis</i> / <i>Kindbergia oregana</i> | Terrestrial Realm - Forest: Coniferous - dry | Blue |



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| | | | |
|---|---|--|------|
| Sitka spruce / false lily-of-the-valley Very Wet Hypermaritime 1 | <i>Picea sitchensis</i> / <i>Maianthemum dilatatum</i> Very Wet Hypermaritime 1 | Terrestrial Realm - Flood Group (F): Highbench Flood | Red |
| Sitka spruce / Pacific crab apple | <i>Picea sitchensis</i> / <i>Malus fusca</i> | Terrestrial Realm - Forest: Coniferous - moist/wet | Blue |
| Sitka spruce / sword fern | <i>Picea sitchensis</i> / <i>Polystichum munitum</i> | Terrestrial Realm - Forest: Coniferous - moist/wet | Blue |
| Sitka spruce / tall trisetum | <i>Picea sitchensis</i> / <i>Trisetum canescens</i> | Terrestrial Realm - Flood Group (F): Middle Bench Flood Class (Fm); Terrestrial Realm - Forest: Coniferous - moist/wet | Red |
| dune bluegrass Herbaceous Vegetation | <i>Poa macrantha</i> Herbaceous Vegetation | Terrestrial Realm - Beach Group (B): Beachland Class (Bb) | Red |
| beaked ditch-grass Herbaceous Vegetation | <i>Ruppia maritima</i> Herbaceous Vegetation | Estuarine Realm: Estuarine Marsh Class (Em) | Red |
| Sitka willow - Pacific willow / skunk cabbage | <i>Salix sitchensis</i> - <i>Salix lasiandra</i> var. <i>lasiandra</i> / <i>Lysichiton americanus</i> | Wetland Realm - Mineral Wetland Group: Swamp Wetland Class (Ws) | Blue |
| American glasswort - sea-milkwort | <i>Sarcocornia pacifica</i> - <i>Lysimachia maritima</i> | Estuarine Realm: Estuarine Marsh Class (Em) | Red |
| western redcedar - Sitka spruce / skunk cabbage | <i>Thuja plicata</i> - <i>Picea sitchensis</i> / <i>Lysichiton americanus</i> | Terrestrial Realm - Forest: Coniferous - moist/wet; Wetland Realm - Mineral Wetland Group: Swamp Wetland Class (Ws) | Blue |
| western redcedar - Sitka spruce / devil's club Very Wet Hypermaritime 1 | <i>Thuja plicata</i> - <i>Picea sitchensis</i> / <i>Oplopanax horridus</i> Very Wet Hypermaritime 1 | Terrestrial Realm - Forest: Coniferous - moist/wet | Blue |



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| | | | |
|--|---|--|------|
| western redcedar - Sitka spruce / sword fern | <i>Thuja plicata</i> - <i>Picea sitchensis</i> / <i>Polystichum munitum</i> | Terrestrial Realm - Forest: Coniferous - dry; Terrestrial Realm - Forest: Coniferous - mesic | Blue |
| western hemlock - Sitka spruce / lanky moss | <i>Tsuga heterophylla</i> - <i>Picea sitchensis</i> / <i>Rhytidiadelphus loreus</i> | Terrestrial Realm - Forest: Coniferous - mesic | Blue |



REPORT TO COUNCIL

Council Meeting: June 27th, 2023

500 Matterson Drive, Ucluelet, BC V0R 3A0

FROM: MONICA WHITNEY-BROWN, PLANNING ASSISTANT **FILE NO:** 3090-20 DVP23=08

SUBJECT: DEVELOPMENT VARIANCE PERMIT FOR 1333 PINE ROAD **REPORT NO:** 23-96

ATTACHMENT(S): APPENDIX A – APPLICATION
APPENDIX B – DEVELOPMENT VARIANCE PERMIT 23-08

RECOMMENDATION(S):

THAT Council authorize the Director of Community Planning to execute and issue Development Variance Permit DVP23-08 to allow the construction of one driveway with a maximum crossing width of 7.5 metres.

BACKGROUND:



DISCUSSION:

The applicant submitted a building permit to convert the garage into a tourist accommodation suite prior to the adoption of *Ucluelet Zoning Amendment Bylaw No. 1310, 2023*. This bylaw restricted the form of B&Bs in residential zones to be in line with traditional B&B operations –

specifically to avoid having disconnected suites with separate entrances. The proposed B&B is permissible as a legally non-conforming use because it was begun prior to the bylaw's adoption. However, the property owners must still comply with all other relevant bylaw requirements, including parking requirements.

A unique feature of this applications' history is that the approved building permit did not show parking. At the time of the owner's building permit application, the bylaw update didn't include the changes to the parking requirements which limited driveway width to 7 m. These changes were introduced when the bylaw was amended in August, 2022, and returned to Council for second reading, public hearing, third reading and adoption. As the submission and review occurred before this time, the applicant did not initially show the width required to accommodate the three parking spots on their plan, and staff did not require them to do so at zoning check, noting only that the applicant would have to provide three spots at business license application time. Therefore, the parking is not legally non-conforming, and a variance would be required to fit the required parking on site.

Zoning Bylaw Parking Requirements for B&Bs:

District of Ucluelet Zoning Bylaw 1160, 2013 (the "Zoning Bylaw"), includes [parking requirements](#) associated with different uses in the District of Ucluelet. Requirements include two standard parking spaces per single-family dwelling, plus one additional space per B&B room.

Parking issues can be a significant way B&B uses impact the streetscape and neighbours in residential areas. For this reason, the zoning bylaw requires operators of overnight tourist accommodations to provide private parking spots on their property to service the guests they bring into the neighbourhood. Parking requirements for Bed and Breakfast operations are a measure of control the District of Ucluelet has to minimize the impacts of B&Bs and ensure they only take place on properties where owners can provide full services to their guests, including on-site parking. The limits on driveway width were implemented in response to the growth of new builds and new B&Bs which relied paving their frontage to accommodate parking. This approach heavily impacts the feel and character of neighbourhoods, and the streetscape. Additionally, having a large number of cars backing onto residential streets can present a safety concern.

In general, Staff would not recommend variances for parking to allow B&B operations where the applicant cannot comply with bylaw requirements. However, in this case the applicant was caught in the midst of a bylaw update. Given that the suite is built and has received occupancy, and that the variance is minimal (0.5 metres of additional driveway width), staff have drafted a recommended motion to allow the variance. The applicant has noted in their letter of intent that they hope to use the suite to provide long-term housing in the future. If the suite were converted to a secondary suite, they would still require an additional parking spot, so allowing this variance

at this time would allow them to pursue a change of use in the future without needing additional Council approval.

The applicant has included a detailed letter of intent, including indicating that their most highly desired outcome would be for Council to waive the parking requirement. They have a row of mature laurels beside the edge of the existing driveway which are very attractive to the streetscape and which would have to be removed to accommodate the additional vehicle. They have included a letter of support signed by neighbouring residents. This option has been included for Council's consideration, although Staff have recommended that a permanent solution to locate the parking on site be approved instead.

ANALYSIS OF OPTIONS:

| | | | |
|---|---|-------------------------|---|
| A | Authorize the issuance of Development Variance Permit 23-08. | <u>Pros</u> | <ul style="list-style-type: none"> Applicant can proceed with their business license application. Resolves issue for applicant caught by the bylaw update. Ensures adequate parking for the B&B use is provided on site. Establishes a third parking spot on site, allowing conversion to a long-term suite in the future |
| | | <u>Cons</u> | <ul style="list-style-type: none"> Loss of some attractive streetscaping vegetation and privacy screening. Allows three vehicle parking spots to be located along the street frontage, backing out into the road. |
| | | <u>Implications</u> | <ul style="list-style-type: none"> The applicant will be able to apply for a business license, and begin operation of their B&B. |
| B | Direct Staff to give public notice for Development Variance Permit 23-08 to eliminate on-site parking requirements for a B&B use on the subject property. | <u>Pros</u> | <ul style="list-style-type: none"> Allows the applicant to achieve their most desired outcome. Retains current streetscape foliage. |
| | | <u>Cons</u> | <ul style="list-style-type: none"> Could be perceived as setting precedent that Council is in favour of waiving parking requirements for short-term rentals in residential neighbourhoods. Relies on District right of way to provide adequate parking for guests. Does not ensure that applicant minimizes impact of their secondary uses on the neighbourhood. |
| | | <u>Implications</u> | <ul style="list-style-type: none"> As this option would present a significantly altered variance, Staff would give notice again with the updated variance as per LGA requirements, and return this matter to Council at a future date. |
| | | <u>Suggested Motion</u> | THAT Council direct staff to give public notice for development variance permit 23-08 to eliminate parking requirements for a proposed B&B use at 1333 Pine Rd. |

| | | | |
|---|-------------------------|-------------------------|---|
| C | Reject the application. | <u>Pros</u> | <ul style="list-style-type: none"> Maintains current zoning bylaw requirements. |
| | | <u>Cons</u> | <ul style="list-style-type: none"> Applicant would not be able to use the suite which they have already constructed for any rental purpose. |
| | | <u>Implications</u> | <ul style="list-style-type: none"> Staff would have to work with applicant to determine next steps re: their building permit and business license. |
| | | <u>Suggested Motion</u> | No motion is required. |

POLICY OR LEGISLATIVE IMPACTS:

This application is consistent with the *Official Community Plan* and the *Local Government Act*.

NEXT STEPS:

- If Council approves DVP 23-08, Staff will register the variance on LTSA and the applicants will be able to apply for a business license once they have widened their driveway sufficiently.

Respectfully submitted: Monica Whitney-Brown, Planning Assistant
 Bruce Greig, Director of Community Planning
 Duane Lawrence, CAO



Variance Application Package

Pg 1-2

- Statement of Intent

Pg 3-7

- Site Plan
- Title Search
- Development Application
- Signatures of Support

Prepared by Andi Wardrop
LOT 20, BLOCK 2, SECTION 21
CLAYOQUOT DISTRICT, PLAN 14416

Prepared for District of Ucluelet
Box 999, 200 Main Street
Ucluelet, BC V0R 3A0
Phone: 250-726-7744

Summary: The following is a Development Variance Permit for a property located at 1333 Pine Road to address the parking requirements. According to the zoning bylaws, three parking spaces are needed, but the driveway width limitation of 7 meters poses a challenge. We propose two options: an exemption of 0.5 meters to the driveway width or utilizing one public parking spot. Both options have minimal impact on neighbours and the street's aesthetics, however, *option one* would disrupt the community and require the removal of mature vegetation. We are committed to responsible tourism and assure you of our intention to operate in a sustainable manner.

Variance Application

JUNE 15, 2023

OWNER(S): ANDREA WARDROP & TIMOTHY WARDROP
LOT 20, BLOCK 2, SECTION 21
CLAYOQUOT DISTRICT, PLAN 14416

Subject: Request for Development Variance Permit - Parking Requirement

Dear Ucluelet Municipal Planning Department,

I hope this correspondence finds you well. I am writing to formally request a Development Variance Permit to address the parking requirement for my property located at 1333 Pine Road.

The purpose of this letter is to outline the specific variance needed and provide justification for the request. As per the provided site plan and in accordance with Zoning Bylaw No. 1160, 2013, the property requires a total of three parking spaces. Two parking spots are required for the single-family dwelling, and an additional parking spot is required for each room of the Bed and Breakfast (B&B) establishment. We have recently renovated and gained occupancy for a (1) bedroom suite.

First and foremost, it's important to us that you know our intent is to provide comfortable and affordable accommodations for visitors to the area this summer but the space would be prioritized for locals long-term. We plan to use the space respectfully as the comfort of our neighbours is our top priority.

Option 01: Exemption of 0.5 meters to driveway width limitation.

Upon reviewing the zoning bylaws, we have identified that the primary hurdle to meeting the parking requirements lies in regulation 504.7 of Division 500: Off-Street Parking Requirements. This regulation restricts the permitted width of the driveway to 7 meters at the property line. We acknowledge that if we were to add an additional parking spot as shown in the attached sketch, the combined width of the driveway would exceed the allowable 7 meters.

Given these circumstances, we find it necessary & appropriate to seek a Development Variance Permit from the District Counsel. Our objective is to request an exemption or waiver of the driveway width limitation, enabling us to meet the required parking spaces while also achieving the least amount of impact and disruptions. In this option (01), we seek to vary 0.5 meters to the total allowable driveway width. See Site Plan below for visual reference and options.

Option 02: Use of (1) public parking space

We feel it's important that we mention this would be the preferred variance for us as well as our surrounding neighbours for the reason that it has no impact as all given public parking on Pine Road is already currently used for secondary vehicles and

visitors. A strong consideration in favour of this option is that our property has only (1) one vehicle for the household. We feel it's a benefit that I do not own, nor plan to own, any recreation vehicles, boats, or second personal vehicles which would use up our required single-dwelling parking spaces or may contribute to the overall aesthetics of the street.

In seeking this variance, we are requesting the use of one public parking spot to be used by the homeowner. We recognize the importance of providing adequate parking for our guests, and we are confident this will be achieved with ease. Considering the front scape of the property and the nature of the surrounding area, we believe this option has the least impact on the community or mature plants and shrubs.

Community Considerations

We understand the concern around the increase in multi-suites in Ucluelet and the intention has always been that we can provide this suite as long-term housing while retaining privacy in our principal residence as the occupants. I live here permanently, provide local professional services, and wish to be able to stay in this community and continue to contribute to its growth in a sustainable and conscious way.

Considering the minimal impact and benefits associated with the requested variance, we kindly urge your favourable consideration for granting the variance sought at 1333 Pine Road. We are grateful for your attention to this matter and would be happy to provide any further information or clarification if needed, and we look forward to working collaboratively to ensure that our B&B operates in a responsible and sustainable manner.

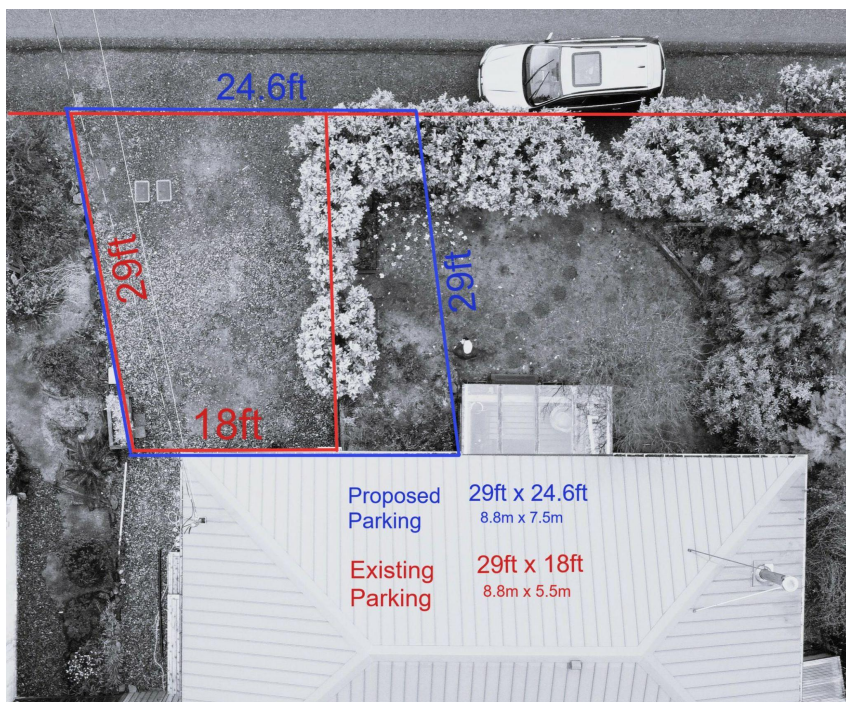
Thank you for your time and consideration.

Sincerely,

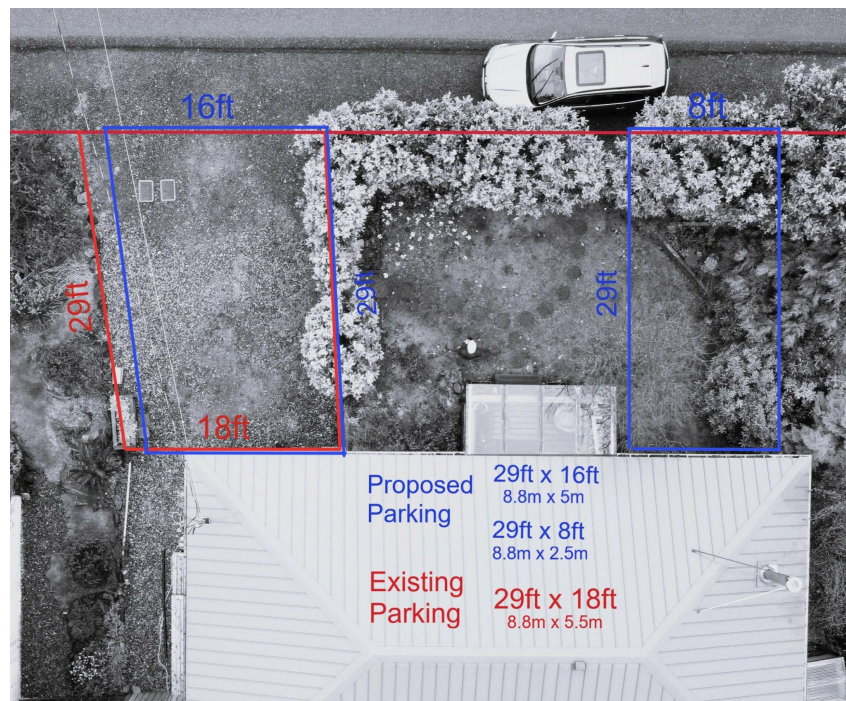
Andi Wardrop
andiwardrop@gmail.com

Supporting Documentation

1. SITE PLAN



PROPOSED PARKING SITE 01



PROPOSED PARKING SITE 02

May 28, 2023

We, residents of Pine Road and surrounding dwellings are in favour of the variance being applied for by Andi Wardrop at 1333 Pine Road. We believe that granting this variance would have no direct impact on the neighbours or the aesthetic of our street, and it can be given without any negative consequences for our community.

Allowing the use of a single public parking spot on the property would be a practical solution that avoids major disruptions to our neighborhood. The alternative, which involves constructing additional parking spaces, would not only result in noise and disruption during excavation but also necessitate the removal of valuable mature trees, shrubs, and rhododendrons. Preserving the existing natural beauty of our street is of utmost importance to us, and we believe that granting the variance is a viable solution that aligns with this objective.

Furthermore, we understand that the intention behind this variance is to provide long-term housing or create a secondary space attached to the home for future in-law living. This additional space would also serve as a welcoming place for parents of our community who come to visit their families in Ucluelet. By supporting this variance, we are fostering a sense of inclusivity and providing a supportive environment for our community members and their loved ones.

Thank you for taking the time to review our concerns and considerations. We trust that you will give this matter the attention it deserves and make a decision that supports the well-being and harmony of our community.

Sincerely,

Chris Woodward Box 13 Ucluelet VOR 3A0
Name & Address

Shirley 1318 Helen
Name & Address

Diane Rudge 1343 Helen
Name & Address

Fernanda Comerlato 1324 Pine Rd VOR 3A0
Name & Address

Jordan Dyck 1349 Pine Rd VOR 3A0
Name & Address

Sandy Lavin 1340 Pine Rd VOR 3A0
Name & Address

Jamie Bone 1356 pine
Name & Address

Hailey Morel 1356 Pine
Name & Address

Tom Fraser 1357 Pine
Name & Address

Harvey Gilles 1325 Pine
Name & Address

Kristen Walters 236 Alder St.
Name & Address

Chris Hyde 236 Alder St.
Name & Address



DEVELOPMENT VARIANCE PERMIT DVP 23-08

Pursuant to section 498 of the Local Government Act, R.S.B.C 2015 C.1 as amended:

1. This Development Variance Permit is issued to:

Andrea Wardrop, 1333 Pine Road, Ucluelet, BC

2. This Development Variance Permit applies to, and only to, those lands within the District of Ucluelet described below, and the buildings, structures, and other development thereon:

1333 Pine Road, PID 002374846, Lot 20, Block 2, Plan VIP14416, Section 21, Clayoquot Land District

3. The work authorized by this Permit may only be carried out in compliance with the requirements of the District of Ucluelet Zoning Bylaw No. 1160, 2013, except where specifically varied or supplemented by this development variance permit and in compliance with all federal, provincial, and municipal statutes, regulations, and bylaws.

4. This permit authorizes the following variance:

- a. one driveway with a maximum driveway crossing width at the property line of 7.5 metres whereas section 504.7 of District of Ucluelet Zoning Bylaw No. 1160, 2013 requires a maximum width of 7 metres.

5. Notice shall be filed in the Land Title Office under Section 503 of the Local Government Act, and upon such filing, the terms of this Permit or any amendment hereto shall be binding upon all persons who acquire an interest in the land affected by this Permit.

6. The above variance is granted for the current and proposed structures and use of the land for the purposes of a single-family dwelling and single bed and breakfast unit. Should the buildings be later removed or destroyed, this Development Variance Permit shall cease to apply and the zoning requirements in effect at the time shall apply.

7. This Permit is NOT a Building Permit.

AUTHORIZING RESOLUTION passed by the Municipal Council on the _____ of _____, 2023.

IN WITNESS WHEREOF this Development Variance Permit is hereby executed and issued by the Municipality the _____ of _____, 2023.

ISSUED the _____ day of _____, 2023.



Bruce Greig - Director of Community Planning



REPORT TO COUNCIL

Council Meeting: June 27, 2023

500 Matterson Drive, Ucluelet, BC V0R 3A0

FROM: JOHN TOWGOOD, MUNICIPAL PLANNER

FILE NO: 3060-20 DP22-03 / 3090-20 DVP23-05

SUBJECT: DVP FOR RESIDENTIAL ADDITION AT 272 MAIN STREET

REPORT NO: 23- 92

ATTACHMENT(S): APPENDIX A – DVP23-05
 APPENDIX B – DP22-03
 APPENDIX C - APPLICATION

RECOMMENDATION(S):

THAT Council, in regard to the proposed residential addition at 272 Main Street (Lot 1, District Lot 282, Clayoquot District, Plan 12287);

- a. authorize the Director of Community Planning to execute and issue Development Variance Permit 23-05 to allow a three-storey residential addition; and,
- b. authorize the Director of Community Planning to execute and issue Development Permit 22-03 for Form and Character of the proposed three-storey residential addition.

BACKGROUND:

This Development Permit (DP) and Development Variance Permit (DVP) application for a proposed 3-storey residential dwelling addition to an existing mixed commercial/residential building located at 272 Main Street was first reviewed by Council at its August 16, 2022, regular meeting. The application was defeated at that meeting, with the discussion focused on concerns related to not providing parking and increasing density. The applicant subsequently revised their application and submitted it on February 21, 2023 (Appendix "C"). Staff brought forward the revised application to Council at its June 8, 2023, meeting, and Council then directed staff to give notice for Development Variance Permit 23-05.

DISCUSSION:

Development Variance Permit 23-05

The variances requested are as follows:

1. A residential use located on the ground floor, whereas section 103 of the *Ucluelet Zoning Bylaw No. 1160, 2013* requires the proposed residential uses be located exclusively at the second storey or higher.

In the August 16, 2022 application the proposed addition to the mixed-use building was required to provide 2 parking spaces (serving both residential and commercial uses). The property's single permitted residential use is Mixed Commercial/Residential defined as follows:

"Mixed Commercial/Residential" means the use of a building containing a combination of:

(a) commercial uses that are otherwise permitted within the Zone on any storey, including commercial tourist accommodation uses not on the first storey, and

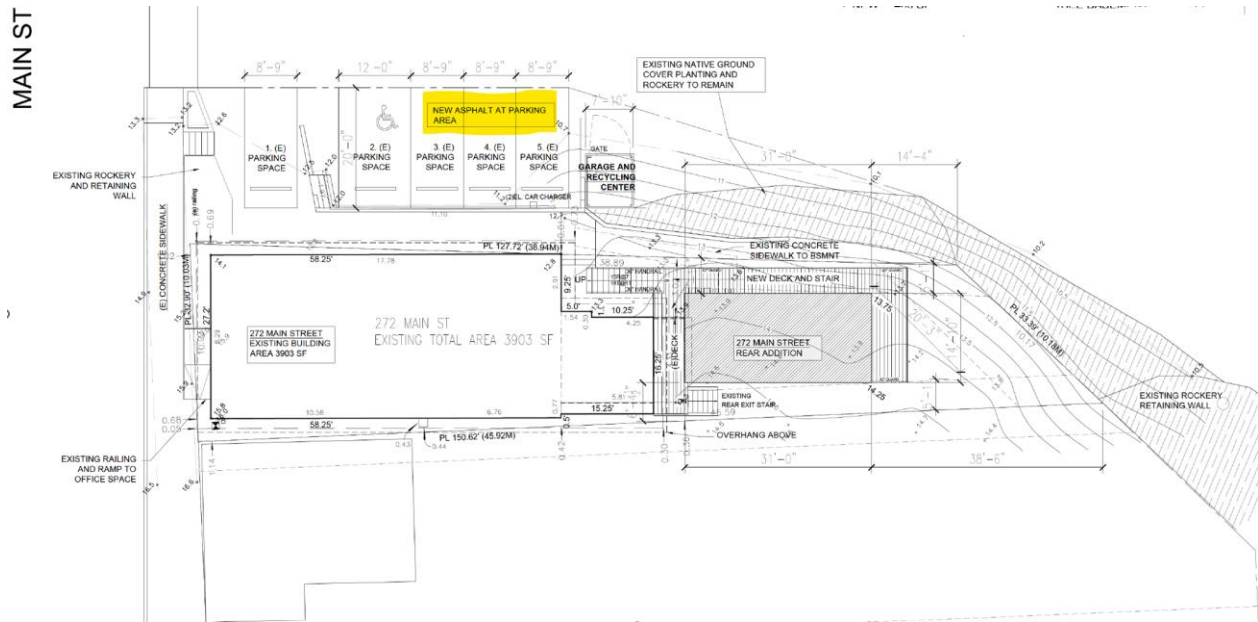
(b) residential uses located exclusively at the second storey or higher, unless otherwise specified in a particular Zone;

In the previous application to allow the new residential use, the lowest level of the building was understood by staff to include commercial use, therefore the residential use was considered consistent with the existing Mixed Commercial/Residential regulations.

After reviewing the proposed addition in more detail, and with further discussions with the applicant, staff conclude the ground floor building area should have been considered as part of the residence. This application of the bylaw requires a variance to locate the residential portion of the mixed use on the ground floor. A consequence of this is that there is no additional parking requirement generated by expanded commercial uses; the residential addition would require one new parking space per section 506.1 of the zoning bylaw.

2. Pay for 100% (1 space) of required parking, whereas section 505.1 of the Ucluelet Zoning Bylaw No. 1160, 2013, allows that up to 50% of required off street parking may be paid for by cash-in-lieu.

The Ucluelet Zoning Bylaw No. 1160, 2013 allows an owner or occupier of a lot in the Village Square to pay cash-in-lieu in the amount of \$8,000 per space for up to 50% of the required off-street parking spaces. In this case, the applicant is only required to provide one parking space for the proposed addition. It is of course impractical for them to provide half a parking space, so the applicant is seeking to vary this regulation to be permitted to provide cash-in-lieu for 100% of their required parking (1 spot). They will also be conducting some new paving where the existing on-street perpendicular parking is located (Fig. 2).



(Figure 2 - Current Application)

3. A minimum exterior side yard setback of 0.22m from the lot line abutting Helen Road, whereas section CS-1.6.1 (1) (d) of the Ucluelet Zoning Bylaw No. 1160, 2013 requires 1.5m;

The Applicant is requesting to locate the deck and deck post to within .22m of the lot line abutting Helen Road which is considered the exterior side yard of the subject property. The deck and post are located quite high above the public realm and the variance should have minimal impact to the streetscape. There may be building code implication in locating a structure so close to a property line and it is the applicant's responsibility to understand and mitigate those impacts at the building permit stage.

Development Permit 22-03

This landmark building has housed many different uses over the years such as the "Brooks" and "Barry's" pharmacies, the "Main Spot" general store", and the "Buenas Olas" restaurant to name a few. The building currently holds the "Gypsy Drifter" shop and the Island Health office on the second floor.

The subject property is positioned in the heart of the Village Square; the property is very narrow and slopes steeply up from the Helen Road frontage. The existing building has not been required to supply or create onsite parking or loading. From the information available, the existing building should be considered lawful non-conforming with regard to its existing parking, loading and setbacks.



Figure 1 – Subject Property

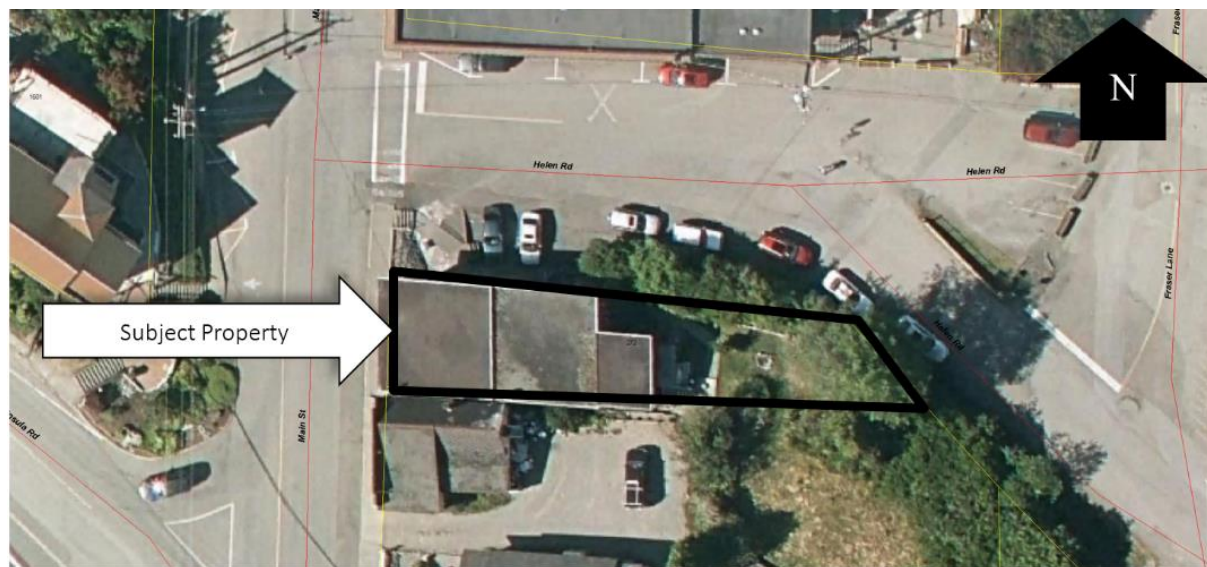


Figure 2 – Existing site Orthographic Photo



Figure 3 – Existing site streetscape (Google Street View)

The applicant is proposing the following improvements and additions to the subject property:

- The addition of a three-storey residential unit which is connected to the rear of the existing building.

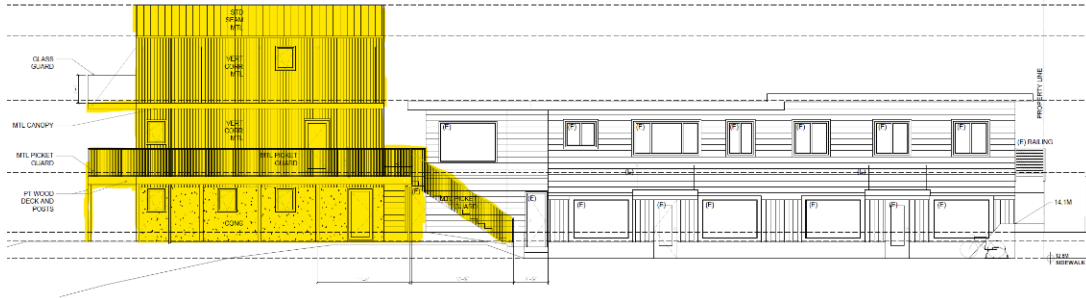


Figure 4 – Helen Frontage

- There is limited frontage improvements proposed with those improvements primarily being new asphalt in the parking area. It should be noted that the improvements will need to be detailed and submitted to the District for approval prior to construction. Note the parking in the plan shown below does not match the latest road design of the area.

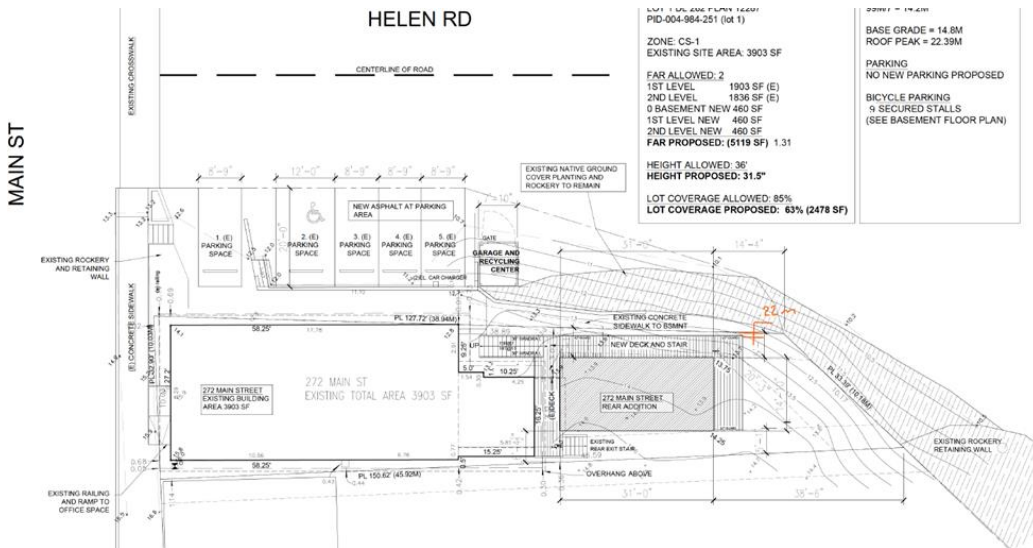


Figure 5 - Landscaping

Development Permit Area I (Village Square)

The subject property falls within the Official Community Plan’s “Development Permit Area I (Village Square)”. This Development Permit Area (DPA I) is established for the following purposes:

- Revitalizing an area in which commercial, multi-family and mixed uses are permitted; and,

- establishing objectives for the form and character of development in the resort region.

Revitalizing an area in which commercial, multi-family and mixed uses are permitted

The objectives which justify this designation include assisting in the revitalization of the Village Square and enhancing and creating form and character that befits the community's core area. The proposed enhancement of the form and character of the subject property and the added residential unit to the Village Square, are supportable revitalization components.

Establishing objectives for the form and character of development in the resort region

DP guidelines are broken down into general guidelines applying to all Form and Character Development Permit Areas and specific DP guidelines that apply to specific DP areas. Key general form and character guidelines for this application are as follows:

F1. Building design, layout, finish and colour should be of a high quality that reflects traditional (e.g., fishing village) or contemporary West Coast architectural styles;

F2. Larger development should be broken up into smaller components. The image of any new larger building should be as a grouping of smaller pieces. Break up building massing by articulated building faces, stepping back whole or partial upper floors, and landscaping to soften the building appearance and present a human-scale presence at the pedestrian level;

F3. Building frontage design (any building elevation facing a public street) and associated public realm enhancement must create an attractive pedestrian environment. Considerations include:

- *Easily identifiable building entrances;*
- *Narrow commercial storefronts; and*
- *Concentrating signage at pedestrian eye level.*

F8. The extensive use of blank walls, regardless of the material used, must be avoided. The visual impact of blank walls should be softened by using one or more of the following:

- *Architectural details and/or articulated façade;*
- *Graphic or artistic illustration;*
- *Placement of doors and/or windows; and*
- *Public seating and/or planters integrated into the façade.*

F11. The following exterior materials are encouraged:

- *Wooden posts and beams with visible fastenings;*
- *Wood siding, planks, board-and-batten, shakes or shingles;*

- *Corrugated or standing-seam sheet metal;*
- *Weathering steel (e.g., Core-ten), aluminum, galvanized, zinc, copper or other non-reflective architectural metal elements,*
- *Finished concrete;*
- *Cementitious composite siding (e.g., Hardi-plank) when detailed to avoid large areas of flat panels; and, ☐ Limited use of brick or local stone.*

F12. *As part of the building vernacular, not only of Ucluelet but the BC coast in general, sloped roofs are indicative of the climate and weather of the region. Sloped roofs with an angle no less than 30 degrees (7:12 pitch) are strongly encouraged. Exceptions may be considered for flat or curved roofs for significant sites and landmark buildings displaying exceptional architectural design;*

F22. *Landscape planting schemes must provide definition and clarity within the public realm. Plant material should be used to:*

- *Define the edges of outdoor space such as a café seating area;*
- *Signify a particular spot such as an entrance or gateway;*
- *Highlight pedestrian corridors;*
- *Delineate private and semi-private space from public space;*
- *Beautify a streetscape; and,*
- *Soften the transition of adjacent land uses.*

Key specific Village Square Development Permit Area (DPA I) form and character guidelines for this application are as follows:

F.I.1. *Maintaining views of the harbour from Peninsula Road and Main Street is critical. The height of new buildings in DPA I must be carefully considered, and the building mass designed to avoid blocking views of the water from the public streets.*

F.I.2. *Assessed on a site-by-site basis, general views to the harbour are to be maintained along the shoreline and include those depicted in Figure DPA 1.1 and from the north side of Peninsula Road. This may be done through considerations in building massing and height in key locations;*



Figure 6 - OCP DPA I.1 Important Views - Inlet.

F.1.5. Properties fronting Peninsula Road and Main Street must be designed to create an eclectic, inviting and pedestrian-friendly streetscape by carefully considering scale, massing and character;

F.1.7. Some variation in the location of the building frontage relative to neighbouring buildings is encouraged, which will preserve the sense of informality and allow for the creation of useful outdoor areas facing the street.

This proposal fully utilizes all available land area of the subject property. The applicant has followed the DP guidelines by breaking the building mass into a smaller component to the rear of the existing building rather than increasing the height of the larger existing building: this maintains a reasonable amount of inlet views from the public realm above. The building form is a simple box, with a low slope gable roof with no overhang, and unique window sizes and placement forming a

contemporary modern twist to a traditional fishing village form. The applicant is proposing an exterior materials theme consisting of:

- Corrugated metal siding.
- Cedar accents.
- Exposed concrete on the ground floor.
- Metal guard rails.
- Metal standing seam roofing.
- Cable roof supports.

The materials are consistent with the DP guidelines.

Dumpster and walkway encroachments

The applicant has shown a garbage and recycling enclosure in the district road right-of-way (**Figure 8**). Historically garbage containers has been situated in this location as the site does not have an obvious flat space accessible from Helen Road (see image in **Figure 8**). The existing sidewalk around the proposed building is also in the District road right-of-way. To allow this infrastructure to be built and privately used, the applicant will require a license of occupation (blue area below). A license of occupation for a private use on public lands must have a fair and equitable return for land used. In another instance where a license of occupation was considered for parking, the District and that landowner agreed to an annual rate of \$800 per space with a license term of 10 years. Since the proposed garbage structure will displace half a parallel parking space, an annual term of \$400 per year with a 10-year initial term would be an appropriate fee for the license of occupation.

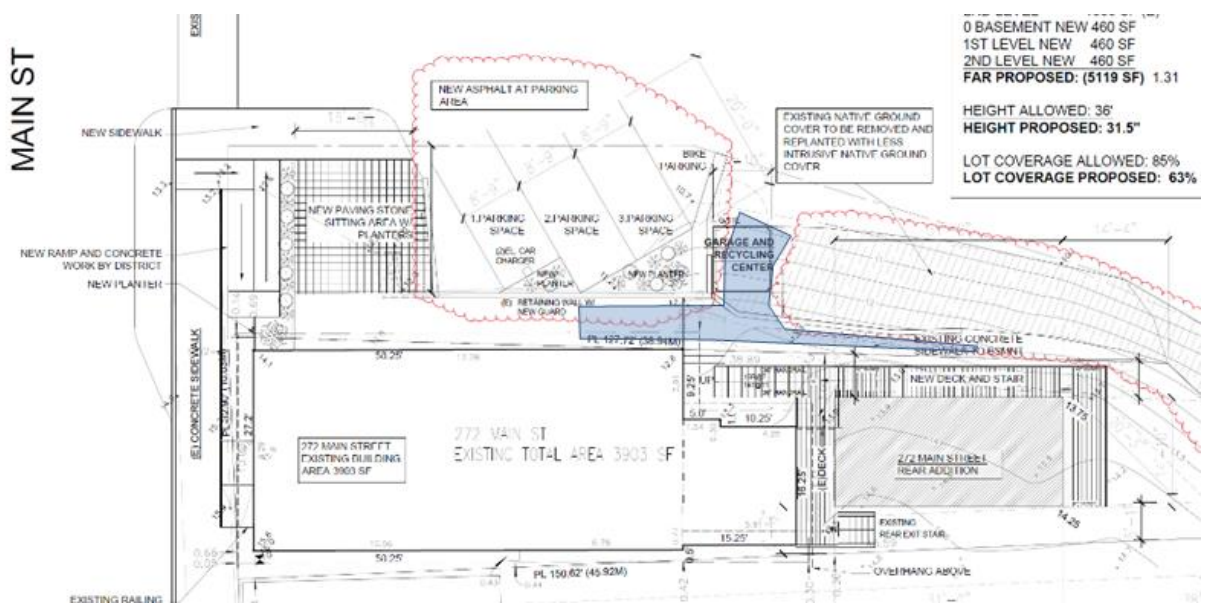




Figure 8 – License of occupation area

SERVICING

There is general service capacity fronting the property with the service connection being reviewed in detail at the building permit stage.

FIRE SERVICES

The proposed building is accessible from two sides and has two fire hydrants within 50m. A more detailed analysis of fire protection for the building will be done at the building permit stage.



Figure 9 – Fire hydrant location

ANALYSIS OF OPTIONS:

While it is not ideal to create a residence within the Village Square without on-site parking, the zoning bylaw does permit a cash-in-lieu equivalency. It is also important to consider that smaller residential units such as what is being proposed are a needed housing form in the community.

| | | | |
|----------|---|--------------------------------|---|
| A | Approve DVP23-05 and DP22-03 | <u>Pros</u> | <ul style="list-style-type: none"> Allows the applicant to move their plans forward and creates one smaller residential unit in the community. |
| | | <u>Cons</u> | <ul style="list-style-type: none"> Creates a use that does not have onsite parking |
| | | <u>Implications</u> | <ul style="list-style-type: none"> Staff time will be spent processing the application. |
| B | Reject the application the application | <u>Pros</u> | <ul style="list-style-type: none"> Would not impact on-street parking in the area. |
| | | <u>Cons</u> | <ul style="list-style-type: none"> The residence proposed would not be built. |
| | | <u>Implications</u> | <ul style="list-style-type: none"> Would send a clear message to the applicant that further development of this property without on-site parking is not supported by Council |
| | | <u>Suggested Motion</u> | <ul style="list-style-type: none"> No motion necessary |
| C | Provide alternative direction to the applicant of changes necessary to further consider the application | <u>Pros</u> | <ul style="list-style-type: none"> Gives the applicant clear direction on how to proceed with their application |
| | | <u>Cons</u> | <ul style="list-style-type: none"> The application is delayed |
| | | <u>Implications</u> | <ul style="list-style-type: none"> The Applicant would need to reconsider their application Staff time required to direct applicant on next steps |
| | | <u>Suggested Motion</u> | THAT Council defer consideration of this application until [provide alternative direction here] |

POLICY OR LEGISLATIVE IMPACTS:

This application complies with the *Official Community Plan* bylaw and the *Local Government Act*.

NEXT STEPS:

If the application is approved by Council:

- Staff will register the DP and DVP with LTSA.
- The applicant will be able to apply for a building permit.

Respectfully submitted: John Towgood, Municipal Planner
 Bruce Greig, Director of Planning
 Duane Lawrence, Chief Administrative Officer

DLP Architecture inc. Architecture ~ BEC

#202 460 Nanaimo St - Vancouver BC – V5L4W3 - T: 778-889-6849 www.dlpdesigns.com

Feb 9, 2023

272 MAIN ST – PASSIVE HOUSE ADDITION

ATTN: DIRECTOR OF PLANNING AND COUNCIL

Please accept for review the attached Development Permit drawings for a residential addition to the existing commercial building at 272 main St. Currently, the building contains 2 commercial tenants and 1 residential caretakers suite.

The design proposed is a basement plus 2 level residential addition at the rear of the current building and connected at the existing crawlspace storage room.

Each level of the addition will be approximately 460sf adding to the existing building area of 3739sf for a total of 5119sf or 1.31 FAR. This is below the permitted density of 2.0 FAR.

The addition will have a height of 31.5', below the allowable 35ft max.

The building is within all required setbacks and below the allowable site coverage of 0.85.

This design proposes to enhance the town core by adding density and a high quality contemporary building that will be visible from the waterfront and aquarium promenade. The addition will be certified to the international passive house standard and produce almost its entire required energy.

We see this beautification of an existing building in the town core as a proposal in keeping with the current plan to improve the Village Square also in line with the pending Village Green Revitalization.

The design is evocative of west coast cannery buildings of the past with corrugated metal siding and mid slope vaulted gable roofs and simple forms.

We are proposing 9 secure bike stalls fully within the basement space in lieu of one of the 2 parking stalls required by the addition of a single residential unit. For the second parking stall we are proposing a payment in lieu. There is no possibility to feasibly add parking on this small site considering the scope of the addition and site conditions.

We are also seeking a dedicated location for garbage and recycling at mid-property on Helen Rd

List of Variances requested:


1. Side-yard setback projection at north deck of new addition.

Sincerely,
D. Lucio Picciano Architect AIBC CPHD

ARCHITECTURE
dip
ARCHITECTURE

UNIT A - 318 E 28th Ave
Vancouver, BC V6R 1W2

PROJECT:
**272 MAIN ST
REAR ADDITION**



2023-04-14

PROJECT ADDRESS:
272 MAIN STREET
VICTORIA BC

OWNER:
DLP DESIGNS INC
3302 ADAMAS ST
VANCOUVER BC
V6K 2P5

| MARK | DATE | DESCRIPTION |
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| REVISIONS | | |
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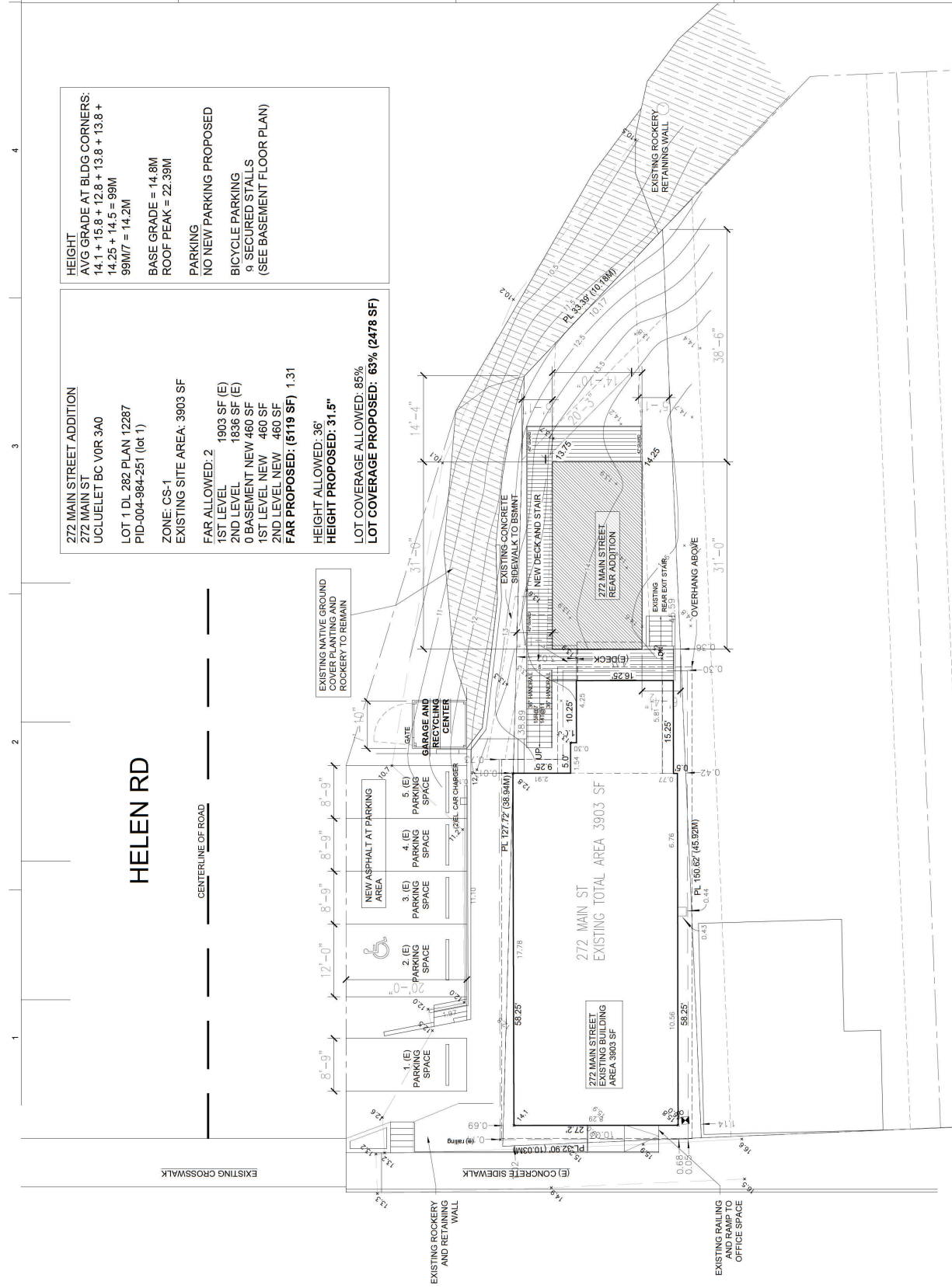
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PLOT DATE: **APRIL 13 2022**

PROJECT NO.: **07-04**
DRAWN BY: [Signature]
CHECKED BY: [Signature]
PRINCIPAL IN CHARGE: **Laura Proctor**
OWNER APPROVAL: [Signature]

SHEET TITLE
SITE PLAN

SHEET NO.
A1.0

DATE: APRIL 2022 DP SUBMISSION
MARK DATE DESCRIPTION



272 MAIN STREET ADDITION
272 MAIN ST
UCLUELET BC V0R 3A0

LOT 1 DL 282 PLAN 12287
PID-004-984-251 (lot 1)

ZONE: CS-1
EXISTING SITE AREA: 3903 SF

FAR ALLOWED: 2
1ST LEVEL 1903 SF (E)
2ND LEVEL 1836 SF (E)
0 BASEMENT NEW 460 SF
1ST LEVEL NEW 460 SF
2ND LEVEL NEW 460 SF
FAR PROPOSED: (5119 SF) 1.31

HEIGHT ALLOWED: 36'
HEIGHT PROPOSED: 31.5'

LOT COVERAGE ALLOWED: 85%
LOT COVERAGE PROPOSED: 63% (2478 SF)

HEIGHT
AVG GRADE AT BLDG CORNERS:
14.1 + 15.8 + 12.8 + 13.8 + 13.8 +
14.25 + 14.5 = 99M
99M/7 = 14.2M

BASE GRADE = 14.8M
ROOF PEAK = 22.39M

PARKING
NO NEW PARKING PROPOSED

BICYCLE PARKING
9 SECURED STALLS
(SEE BASEMENT FLOOR PLAN)

1 SITE PLAN
1/8" = 1'-0"

ARCHITECTURE
dip
ARCHITECTURE

UNIT A - 318 E 26th Ave
Vancouver - BC - V6R 1W2

PROJECT:
**272 MAIN ST
REAR ADDITION**



PROJECT ADDRESS:
272 MAIN STREET
VICTORIA BC

OWNER:
DLP DESIGNS INC
3332 ADAMAS ST
VANCOUVER BC
V6K 2P5

| MARK | DATE | DESCRIPTION |
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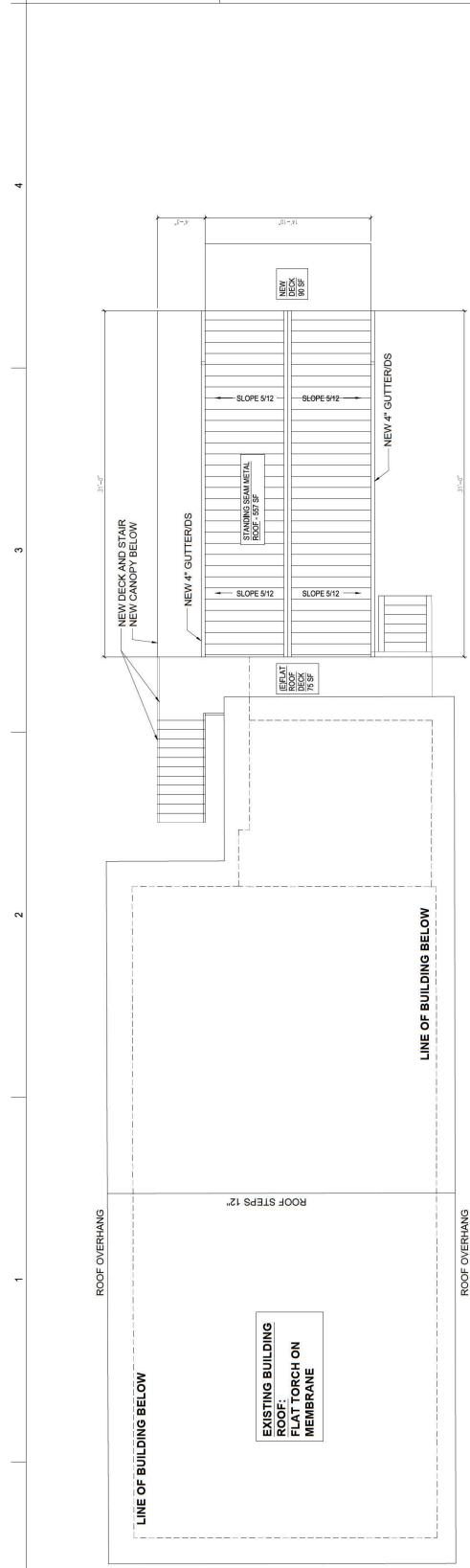
REVISIONS

A APRIL 2022 DP SUBMISSION
MARK DATE DESCRIPTION
ISSUE INFORMATION
PLOT DATE: APRIL 13 2022

PROJECT NO.: **07-04**
DRAWN BY: **AS**
CHECKED BY: **AS**
PRINCIPAL IN CHARGE: **Laura Poirier**
OWNER APPROVAL:

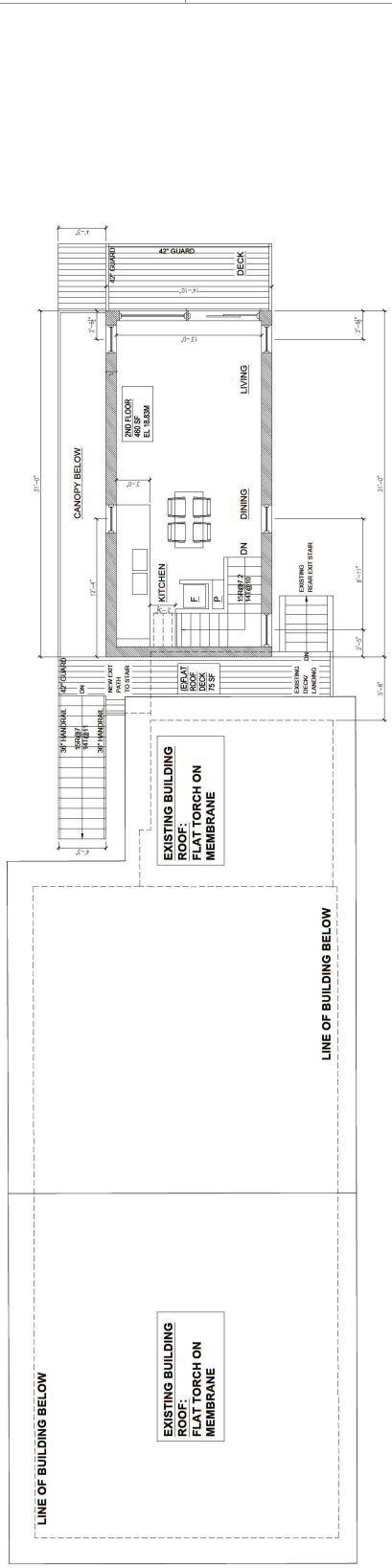
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ROOF & 2ND FLOOR PLAN
SHEET NO.

A2.3



2B ROOF PLAN - EXISTING
1/4" = 1'-0"

2 ROOF PLAN - NEW ADDITION
1/4" = 1'-0"



1B ROOF PLAN - EXISTING
1/4" = 1'-0"

1 2ND FLOOR PLAN - NEW ADDITION
1/4" = 1'-0"

PROJECT:
**272 MAIN ST
REAR ADDITION**

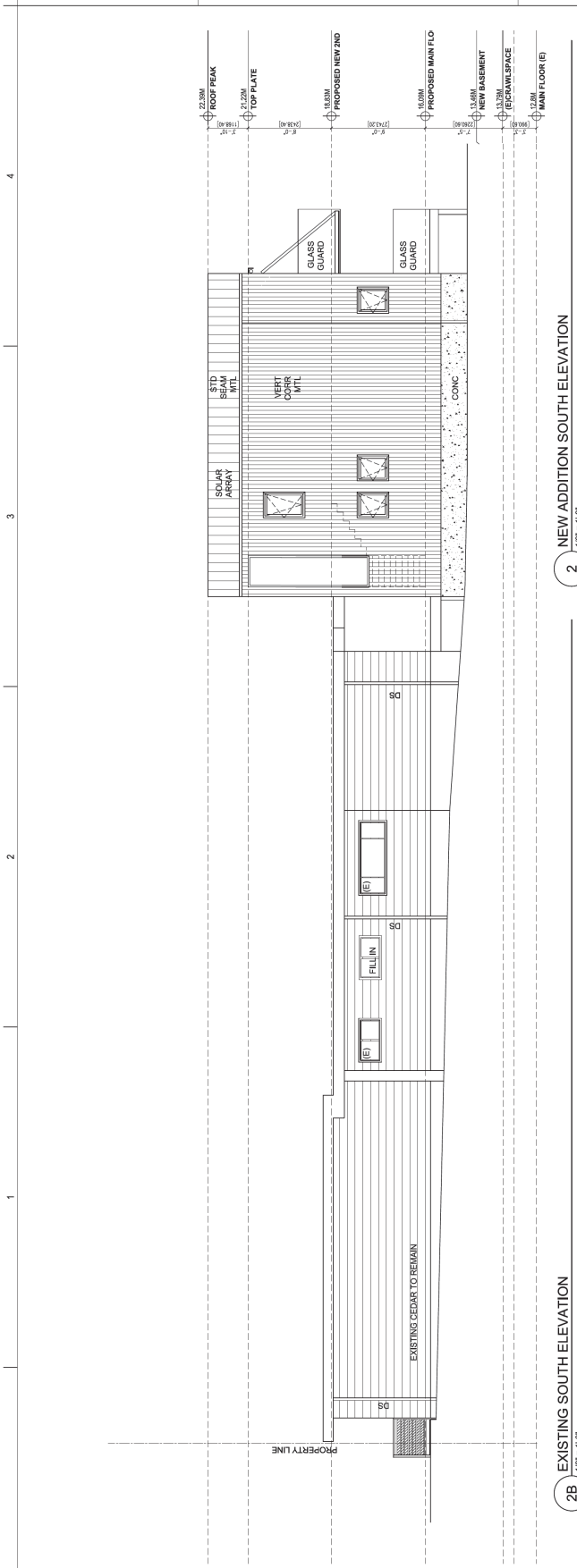
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272 MAIN STREET
VUJUELET BC

OWNER:
DESIGNS INC
332 MAIN ST
VANCOUVER BC
V6K 2P3

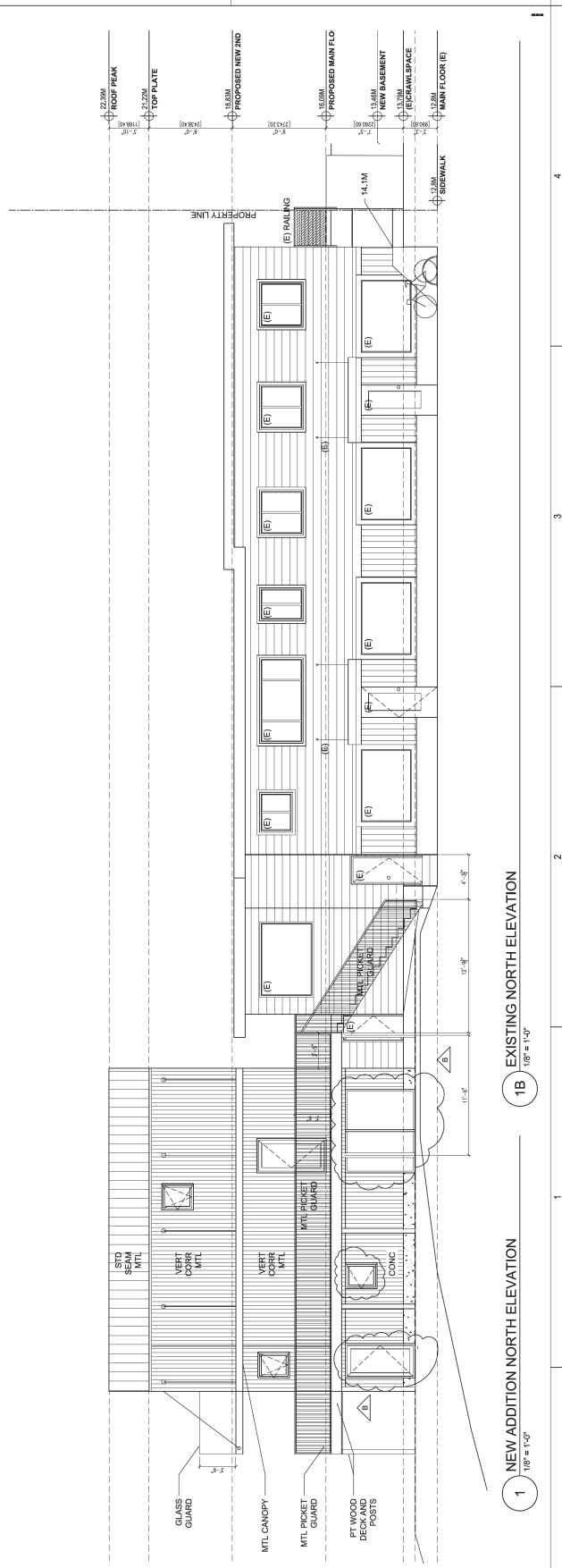
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| B | FEB 9 2022 | DIP SUBMISSION |
| A | APRIL 2022 | DIP SUBMISSION |
| MARK | DATE | DESCRIPTION |
| ISSUE INFORMATION | | |
| PROJECT NO.: | 07-04 | |
| ISSUED BY: | | |
| CHECKED BY: | | |
| PRINCIPAL IN CHARGE: | Leah Pickstone | |
| OWNER APPROVAL: | | |
| SHEET TITLE: | | |

| MARK | DATE | DESCRIPTION |
|-----------|------|-------------|
| REVISIONS | | |
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2B EXISTING SOUTH ELEVATION
1/8" = 1'-0"



1 NEW ADDITION NORTH ELEVATION
1/8" = 1'-0"

1B EXISTING NORTH ELEVATION
1/8" = 1'-0"

ARCHITECTURE
dip
ARCHITECTURE

UNIT A - 236 E 28th Ave
Vancouver - BC V6R 1Y2

PROJECT:
**272 MAIN ST
REAR ADDITION**

PROJECT ADDRESS:
272 MAIN STREET
VLCUELE1BC

OWNER:
DESIGNS INC
322 MAIN ST
VANCOUVER BC
V6K 2P3

| MARK | DATE | DESCRIPTION |
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REVISIONS

| MARK | DATE | DESCRIPTION |
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| B | FEB 9 2022 | DWP SUBMISSION |
| A | APRIL 2022 | DP SUBMISSION |

ISSUE INFORMATION
PROJECT DATE: FEB 9 2022

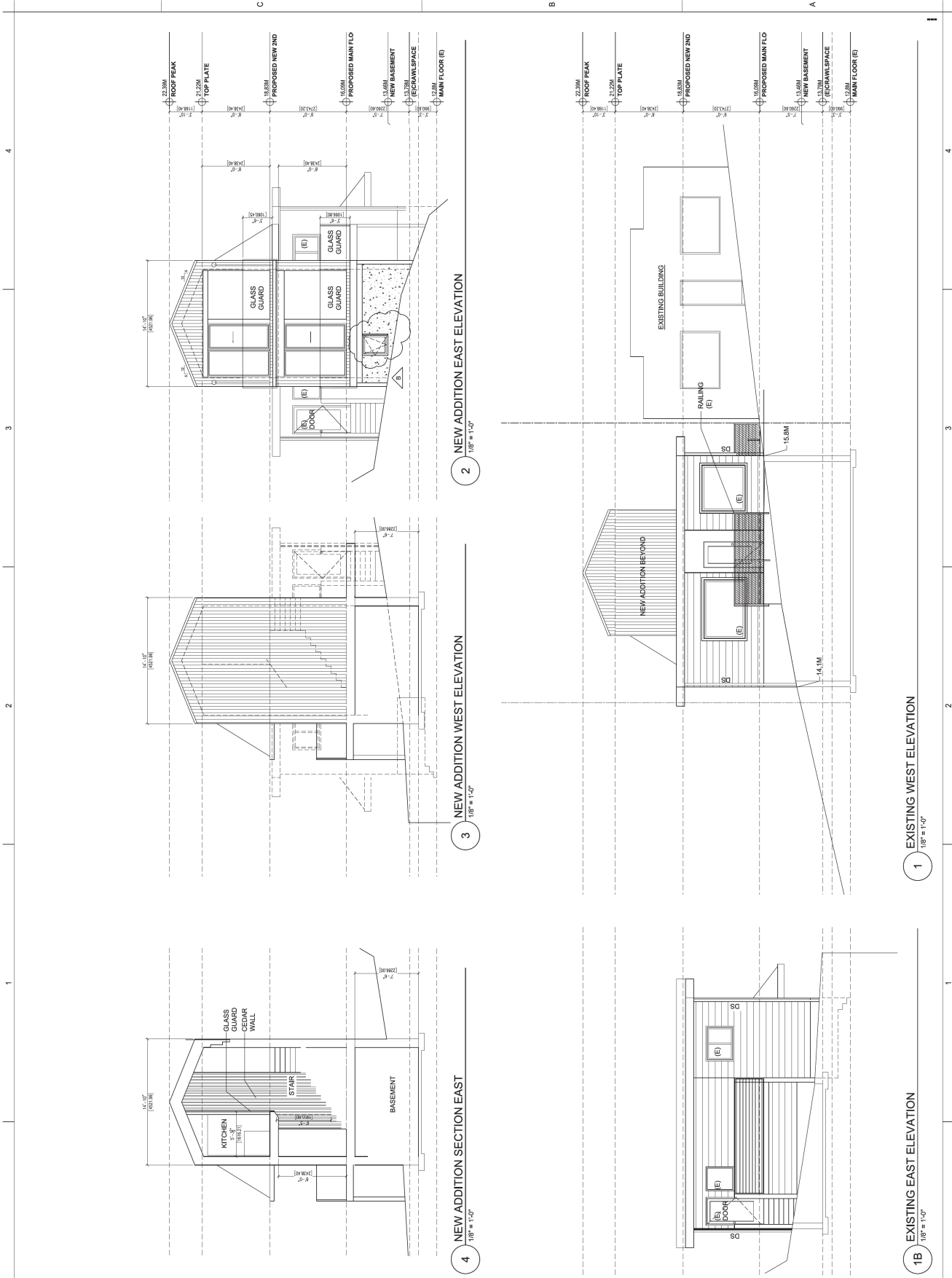
PROJECT NO.: 07-04
DRAWN BY:
CHECKED BY:
PRINCIPAL IN CHARGE: Leah Platane

OWNER APPROVAL:

SHEET TITLE
**SECTIONS/
ELEVATIONS**

SHEET NO.

A3.1



4
3
2
1

18" = 1'-0"

NEW ADDITION SECTION EAST

3 18" = 1'-0"

NEW ADDITION WEST ELEVATION

2 18" = 1'-0"

NEW ADDITION EAST ELEVATION

1 18" = 1'-0"

EXISTING WEST ELEVATION

1B 18" = 1'-0"

EXISTING EAST ELEVATION

4

ARCHITECTURE

DVP for Residential Addition at 272 Main Street John Towgood, Municipal ...

ARCHITECTURE
dip
ARCHITECTURE

UNIT # - 216E 520th Ave
Vancouver - BC - V6R 1W2

PROJECT:
**272 MAIN ST
REAR ADDITION**

PROJECT ADDRESS:
**272 MAIN STREET
VANCOUVER BC**

OWNER:
**DLP DESIGNS INC
3327 ADAMING ST
VANCOUVER BC
V6K 2P2**

WORK DATE DESCRIPTION
REVISIONS

FEB 9 2023 DVP SUBMISSION
APRIL 2023 DP SUBMISSION
MAY 2023 DP SUBMISSION
ISSUE INFORMATION
PLOT DATE: FEB 9 2023

PROJECT NO. **07-04**

CHECKED BY: **MB**
DRAWN BY: **MB**
PRINCIPAL IN CHARGE: **Luca Pichino**

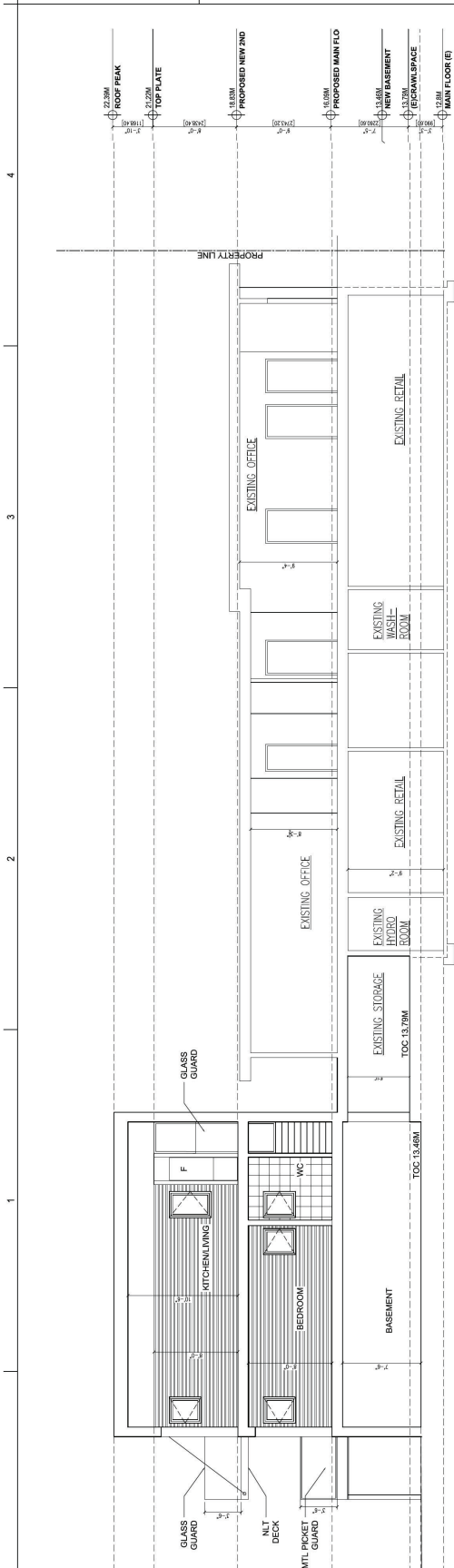
OWNER APPROVAL:

SHEET TITLE

**RENDERINGS/
SECTIONS**

A4.0

SHEET NO.



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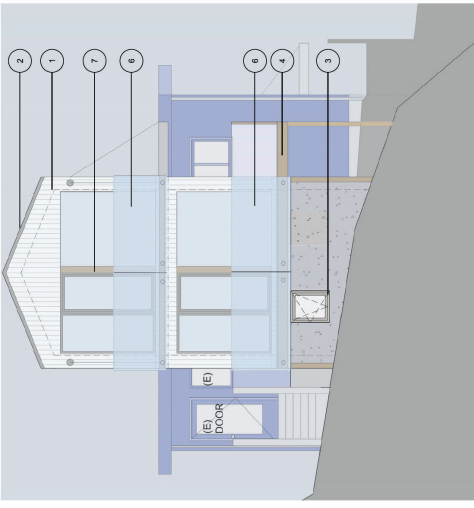
2 NEW ADDITION SOUTH SECTION
1/8" = 1'-0"



**MATERIAL SCHEDULE
SEE TAGS ON ELEVATIONS**

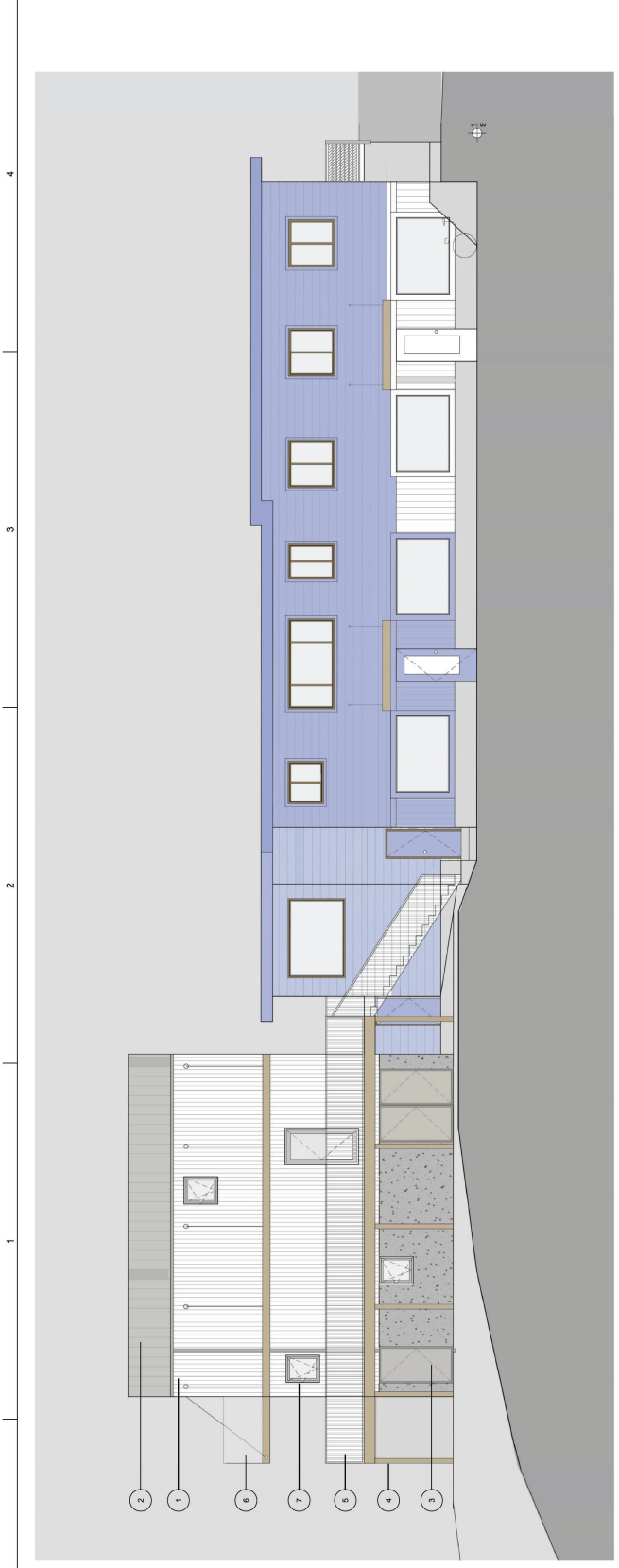
- 1** 12" WHITE METAL CORRUGATED
- 2** 12" GREY METAL STANDING SEAM
- 3** EXPOSED BOARD FORM CONCRETE
- 4** TREATED WOOD
- 5** GALV METAL
- 6** CLEAR GLASS
- 7** AL WINDOW FRAME

0 MATERIALS
1/8" = 1'-0"

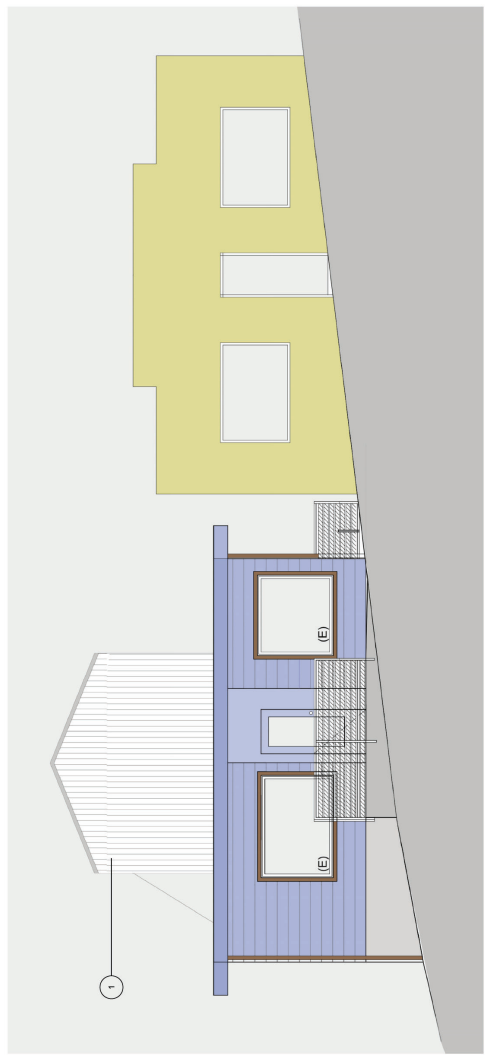


1 NEW ADDITION EAST ELEVATION
1/8" = 1'-0"

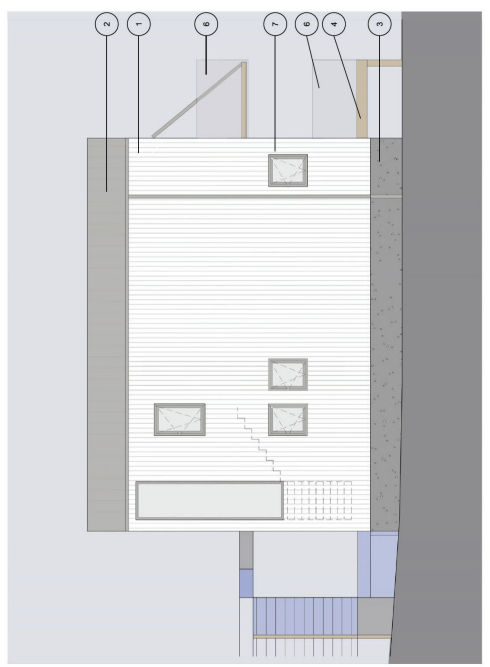
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|--|--|---|---|------------------------------------|---|--|--|---------------------------|
| ARCHITECTURE dip ARCHITECTURE <small>UNIT A • 216 E 20th Ave Vancouver, BC • V6R 1W2</small> | PROJECT: 272 MAIN ST REAR ADDITION | PROJECT ADDRESS: 272 MAIN STREET VANCOUVER BC | OWNER: DLP DESIGNS INC 3322 ADAMING ST VANCOUVER BC V6R 2P2 | WORK DATE DESCRIPTION REVISIONS | B FEB 9 2023 DVP SUBMISSION A APRIL 2023 DVP SUBMISSION NAME DATE DESCRIPTION ISSUE INFORMATION PLOT DATE: FEB 9 2023 | PROJECT NO.: 07-04 DRAWING NO.: CHECKED BY: dp PRINCIPAL IN CHARGE: Linda Pacheco OWNER APPROVAL: | SHEET TITLE RENDERINGS/ MATERIAL | SHEET NO.: A4.1 |
|--|--|---|---|------------------------------------|---|--|--|---------------------------|



3 HELEN RD STREET ELEVATION WITH NEW ADDITION - NORTH ELEVATION
1/8" = 1'-0"



1 EXISTING WEST STREET ELEVATION WITH ADDITION IN BACKGROUND
1/8" = 1'-0"



2 NEW ADDITION SOUTH ELEVATION
1/8" = 1'-0"



DEVELOPMENT VARIANCE PERMIT DVP23-05

Pursuant to section 498 of the Local Government Act, R.S.B.C 2015 C.1 as amended:

1. This Development Variance Permit is issued to:

DLP Designs Inc, No. BC741780, 3139 Wellington Drive, Vancouver, BC, V5R 4X7

2. This Development Variance Permit applies to, and only to, those lands within the District of Ucluelet described below, and the buildings, structures, and other development thereon:

272 Main Street; Parcel Identifier 004-984-251, Lot 1, Plan 12287, District Lot 282, Clayoquot Land District

The work authorized by this Permit may only be carried out in compliance with the requirements of the District of Ucluelet Zoning Bylaw No. 1160, 2013, except where specifically varied or supplemented by this development variance permit and in compliance with all federal, provincial, and municipal statutes, regulations, and bylaws.

3. This permit authorizes the following variance specific to the plans and elevations attached as Schedule "A":

- a. A residential use located on the ground floor, whereas section 103-Definitions, of the Ucluelet Zoning Bylaw No. 1160, 2013 requires the proposed residential uses be located exclusively at the second storey or higher.
- b. Pay for 100% (1 space) of required parking, whereas section 506.1 of the Ucluelet Zoning Bylaw No. 1160, 2013, allows that only up to 50% of required off street parking may be paid for by cash-in-lieu.
- c. A minimum exterior side yard setback of 0.22m from the lot line abutting Helen Road, whereas section CS-1.6.1 (1) (d) of the Ucluelet Zoning Bylaw No. 1160, 2013 requires 1.5m.

4. *The above variance is granted for the proposed structures and use of the land as shown on Schedule A. Should the buildings be later removed or destroyed, this Development Variance Permit shall cease to apply and the zoning requirements in effect at the time shall apply.*

5. Notice shall be filed in the Land Title Office under Section 503 of the Local Government Act, and upon such filing, the terms of this Permit or any amendment hereto shall be binding upon all persons who acquire an interest in the land affected by this Permit.

6. This Permit is NOT a Building Permit.

AUTHORIZING RESOLUTION passed by the Municipal Council on the day of , 2023 .

ISSUED the day of , 2023.

Bruce Greig
Director of Community Planning

DEVELOPMENT PERMIT DP22-03

Pursuant to section 488 of the Local Government Act, R.S.B.C 2015 C.1 as amended:

1. This Development Permit is issued to:

DLP Designs Inc, No. BC741780, 3139 Wellington Drive, Vancouver, BC, V5R 4X7

2. This Development Permit applies to, and only to, those lands within the District of Ucluelet described below, and the buildings, structures, and other development thereon:

272 Main Street; Parcel Identifier 004-984-251, Lot 1, Plan 12287, District Lot 282, Clayoquot Land District

3. This Permit authorizes the following improvements on the Lands:
 - a) Addition of a two storey residential unit to an existing mixed use building.
 - b) Associated landscape and hardscape work including but not limited to:
 - i. Paving of the parking area directly fronting Helen Road. Note that any works carried out in the District of Ucluelet road dedication must be reviewed and approved by the District Staff and receive a work in the District of Ucluelet Road permit.
4. These improvements apply only in the locations indicated, and otherwise in accordance with, the drawings and specifications attached to this Permit as Schedule A.
5. This permit will be subject to:
 - a) Deposit of 125% of the value of the proposed landscape works and street improvements.
 - b) The receipt of final plans and details for waste/recycle screening and bear proofing.
 - c) A signed license of occupation agreement.
6. The work authorized by this Permit may only be carried out in compliance with all federal, provincial, and municipal statutes, regulations, and bylaws. The owner is responsible for ensuring that the timing of the work and any required permits or notifications by other agencies are obtained as required to comply with all applicable regulations.
7. Notice shall be filed in the Land Title Office under Section 503 of the Local Government Act, and upon such filing, the terms of this Permit or any amendment hereto shall be binding upon all persons who acquire an interest in the land affected by this Permit.
8. The owner shall substantially commence the development within 24 months of the date of issuance, after which this permit shall be null and void.
9. This Permit is NOT a Building Permit.
10. Schedule A attached hereto shall form part of this Permit. The Municipality's Chief Administrative Officer is hereby authorized to approve minor amendments to the plans provided that such amendments are consistent with the overall character and intent of the original plans.



AUTHORIZING RESOLUTION passed by the Municipal Council on the day of , 2023.

ISSUED the day of , 2023.

Bruce Greig
Director of Community Planning



Schedule A

(See Appendix A)



REPORT TO COUNCIL

Council Meeting: June 27th, 2023

500 Matterson Drive, Ucluelet, BC V0R 3A0

FROM: BRUCE GREIG, DIRECTOR OF COMMUNITY PLANNING **FILE No:** 3090-20 DVP23-03

SUBJECT: DVP FOR SUBDIVISION SERVICING – **REPORT No:** 23-97
 LOT 16 MARINE DRIVE / 449 MATTERSON DRIVE

ATTACHMENT(s): APPENDIX A - APPLICATION WITH PRELIMINARY SERVICING DRAWINGS
 APPENDIX B - DRAFT DEVELOPMENT VARIANCE PERMIT 23-03
 APPENDIX C - KOERS ENGINEERING REVIEW OF PRELIMINARY SERVICING PLANS MARCH 20, 2023
 APPENDIX D - LAND USE CONCEPT PLAN PRESENTED AT REZONING
 APPENDIX E - S.219 COVENANT CA9460685
 APPENDIX F - EXCERPTS FROM *SUBDIVISION CONTROL BYLAW No. 521, 1989*.

NOTE: THIS REPORT ORIGINALLY APPEARED ON THE MARCH 28, 2023, REGULAR COUNCIL AGENDA AS REPORT NUMBER 23-41; DISCUSSION WAS DEFERRED AT THAT MEETING, AT THE APPLICANTS' REQUEST. NOTIFICATION HAS BEEN RE-ISSUED, FOR THIS MEETING.

RECOMMENDATION(s):

1. **THAT** Council authorize the Director of Community Planning to execute and issue Development Variance Permit DVP23-03 for the road dedication and servicing of the proposed subdivision on the property at Lot 16 District Lot 281 Clayoquot District Plan VIP76214 Except part in plans VIP80735, VIP83067 and VIP86140 ("**Lot 16**"), subject to meeting the conditions listed in the permit prior to final subdivision approval; and,
2. **THAT** Council indicate acceptance that the proposed 5,381m² park land dedication shown on the proposed "Lot Layout Concept drawing by Williamson and Associates Professional Surveyors - revision 1" dated June 29, 2022, for the proposed subdivision of Lot 16 as fulfilling the developer's requirements under section 510 of the *Local Government Act* and as proposed by the developer and agreed under covenant CA9460685.

BACKGROUND:

Lot 16 was rezoned in November of 2021. As part of the rezoning, a restrictive covenant was registered on the title of Lot 16 to ensure that the subdivision and development of the land would unfold as proposed (for reference see **Appendix "E"**).

From the outset of the rezoning process for Lot 16, the proposal was to create a new neighbourhood of compact residential lots and multifamily parcels along new internal roads between Marine Drive and Victoria Road. The internal road dedication (or “highway”: the legal term for the public strip of land between private lot lines within which the road surface, boulevards, sidewalks and services are typically located) has from the outset been proposed to be narrower than the 15 to 20m standard width. The rezoning established the use and density for the new neighbourhood, based on an overall concept plan – with detailed design to follow (see **Appendix “D”**). The detailed design stage was represented as the time to resolve the details of on-street parking, drainage, boulevard landscaping, etc.

The owner subsequently applied for a Development Permit for the apartment building on proposed Lot 1. Council authorized DP22-18 at its February 9, 2023, regular meeting.

The owners have also now applied for preliminary review of the subdivision, and for a Development Variance Permit (DVP) to modify the subdivision servicing standards for the new internal roads and services - as was expected during the rezoning process. The application materials are found in **Appendix “A”** including detailed preliminary engineering drawings for the roads and services. A traffic assessment is included, concluding that the development would result in 81 trips at the peak hour, split between Marine, Matterson and Victoria – and that the new intersections at Marine Drive and Victoria Road would be safe if stop-controlled on the development side. An environmental report is also included assessing the downstream impact of stormwater runoff. Some additional work will be necessary on the detailed stormwater design to confirm no negative environmental impacts result from the new development.

A decision on the DVP is a precursor to completion of the initial review of the subdivision and issuance of a Preliminary Layout Assessment (PLA) by the Approving Officer.

DISCUSSION:

Subdivision servicing:

This is the opportunity for Council to confirm that conditions A through N in DVP23-03 - as listed in Appendix “B” - meet the community expectation for the character and function of the new roads and infrastructure in the Lot 16 development. The proposed subdivision layout and servicing has been reviewed by Koers and Associates Engineering on behalf of the District (see **Appendix “C”**), and by municipal staff.

Subdivision servicing standards are established in *Village of Ucluelet Subdivision Control Bylaw No. 521, 1989*. The bylaw is admittedly out of date and due for replacement. Bylaw No. 521 includes fairly standard urban and suburban engineering details for the time. Development in Ucluelet over the last twenty years has incorporated greener and less urban features; vegetated bioswales and French drains rather than curb, gutter and piped stormwater collection are features that many residents would recognize from Marine Drive, Rainforest Drive and other recent subdivisions – none of which were developed following the “standards” found in Bylaw No. 521. A detached asphalt pathway rather than an attached concrete sidewalk lends a less urban character to these recent residential neighbourhoods; fitting with the character of the town. Detached pathways are shown in the preliminary plans submitted in Appendix A. Staff note the road shoulders, ditches

and French drains are not shown to be vegetated at this time; rather the details on Newcastle drawing 04 in Appendix A show gravel roadside ditches, shoulders and drains throughout.

Section 5 of the Koers memo found in **Appendix “C”** compares the variety of right-of-way and paved road width on half a dozen recent subdivisions, for comparison.

The proposed road design would include 11 on-street public parking spaces. All homes developed on the individual lots would be required to provide on-site parking according to the requirements of the zoning bylaw.

Staff consider that varying the standards is fully supportable, on the condition that the developer ensure that the details of the civil works within the subdivision protect the environment and create the function and character to serve the community over the long term. Adequate space needs to be set aside for stormwater management, installation and maintenance of public services and private utilities. The Land Use Concept plan presented to Council and the community during the rezoning shows green boulevards and street trees throughout; adequate space needs to be provided for those features. Narrower roads go hand in hand with providing a connected network of pedestrian and bicycle infrastructure to create safe and healthy neighbourhoods that are less reliant on automobile trips.

The draft DVP found in **Appendix “B”** includes a number of conditions for the developer’s design and engineering team to address during the subdivision process. If these conditions are met, the varied subdivision servicing “standards” would provide a balance of appropriate servicing within the new public road rights-of-way.

Park Land:

Areas of proposed park land dedication are shown on the proposed lot layout in **Appendix “A”**, consistent with what was shown and offered by the developer during the rezoning process. A resolution of Council accepting the proposed amount and location of park land is a necessary part of the subdivision process.

Note that the cost of trails or fencing installed by the developer within the park areas can be credited against the amount of park land DCC’s payable for the development. New play equipment would be another matter and was discussed but was not a condition of approval of the rezoning. If play equipment were desired in this location it would need to be budgeted separately by the District, either now or in the future. Note that the developer offered a cash amenity contribution of \$1,000 per lot or multi-family unit, which could be used for any priority determined by Council. If in the future parks infrastructure upgrades are considered for this funding, staff recommend that the wider context and all community priorities be considered beyond this location (e.g. facilities surrounding the UCC, Big Beach, etc.).

ANALYSIS OF OPTIONS:

The DVP for subdivision servicing would allow the subdivision review to proceed for Lot 16. The recommended conditions in the draft DVP would result in leaner, greener infrastructure consistent with the goals and policies of the Ucluelet OCP. **This is the opportunity for Council to confirm that**

conditions A through N in DVP23-03 - as listed in Appendix “B” - meet the community expectation for the character and function of the new roads and infrastructure in the Lot 16 development.

| | | | |
|---|---|-------------------------|--|
| A | Authorize the issuance of Development Variance Permit 23-03, subject to conditions. | <u>Pros</u> | <ul style="list-style-type: none"> Applicant could proceed with advancing the Lot 16 subdivision and housing development. |
| | | <u>Cons</u> | <ul style="list-style-type: none"> Unknown |
| | | <u>Implications</u> | <ul style="list-style-type: none"> The Approving Officer could proceed with the subdivision preliminary layout assessment, with clarity on the District requirements for servicing and park land dedication. |
| B | Advise of additional or amended conditions in the Development Variance Permit. | <u>Pros</u> | <ul style="list-style-type: none"> Ensures the design meets Councils and community objectives. |
| | | <u>Cons</u> | <ul style="list-style-type: none"> Undetermined at this time. |
| | | <u>Implications</u> | <ul style="list-style-type: none"> May result in additional staff time to work with the developer and the Municipal Engineers on assessing the implications of such conditions, and follow up reports to Council. |
| | | <u>Suggested Motion</u> | THAT Council, with regard to Development Variance Permit 23-03, authorize issuance of the permit subject to <i>[provide alternative/additional conditions here]</i> |
| C | Reject the application to vary the subdivision servicing standards. | <u>Pros</u> | <ul style="list-style-type: none"> Unknown |
| | | <u>Cons</u> | <ul style="list-style-type: none"> The housing development would be slowed or halted. Development would not proceed in a manner consistent with the goals and policies in the Official Community Plan. |
| | | <u>Implications</u> | <ul style="list-style-type: none"> Changing the lot layout to provide wider areas of highway dedication would impact the size and number of proposed lots – which in turn could put the development in jeopardy of stalling. Staff time would be required to follow-up with the applicant to review and amend the proposal to meet Council requirements. Staff would require direction from Council on how to interpret or amend the Official Community Plan. |
| | | <u>Suggested Motion</u> | THAT Council reject the application for Development Permit 23-03 <i>[noting specific direction that Council considers a re-designed project would need to meet]</i> . |

POLICY OR LEGISLATIVE IMPACTS:

Granting the requested DVP, subject to the conditions recommended by staff, would be more consistent with the following policies adopted in the Official Community Plan bylaw than would strictly adhering to the *Village of Ucluelet Subdivision Control Bylaw No. 521, 1989*:

***Policy 2.84** Incorporate low impact design principles and minimise paved cross-sections in an updated Subdivision and Development Servicing Standards bylaw.*

Policy 2.85 When reviewing development applications consider low-impact street standards, which could include narrower travel lanes, parking bays/pull-outs, low design speeds (tighter radii, steeper curves and some sight line restrictions) and heavily landscaped boulevards.

NEXT STEPS:

If the DVP application is approved, all conditions of the permit will need to be met as the engineering design is refined and approved for construction, prior to final subdivision.

Respectfully submitted: Bruce Greig, Director of Community Planning
 Duane Lawrence, Chief Administrative Officer

1. Application

Michele Buick, Legal Assistant
HEATH LAW LLP
200-1808 Bowen Road
Nanaimo BC V9S 5W4
250-824-2080

File No. 54508-2
 Tel: (250) 753-2202
 Type: Covenant

2. Description of Land

| PID/Plan Number | Legal Description |
|-----------------|---|
| 025-812-823 | LOT 16 DISTRICT LOT 281 CLAYOQUOT DISTRICT PLAN VIP76214 EXCEPT PART IN PLANS VIP80735, VIP83067 AND VIP86140 |

3. Nature of Interest

| Type | Number | Additional Information |
|----------|--------|----------------------------|
| COVENANT | | Section 219 Land Title Act |

4. Terms

Part 2 of this instrument consists of:
(b) Express Charge Terms Annexed as Part 2

5. Transferor(s)

0985470 B.C. LTD., NO.BC0985470

6. Transferee(s)

DISTRICT OF UCLUELET
200 MAIN STREET
UCLUELET BC V0R 3A0

7. Additional or Modified Terms

8. Execution(s)

This instrument creates, assigns, modifies, enlarges, discharges or governs the priority of the interest(s) described in Item 3 and the Transferor(s) and every other signatory agree to be bound by this instrument, and acknowledge(s) receipt of a true copy of the filed standard charge terms, if any.

| Witnessing Officer Signature | Execution Date | Transferor Signature(s) |
|--|---|---|
| <p>_____</p> <p>BRIAN J. SENINI Barrister & Solicitor 200 - 1808 BOWEN ROAD NANAIMO BC V9S 5W4</p> | <div style="border: 1px solid black; padding: 10px; width: fit-content; margin: 0 auto;"> <p>YYYY-MM-DD</p> <p>2021-10-21</p> </div> | <p>0985470 B.C. LTD. By their Authorized Signatory</p> <p>_____</p> <p>LANCE MCNABB</p> |

Officer Certification

Your signature constitutes a representation that you are a solicitor, notary public or other person authorized by the *Evidence Act*, R.S.B.C. 1996, c.124, to take affidavits for use in British Columbia and certifies the matters set out in Part 5 of the *Land Title Act* as they pertain to the execution of this instrument.

| Witnessing Officer Signature | Execution Date | Transferor Signature(s) |
|---|---|--|
| <p>_____</p> <p>JOSEPH ROTENBERG Commissioner for Taking Affidavits for British Columbia 200 MAIN STREET UCLUELET BC V0R 3A0</p> | <div style="border: 1px solid black; padding: 10px; width: fit-content; margin: 0 auto;"> <p>YYYY-MM-DD</p> <p>2021-10-26</p> </div> | <p>DISTRICT OF UCLUELET By their Authorized Signatory</p> <p>_____</p> <p>Name: MAYCO NOEL</p> |

Name: DUANE LAWRENCE

Officer Certification

Your signature constitutes a representation that you are a solicitor, notary public or other person authorized by the *Evidence Act*, R.S.B.C. 1996, c.124, to take affidavits for use in British Columbia and certifies the matters set out in Part 5 of the *Land Title Act* as they pertain to the execution of this instrument.

Electronic Signature

Your electronic signature is a representation that you are a designate authorized to certify this document under section 168.4 of the *Land Title Act*, RSBC 1996 c.250, that you certify this document under section 168.41(4) of the act, and that an execution copy, or a true copy of that execution copy, is in your possession.

Brian James
Senini IAT7J9

Digitally signed by
Brian James Senini IAT7J9
Date: 2021-10-27
09:16:32 -07:00

TERMS OF INSTRUMENT – PART 2

COVENANT (Section 219 *Land Title Act*)

THIS COVENANT dated for reference the 19th day of October, 2021 is

BETWEEN:

0985470 B.C. LTD.
2240 JEFFS ROAD
NANAIMO, BC
V9S 5P7

(the "Grantor")

AND:

DISTRICT OF UCLUELET
Box 999
200 Main Street
Ucluelet BC V0R 3A0

(the "District")

WHEREAS:

- A. The Grantor is the registered owner of land located at Marine Drive and Matterson Drive in Ucluelet, British Columbia and more particularly described as:

LOT 16 DISTRICT LOT 281 CLAYOQUOT DISTRICT PLAN VIP76214 EXCEPT PART
IN PLANS VIP80735, VIP83067 AND VIP86140
PID: 025-812-823

(the "Land");

- B. Section 219 of the *Land Title Act* permits the registration of a covenant of a negative or positive nature in favour of the District, in respect of the use of land or buildings, or the building on land;
- C. The Grantor has applied to the District for a rezoning of the Land to permit residential development of the Land, and in connection with the Grantor's application for rezoning the Grantor has offered grant this Covenant to the District; and

- D. The Grantor wishes to grant this Covenant to the District to confirm the proposed development will be generally in accordance with the plans provided in support of the Grantor's rezoning application, and that it will not subdivide or develop the Land except on the terms and conditions agreed to by the parties and set out in this Covenant.

THIS COVENANT is evidence that in consideration of the payment of TWO DOLLARS (\$2.00) by the District to the Grantor, and other good and valuable consideration (the receipt and sufficiency of which are acknowledged by the parties), the Grantor covenants and agrees with the District, in accordance with section 219 of the *Land Title Act*, as follows:

Definitions

2. In this Agreement:

- (a) "Development Plan" means the plan attached to this agreement as Schedule A;
- (b) "Housing Agreement" means an agreement in the form authorized by the District's Housing Agreement Bylaw No. 1297;
- (c) "Lot A" means the area labelled "Lot A (Apartment Site)" on the Development Plan, and includes a separate legal parcel created by subdivision of the Land and having boundaries generally in accordance with that area;
- (d) "Lot B" means the area labelled "Lot B (Townhouse Site)" on the Development Plan, and includes a separate legal parcel created by subdivision of the Land and having boundaries generally in accordance with that area;
- (e) "Manager" means the Corporate Officer appointed under Section 148 of the Community Charter; and
- (f) a reference to the Land, as defined in recital "A", includes any lot, block, parcel or other area into which the Land may be subdivided.

Restrictions on Subdivision, Use and Development of the Land

3. The Land must not be altered and the Owner must not start the construction of any buildings or structures on the Land unless the Owner has first:
- (a) Dedicated as Park the following areas of the Land:
 - (i) a 10-metre wide corridor immediately adjacent to the eastern boundary of the Land, generally as shown hatched and labeled "10m Greenbelt Park Dedication" on the Development Plan;

- (ii) at least 1,300 square metres on the Western side of the Land, generally as shown hatched and marked "1300 m² park dedication" on the Development Plan, with the final boundaries of the area to be approved by the Manager;
 - (iii) at least 280 square metres for use as a children's play area, the location and configuration of which shall be to the satisfaction of the Manager; and,
- (b) Registered as a charge on the title to the Land a covenant under s. 219 of the *Land Title Act* preserving as greenspace a 10-metre wide area of the Land (the "Covenant Area") immediately adjacent to Marine Drive, the terms of which covenant must ensure retention of existing natural vegetation and, without limiting the requirement to retain vegetation, must prohibit any part of the Covenant Area from being used or developed as a driveway or to provide any other form of vehicle access to the Land.
4. Except to dedicate land as Park under section 2 of this Covenant, the Land must not be subdivided unless:
- (a) the subdivision creates a parcel having boundaries generally in accordance with, and the Housing Agreement is registered as a notice and, if required by the Manager, a charge on title to Lot A, and a covenant prohibiting any further subdivision of or any building on Lot A is registered as a charge on title;
 - (b) before or together with the deposit of a subdivision plan that creates any parcel intended for a single-family dwelling unit, the Owner transfers ownership to the District, in fee simple, of at least one such parcel, and pays \$1,000 to the District for every other such parcel created by the plan;
 - (c) together with the deposit of a subdivision plan that creates any parcel intended for a single-family dwelling unit, the owner registers a covenant on title to every parcel that is not transferred to the District under s. 4(b) of this Agreement:
 - (i) prohibiting the separate sale of those parcels until the Owner of Lot A has received a building permit for the construction of a Rental Apartment Building on Lot A;
 - (ii) prohibiting residential use or occupancy of those parcels until the Owner of Lot A has substantially completed construction of a Rental Apartment Building on Lot A;
 - (d) before or together with the deposit of any subdivision plan that creates a parcel intended for multi-unit residential buildings, the Owner registers a charge on title

to that parcel prohibiting the construction of any such building unless the owner pays \$1,000 to the District for each dwelling unit to be constructed on the parcel; and,

- (e) the subdivision plan dedicates a highway connecting Marine Drive to Victoria Drive, in a location and configuration satisfactory to the Manager in his or her sole discretion, and the Owner constructs a road within that dedicated highway, to the District's standards (unless varied by Development Variance Permit or Development Permit issued by the District).
5. Vehicle access to and from the area of the Land labelled "Lot B (Townhouse Site)" on the Development Plan may only be provided in the location and configuration shown as "Road Connection" on the Development Plan.

Amendments to Development Plan

6. The Grantor may request, and the Manager may, in his or her sole discretion approve, minor deviations from the Development Plan, provided that any such requests or approvals must be made in writing.

Discharge

7. If the District does not adopt the bylaw necessary for the rezoning mentioned in recital C by November 30, 2021, this agreement shall be of not further force and effect and the District shall, at the Grantors request, sign a discharge of this Covenant and return it to the Grantor for registration at the Grantor's expense.
8. The District further agrees that if the Grantor:
- (a) completes the development of the land in accordance with the Development Plan, and in accordance with the terms of this Agreement, including without limitation by the registration of the further covenants and notices required by this agreement; and,
 - (b) delivers to the District a registrable discharge of this Covenant (but no others) from the title to the Land,

the District will execute the discharge, and return the executed discharge to the Grantor, and the Grantor may apply to register it in the Victoria Land Title Office.

Subject to Bylaws

9. This Covenant does not relieve the Grantor in any way from complying with all applicable bylaws of the District or other enactments applicable to the Land.

Inspections

10. The District and any of its officers and employees may enter on the Land at all reasonable times, to inspect the Land for the purpose of ascertaining compliance with this Covenant.

Amendment

11. This Covenant may be altered or amended only by an agreement in writing signed by the parties.

No Public Law Duty

12. Whenever in this Covenant the District is required or entitled to exercise any discretion in the granting of consent or approval, or is entitled to make any determination, take any action or exercise any contractual right or remedy, the District may do so in accordance with the contractual provisions of this Covenant only and will not be bound by any public law duty, whether arising from the principles of procedural fairness or the rules of natural justice or otherwise.

No Obligations on District

13. The rights given to the District by this Covenant are permissive only and nothing in this Covenant:
 - (a) imposes any duty of care or other legal duty of any kind on the District to the Grantor or to anyone else;
 - (b) obliges the District to enforce this Covenant, which is a policy matter within the sole discretion of the District; or
 - (c) obliges the District to perform any act, or to incur any expense for any of the purposes set out in this Covenant.

No Effect on Laws or Powers

14. This Covenant does not,
 - (a) affect or limit the discretion, rights or powers of the District under any enactment or at common law, including in relation to the use or subdivision of the Land;

- (b) affect or limit any law or enactment relating to the use or subdivision of the Land;
or
- (c) relieve the Grantor from complying with any law or enactment, including in relation to the use or subdivision of the Land.

District's Right to Equitable Relief

- 15. The Grantor agree that the District is entitled to obtain an order for specific performance or a prohibitory or mandatory injunction in respect of any breach by the Grantor of this Covenant.

Covenant Runs With the Land

- 16. Every obligation and covenant of the Grantor in this Covenant constitutes both a contractual obligation and a covenant granted under section 219 of the *Land Title Act* in respect of the Land and this Covenant burdens the Land and runs with it and binds the successors in title to the Land. For certainty, unless expressly stated otherwise, the term "Grantor" refers to the current and each future owner of the Land. This Covenant burdens and charges all of the Land and any parcel into which it is subdivided by any means and any parcel into which the Land is consolidated.

Registration

- 17. The Grantor agrees to do everything necessary, at the Grantor's expense, to ensure that this Covenant is registered against title to the Land with priority over all financial charges, liens and encumbrances registered, or the registration of which is pending, at the time of application for registration of this Covenant.

Waiver

- 18. An alleged waiver by the District of any breach of this Covenant by the Grantor is effective only if it is an express waiver in writing of the breach in respect of which the waiver is asserted. A waiver by the District of a breach by the Grantor of this Covenant does not operate as a waiver of any other breach of this Covenant.

Notice

- 19. Any notice to be given pursuant to this Covenant must be in writing and must be delivered personally or sent by prepaid mail. The addresses of the parties for the purpose of notice are the addresses on the first page of this Covenant and in the case of any subsequent owner, the address will be the address shown on the title to the Land in the Land Title Office.

If notice is delivered personally, it may be left at the relevant address in the same manner as ordinary mail is left by Canada Post and is to be deemed given when delivered. If notice is sent by mail, it is to be deemed given 3 days after mailing by deposit at a Canada Post mailing point or office. In the case of any strike or other event causing disruption of ordinary Canada Post operations, a party giving notice for the purposes of this Covenant must do so by delivery as provided in this section.

Either party may at any time give notice in writing to the other of any change of address and from and after the receipt of notice the new address is deemed to be the address of such party for giving notice.

Enurement

20. This Covenant binds the parties to it and their respective corporate successors, heirs, executors, administrators and personal representatives.

Joint and Several

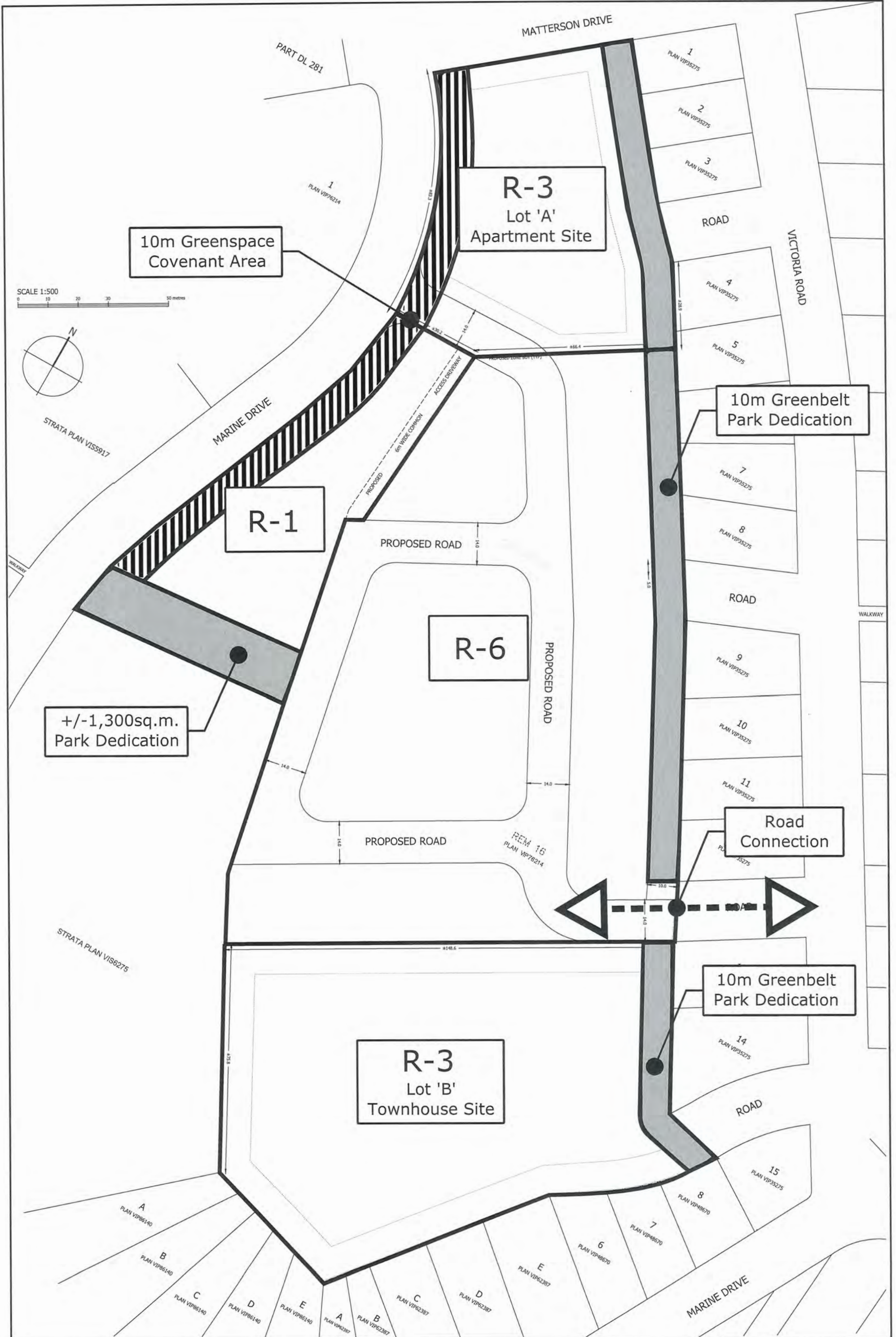
21. If at any time more than one person (as defined in the *Interpretation Act* (British Columbia) owns the Land, each of those persons will be jointly and severally liable for all of the obligations of the Grantor under this Covenant.

Further Acts

22. The Grantor must do everything reasonably necessary to give effect to the intent of this Covenant, including execution of further instruments.

As evidence of their agreement to be bound by the terms of this instrument, the parties hereto have executed the Land Title Office Form C which is attached hereto and forms part of this Covenant.

SCHEDULE A



1. DESIGN

1.1 DESIGN STANDARDS

All roads, lanes, boulevards, sidewalks shall be designed in accordance with the latest edition of the "Manual of Geometric Design Standards for Canadian Roads and Streets" as prepared by the Roads and Transportation Association of Canada or as defined in these specifications.

1.2 STREET GRADES

The minimum longitudinal gutter grade shall not be less than 0.5%. The maximum longitudinal grade for a local street shall not exceed 12%. Minimum transverse pavement slope shall be 2% from centreline to edge of pavement. All other horizontal and vertical alignment shall be in accordance with the Roads and Transportation Association of Canada Standards.

1.3 WIDTH OF RIGHT-OF-WAYS

The width of any right-of-ways shall be adequate to support the roadway, stabilize and drain the backslopes and accommodate all underground utilities. Generally, the width of all roads within the Village shall be:

1.3.1 Major Roads

The right-of-way width of a major road as determined by the Village shall be a minimum of 20 m.

1.3.2 Minor Roads

The right-of-way width for a minor road shall be a minimum of 15 m.

1.3.3 Cul-de-Sacs

The minimum radius for the right of way of a cul-de-sac shall be 15 m.

Road classification will be at the discretion of the Village.

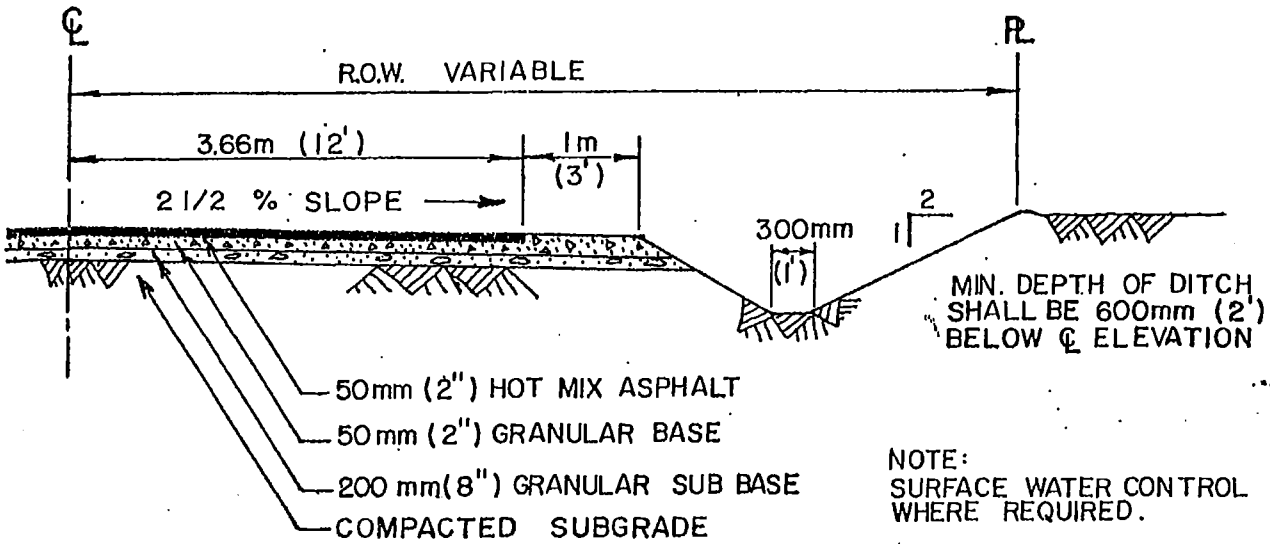
2. CONSTRUCTION OF GRANULAR SUB-BASE AND BASE COURSE

2.1 GENERAL

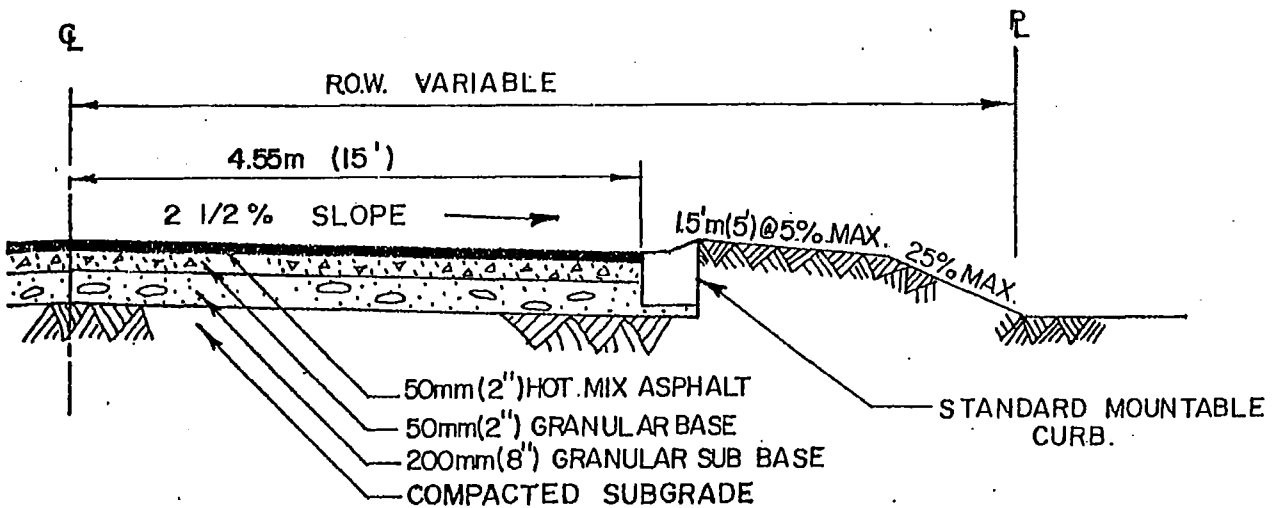
This work shall consist of sub-grade preparation including correction of unstable sub-grade sections supply of gravel or processed aggregates, hauling, placing and compacting the sub-base material, shaping to cross-section and profile all in accordance with these specifications and plans.

No sub-base gravel shall be placed on the sub-grade surface until the latter has been approved by the Village.

...1.



TYPICAL SECTION - RURAL ROAD



TYPICAL SECTION - LOCAL ROAD

CORPORATION of the VILLAGE of UCLUELET

DATE:
FEB. 20, 1989

SCALE:
N. T. S.

DRAWN BY:
L. B.

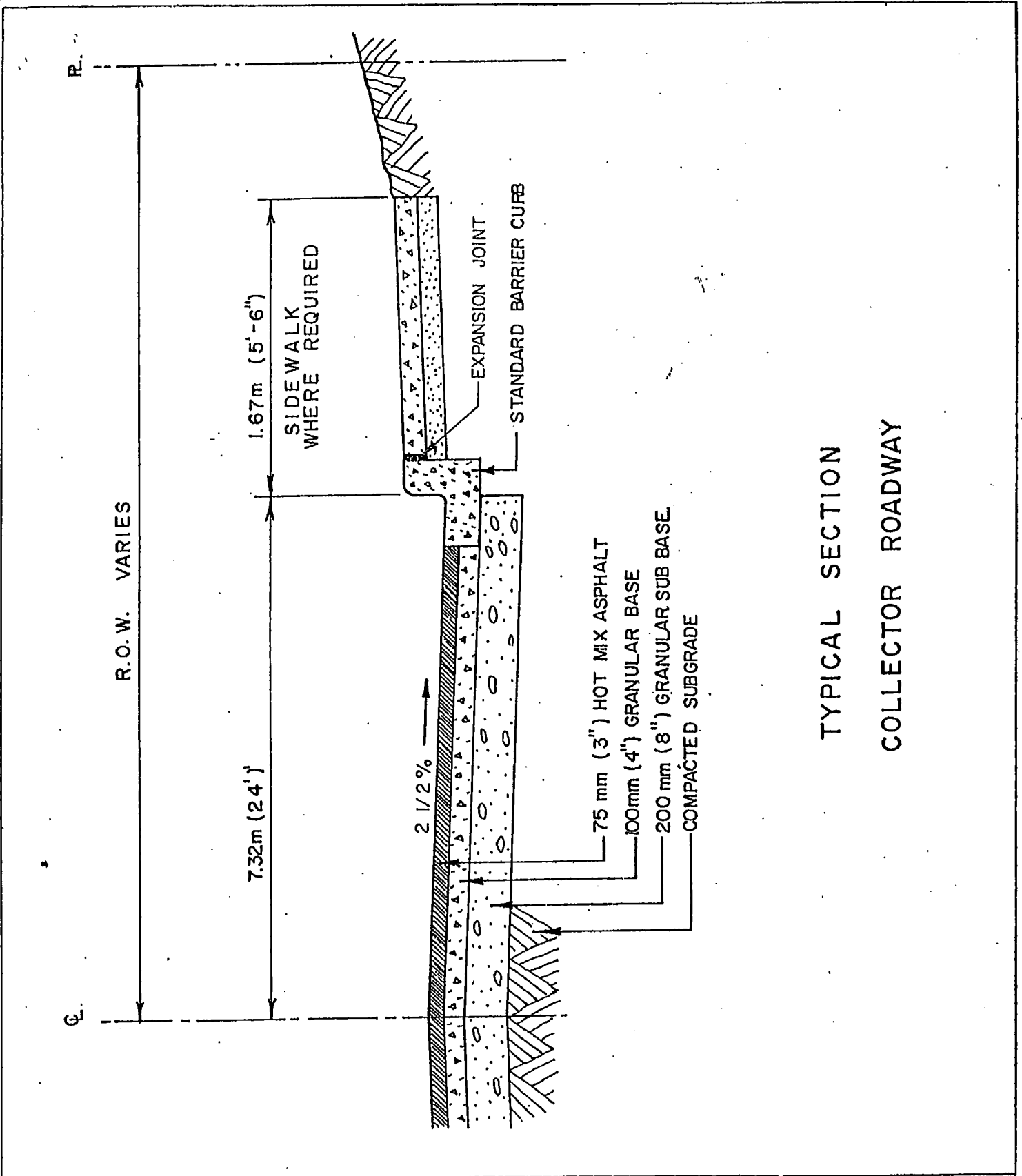
APPROVED BY:

DRAWING NO.

18

TYPICAL ROAD SECTIONS
RURAL ROAD & LOCAL ROAD

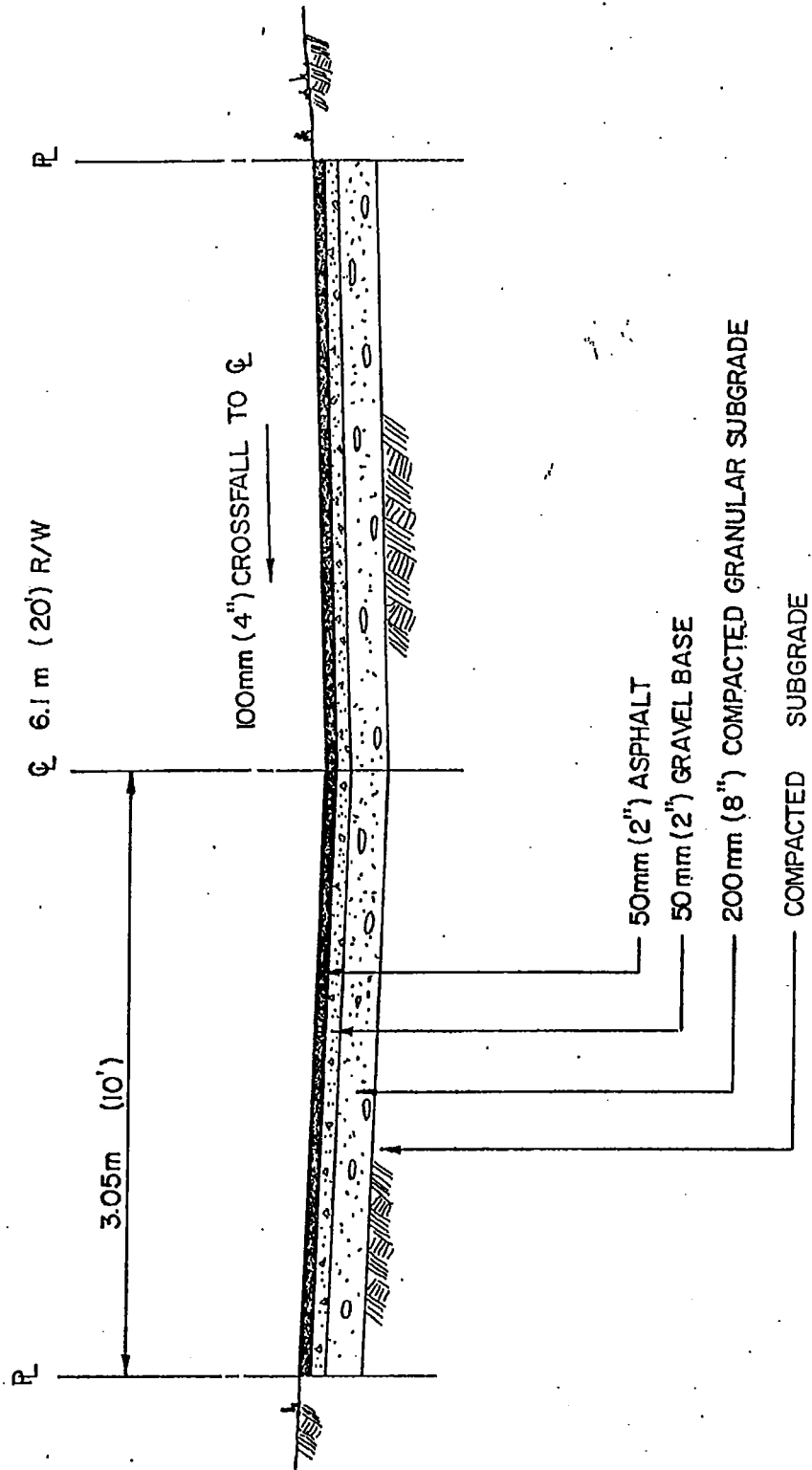
DVP for Subdivision Servicing - Lot 16 Marine Drive 7 449 Matterson Drive...



TYPICAL SECTION
COLLECTOR ROADWAY

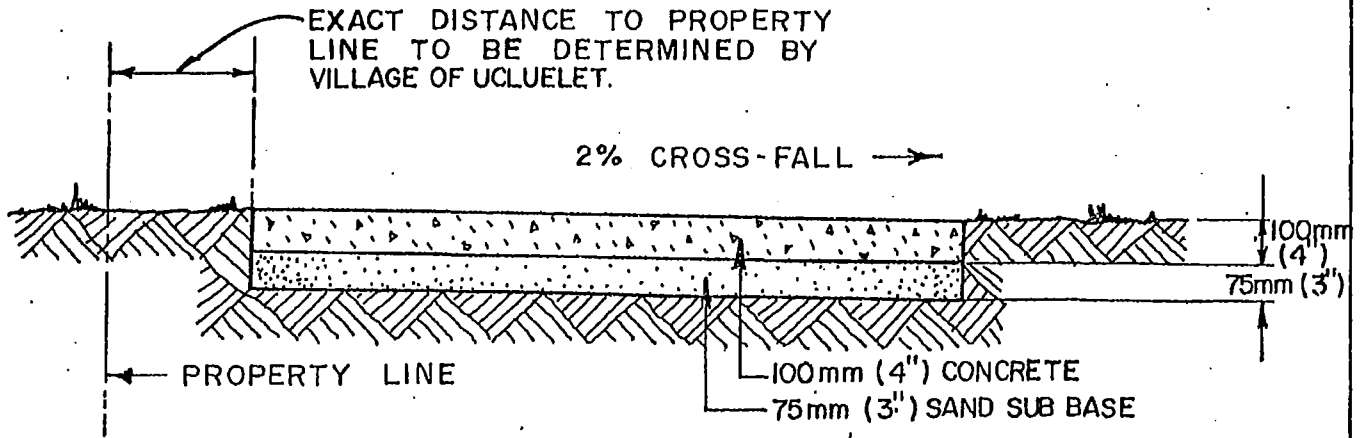
CORPORATION of the VILLAGE of UCLUELET

| | | | |
|------------------------|-------------------|------------------|--|
| DATE: FEB. 20, 1989 | SCALE: N.T.S. | DRAWN BY: LB. | <p>TYPICAL SECTION COLLECTOR ROADWAY</p> |
| APPROVED BY: | DRAWING NO. 19 | | |

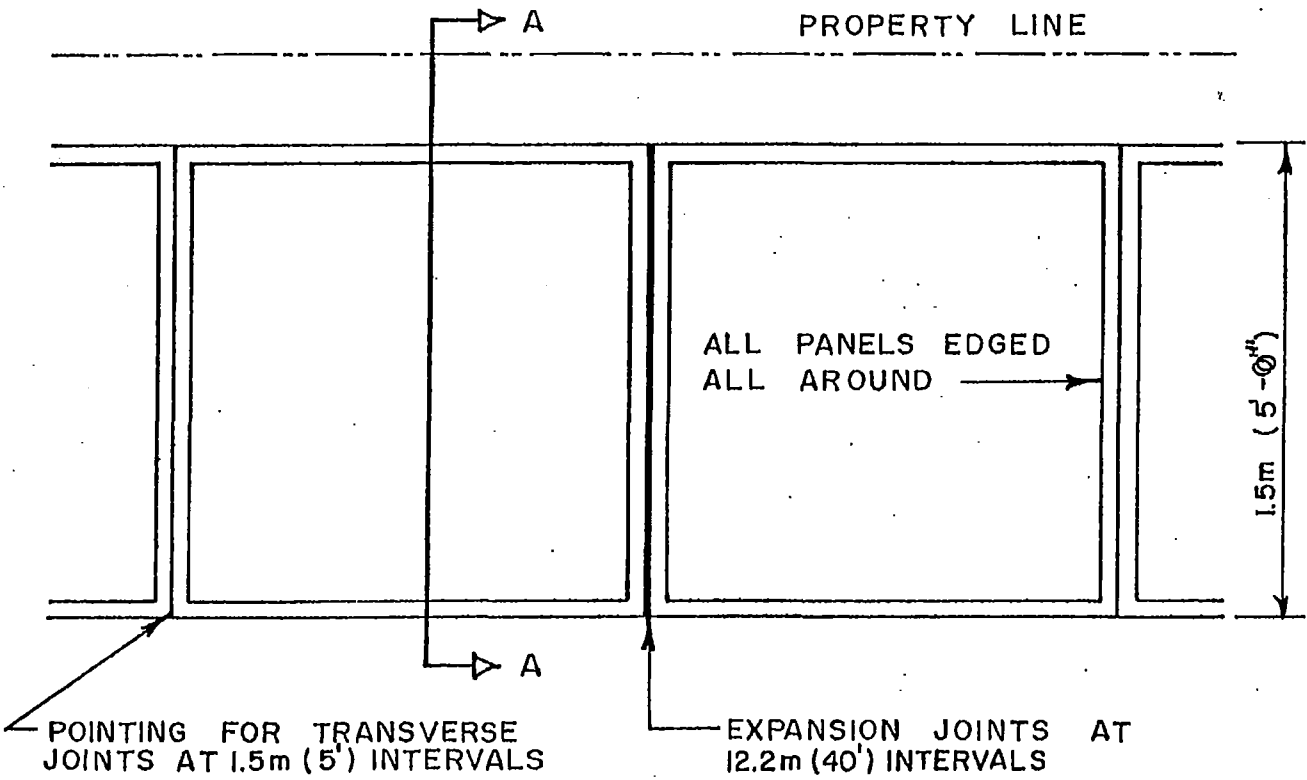


CORPORATION of the VILLAGE of UCLUELET

| | | | |
|------------------------|--------------------|--------------------|--------------------|
| DATE: FEB. 20, 1989 | SCALE: N. T. S. | DRAWN BY: S. W. | LANE DETAIL |
| APPROVED BY: | DRAWING NO. 20 | | |



SECTION A - A



PLAN OF SIDEWALK

CORPORATION of the VILLAGE of UCLUELET

DATE:
FEB. 20, 1989

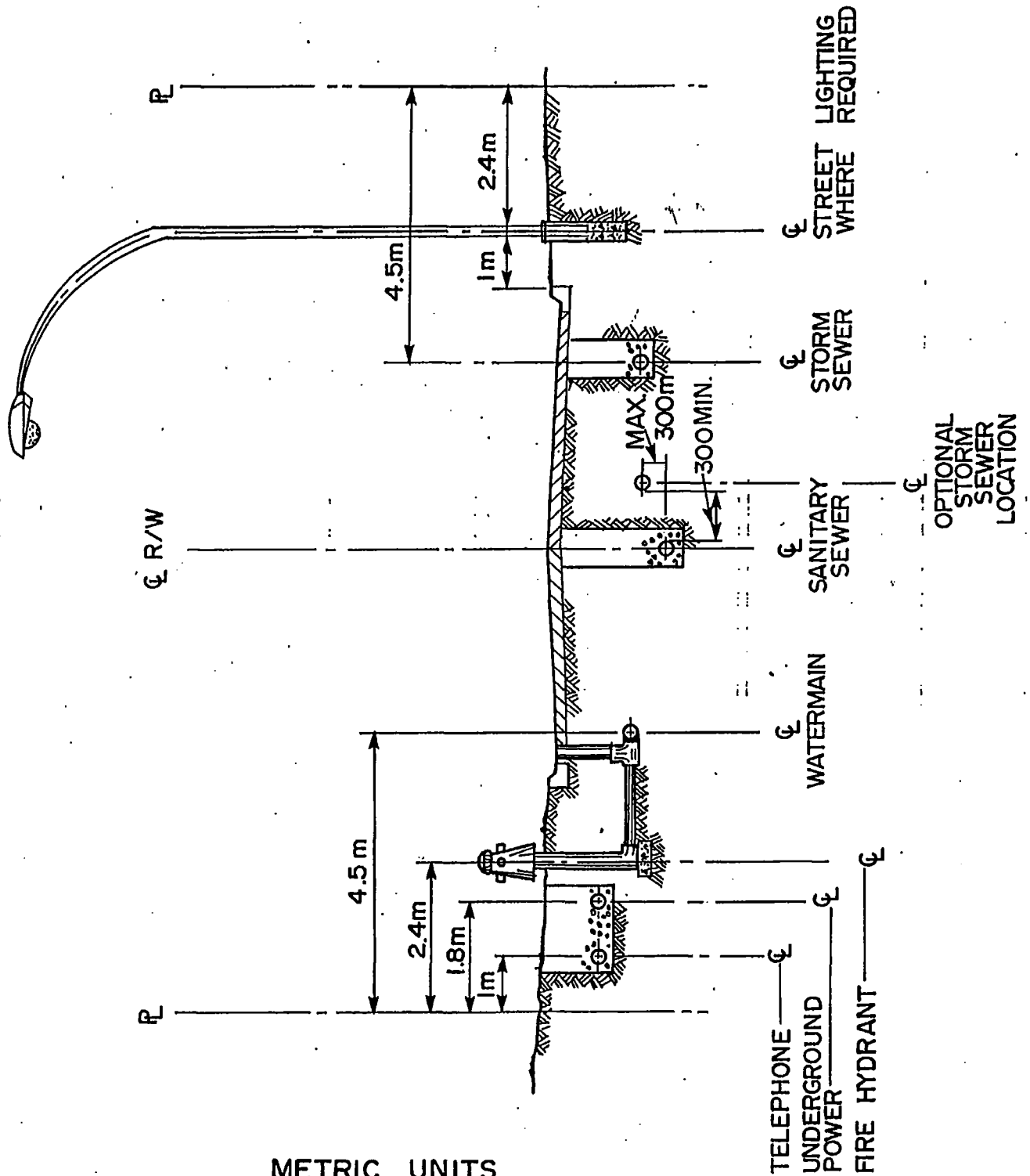
SCALE:
N. T. S.

DRAWN BY:
LB

APPROVED BY:

DRAWING NO. 24

SIDEWALK DETAILS



METRIC UNITS

CORPORATION of the VILLAGE of UCLUELET

| | | | |
|------------------------|------------------|-------------------------|----------------------------------|
| DATE: FEB. 20, 1989 | SCALE: N.T.S. | DRAWN BY: U.K. | UTILITY ALIGNMENT 15 m R.O.W. |
| APPROVED BY: | | DRAWING NO: 191 - 21 | |
| | | 25 | |



WILLIAMSON & ASSOCIATES
PROFESSIONAL SURVEYORS
3088 BARONS ROAD, NANAIMO B.C. V9T 4B5
PHONE: (250) 756-7723 email: waps@vibcls.ca

February 3, 2023

Our File No.: 21073

Your File: _____

District Of Ucluelet

200 Main Street
P.O. Box 999
Ucluelet B.C. V0R 3A0

Attention: John Towgood, Municipal Planner
Delivered by Email to jtowgood@ucluelet.ca

Hello John;

Re: Lot 16 on Marine Drive, Ucluelet
Preliminary Comments Response for Proposed Subdivision of:
Lot 16, District Lot 281, Clayoquot District, Plan VIP76214 except parts in Plan VIP80735, VIP83067
and VIP86140 (PID: 025-812-823)

Based on the comments that were provided by District of Ucluelet Planning staff on November 23, 2022, we have compiled additional information for your review. In support of your review of our application and for use in your report to council for variance consideration, we are submitting the following information:

1. PDF copy of your original notes dated November 23, 2022
2. PDF of Revised Engineering Plans for the proposed subdivision servicing
3. PDF of Revised Engineering Plans for the proposed Lot 1 Apartment development servicing
4. PDF of Traffic Study completed by Watt Consulting Group
5. PDF of Proposed Storm Discharge Review for Stream 28 completed by Toth and Associates Environmental Services

Storm Water Management

The proposed internal roads include open rock-lined ditches and french drains covered by gravel. This design will filter out sediment from road storm water runoff prior to it entering the Marine Drive ditch and Stream 28. There is no plan to incorporate rain gardens or bio-swales in the current design.

There is no proposed storm water retention prior to storm water entering the Marine Drive ditch and into Stream 28. Newcastle Engineering calculated to potential flow rates of discharge into Stream 28, and Toth and Associates reviewed these rates with respect to the environmental impacts to Stream 28. Previous engineering reports on storm water discharge have been prepared by Koer's Engineering (November 29, 2019 to Warren Cannon) stating that on-site retention is not necessary.

For the proposed townhouse site on Lot 2, the storm water flows discharging to Stream 26 are intended to be designed to meet pre-development flows. The details of how this on-site retention and discharge mitigation will be handled needs to be determined when the design for the townhouse development is underway. At this stage, we can provide no technical details on storm water retention for Proposed Lot 2. I recommend that a condition of the subdivision approval be that a covenant requiring storm water management for Lot 2 be registered against the title for Lot 2.

Storm water flow Area F in the engineering plans includes Lots 29, 30 and 31 and some of the proposed and existing road. During detailed design of the subdivision, Newcastle Engineering will ensure there is storm water retention for this area to meet pre-development flows so it is consistent with Lot 2. This could include rock pits for the 3 parcels and/or flow control manholes before the discharge into ditches on Victoria Road.

Sanitary Sewer Rights of Way

It was noted and discussed with planning staff that the sanitary main and SRW are within the rear yards of Lots 30 to 41. Moving the SRW into the Park behind the lots may not be acceptable to neighbouring land owners, but if this is an instruction from District staff, we can accommodate this change.

Access and Traffic Management

A traffic study has been prepared by Watt Consulting to analyse traffic at the proposed new intersections on Marine Drive, Matterson Drive, and Victoria Road. No additional road needs to be dedicated and no changes to the designed road intersections need to be made based on this study. Watt indicates that stop signs are required before entering these roads.

We have calculated the required number of parking stalls at 226 stalls. This is broken down as follows:

- Lot 1 (48 unit apartment site) = **82 Stalls** required by bylaw
- Lot 2 (28 unit townhouse site) = **48 stalls** required by bylaw
- Lots 3 to 8 (single family with suites) = **18 stalls** required (2 stalls per house plus 1 stall per suite)
- Lots 9 to 41 (small single family, no suites) = **68 stalls** required by bylaw (2 stalls per house)
- Subtotal = **216 stalls**
- Total number of visitor stalls (1 per 22 stalls) = **10 stalls**
- Total development parking stalls = 226 stalls**

We didn't see guidance from the District's Zoning Bylaw on visitor parking, so we used the City of Nanaimo bylaw rate of 1 stall per 22 stalls. Newcastle Engineering was able to design into the road layout 11 on-street parking stalls for this purpose. If the townhouse site incorporates 2 stalls per unit and visitor parking on-site, the number of total stalls will be further increased.

The road network through and around the site was revised to incorporate the parking stalls on the roads. Also, sidewalks were revised in multiple locations. For pedestrian purposes, the sidewalk and crosswalk was revised to change the crossing at Lot 32 so the sidewalk is adjacent to the playground and Lots 20 to 23. This was to improve accessibility to the playground for pedestrians.

Also, a sidewalk was added from the Marine Drive and Road A intersection along the frontage of Lot 1 to the Marine Drive and Matterson Drive intersection, and then along the Lot 1 frontage on Matterson Drive. This sidewalk terminates at the proposed new apartment site entrance on Matterson Drive. The topography within Matterson Drive prevents us from putting a separated sidewalk any further along the frontage of Matterson Drive. There is no change to the proposal of having a crosswalk at the Marine Drive and Road A intersection as this is still beneficial to pedestrian traffic in this area. The added sidewalks around Lot 1 provides pedestrian access options around Lot 1 and across to the Community Center.

Underground Services (Telus and BC Hydro)

Newcastle Engineering is working with BC Hydro on preliminary designs for placement of the power and telecommunication facilities to service the subdivision. BC Hydro has not yet issued their plan but have provided some guidance to Newcastle to adjust the sidewalk to fit the above-ground facilities (Transformers). Where these transformers are located in the road right of way, the sidewalk will deviate around them. In the current Newcastle Plans, I see sidewalk deviations in front of Lots 32, 36, and 38. The exact locations of these facilities will be known once detailed engineering design is complete. All Telus facilities are underground and will not impede pedestrian use of the sidewalks.

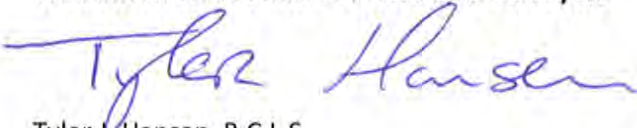
Playground and Park

As a condition of the rezoning covenant, we are dedicating a 280 square metre park adjacent to Lot 20. This is also the high ground emergency muster location for the development. No change has been made to this park.

We trust you will find the information provided will be sufficient for you to complete your staff report and present the application to council in the near future.

Thank you for your attention to this matter, we look forward to your response in due course.

Yours truly,
Williamson & Associates Professional Surveyors



Tyler J. Hansen, B.C.L.S.

Enclosures

ec: 0985470 B.C. Ltd. – Cody Dreger

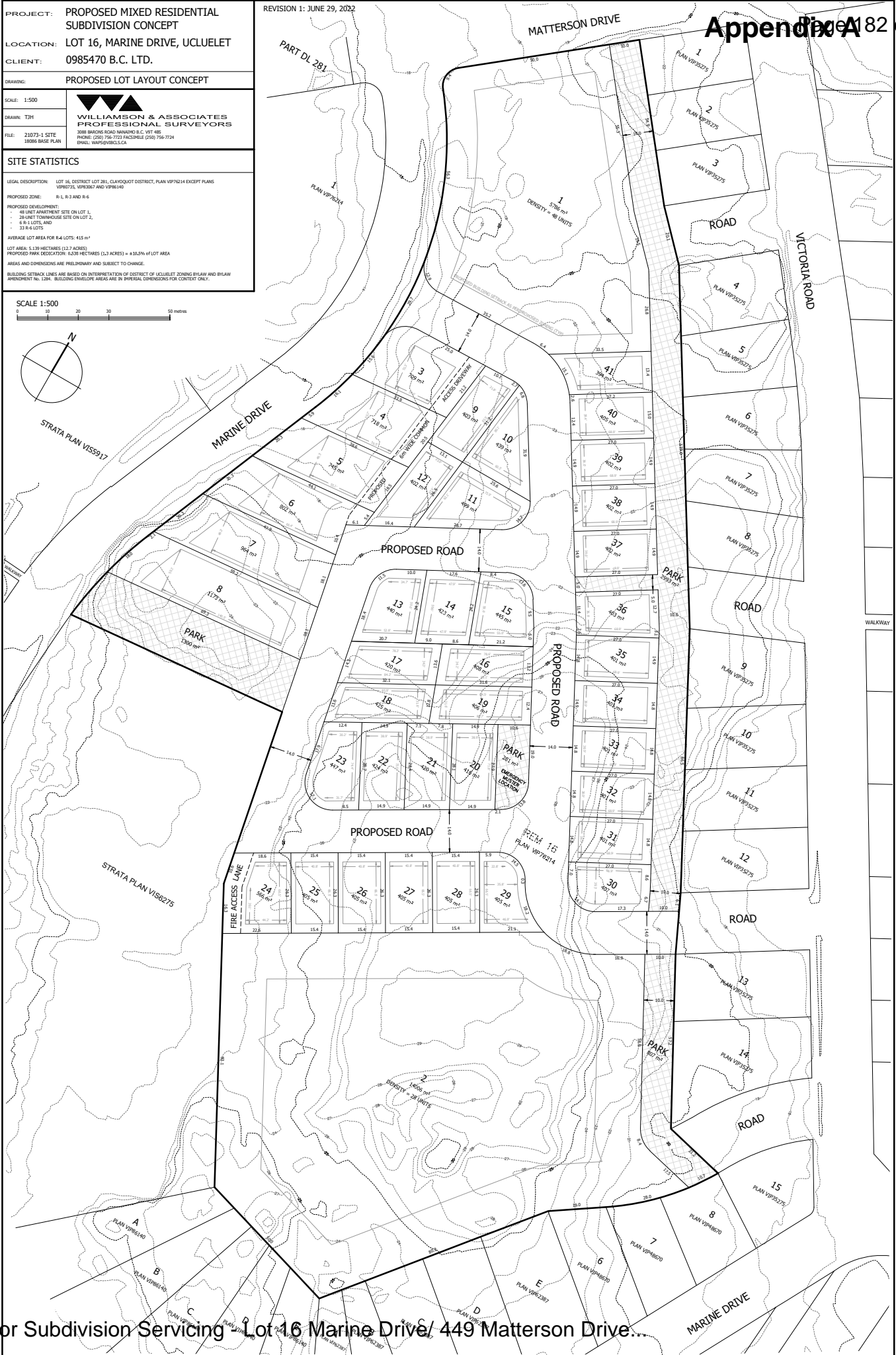
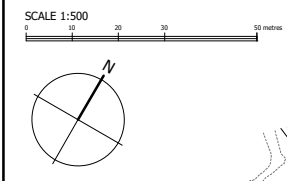
PROJECT: PROPOSED MIXED RESIDENTIAL SUBDIVISION CONCEPT
LOCATION: LOT 16, MARINE DRIVE, UCLUELET
CLIENT: 0985470 B.C. LTD.
DRAWING: PROPOSED LOT LAYOUT CONCEPT
SCALE: 1:500
DRAWN: T3H
FILE: 21073-1 SITE 18066 BASE PLAN
WILLIAMSON & ASSOCIATES PROFESSIONAL SURVEYORS
 3038 BARKS ROAD NANAIMO B.C. V1Y 4B5
 PHONE: (250) 756-7722 FACSIMILE: (250) 756-7724
 EMAIL: WAPS@WBCLS.CA

REVISION 1: JUNE 29, 2022

SITE STATISTICS
LEGAL DESCRIPTION: LOT 16, DISTRICT 281, CLAYCOUT DISTRICT, PLAN V1P7614 EXCEPT PLANS V1P92735, V1P9367 AND V1P96140
PROPOSED ZONE: R-1, R-3 AND R-6
PROPOSED DEVELOPMENT:

- 48 UNIT APARTMENT SITE ON LOT 1
- 28 UNIT TOWNHOUSE SITE ON LOT 2
- 6 R-1 LOTS, AND
- 33 R-6 LOTS

AVERAGE LOT AREA FOR R-6 LOTS: 415 m²
LOT AREA: 5.19 HECTARES (12.7 ACRES)
PROPOSED PARK DESIGNATION: 0.20 HECTARES (0.3 ACRES) = 4.01% OF LOT AREA
AREAS AND DIMENSIONS ARE PRELIMINARY AND SUBJECT TO CHANGE.
BUILDING SETBACK LINES ARE BASED ON INTERPRETATION OF DISTRICT OF UCLUELET ZONING BYLAW AND BYLAW AMENDMENT NO. 1284. BUILDING ENVELOPE AREAS ARE IN SPHERICAL DIMENSIONS FOR CONTEXT ONLY.



MEMORANDUM

To: Tyler Hansen – Williamson & Associates
From: Caytlin Kopeck, B.Eng., EIT
Our File #: 3461.B01
Project: Lot 16 - Ucluelet
Date: January 26th, 2023
RE: Traffic Review

1.0 INTRODUCTION

Watt Consulting Group was retained by Williamson & Associates to conduct a traffic review for the accesses being created by a residential development at Lot 16 - Marine Drive, Ucluelet, BC. This memo will review proposed accesses to determine which operational control should be used at each access, the laning requirements for each access, and appropriate access widths. The study will also conduct a high-level review for any potential safety hazard regarding access placement. See **Figure 1** for an aerial of the subject site and study intersections.

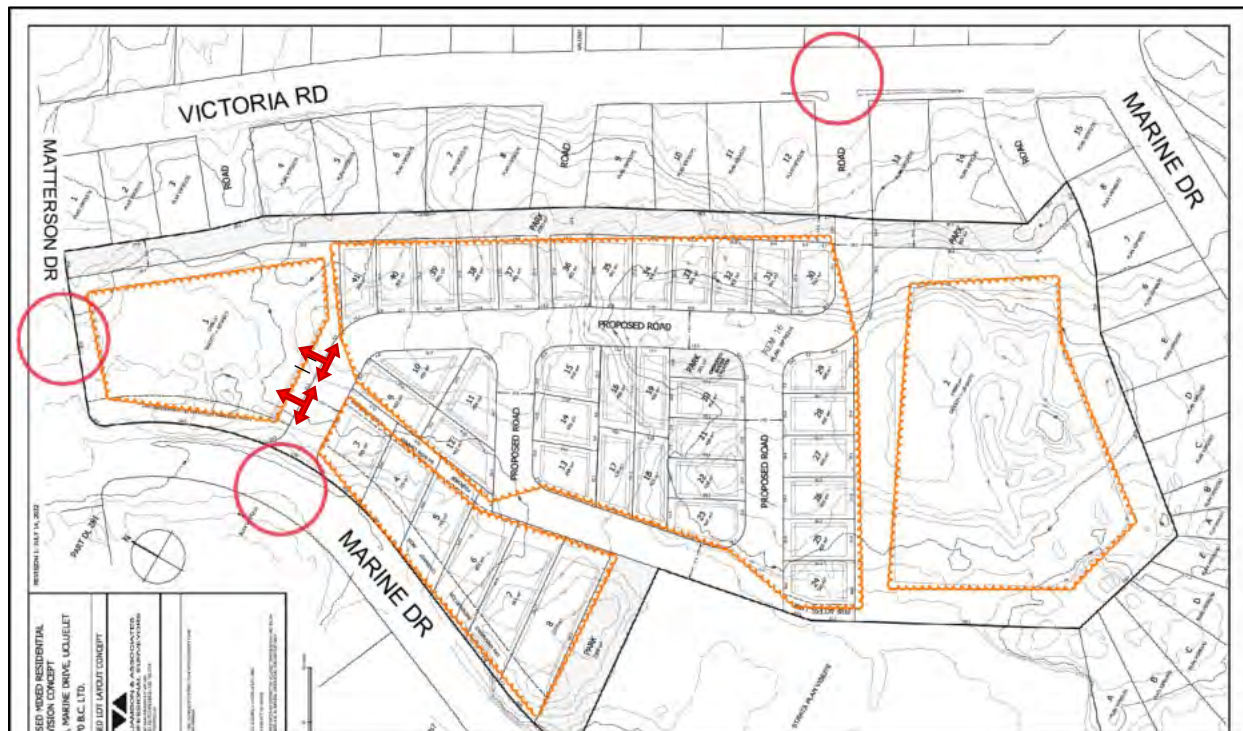


Figure 1: Subject Site / Study Intersections

2.0 BACKGROUND

There are three site accesses for the subject site (see **Figure 1**) which intersect Marine Drive, Matterson Drive, and Victoria Road. The access on Matterson Drive will serve the 48-unit apartment (that exits onto the internal road from two parking lots), while the accesses on Victoria Road and Marine Drive will serve the entire development as the access road will have internal connections to all buildings within the site. There is no pedestrian or cyclist infrastructure along Victoria Road. Matterson Drive has a pedestrian pathway that is road-level and delineated by paint. Along Marine Drive there is a multi-use pathway.

The proposed development consists of a 48-unit apartment, a 28-unit townhouse complex, six single-family homes with suites, and 33 single-family homes without suites. Based on the 11th Edition ITE Trip Generation Manual this will generate a total of 81 trips (51 inbound, 30 outbound) in the PM peak hour. For the purpose of this memo, suites assumed the rate for “Low-Rise Multi-Family Homes”. This trip generation is considered to be conservative, as it is likely that some of these homes may become vacation homes or short-term rental homes which will not consistently be occupied, and therefore, is unlikely to generate the reported volume of trips.

The development trips were assigned to the network with the following distribution:

- 95% to / from the North (towards the Matterson Drive and Marine Drive north of Victoria Road)
 - Trips were split 50/50 between Matterson Drive and Marine Drive for inbound and outbound trips
- 5% to / from the West (towards Marine Drive west of Matterson Drive)
- Trips generated from the 48-unit apartment were assigned to the Matterson Drive access, while 66% of remaining trips were assigned to the Victoria Road access (due to close proximity to the town), and the remaining 33% was assigned to the Marine Drive access.

No existing traffic volumes were available for the study roads, however, a MoTI count station (P-13-7NS) reported two-way traffic volumes from the Tofino-Ucluelet Highway in August of 2022 to be approximately 650vph in the PM peak hour. The local roads are expected to serve less traffic than a highway and therefore, it is assumed that the two-way volumes for Marine Drive, Matterson Drive, and Victoria Road will be less than 650vph.

3.0 ACCESS ANALYSIS

Based on the development trip generation and assumption of less than 650vph along any of the subject roads, all intersections would operate at a LOS B or better with stop-control at the access approach. No separate turn lanes at the accesses will be required due to the low-volume of traffic at each access.

A minimum lane width of 2.7m for low-volume rural roads with a posted speed of 60km/h or less is acceptable per the 2018 TAC *Geometric Design Guidelines*. However, there are many cases where roadways that are 5.0m in total width are able to accommodate traffic safely. It is recommended that the lane width for each access is a minimum of 2.5m.

There are no perceived issues with sightlines based on Google Earth / Google Maps Streetview Imagery and the horizontal layout of the roads. When development occurs, it is recommended that trees / shrubbery adjacent to the accesses do not impede view of drivers turning out of the accesses.

The development will provide a sidewalk that extends from the Matterson Drive access to the Marine Drive Access, and a crosswalk at the south-west corner of the site which will connect the sidewalk to the pedestrian pathway on the west side of Matterson Drive. The pedestrian infrastructure proposed will not interfere with either of the accesses and will provide additional connectivity for pedestrians (see Figure 2, pink line).

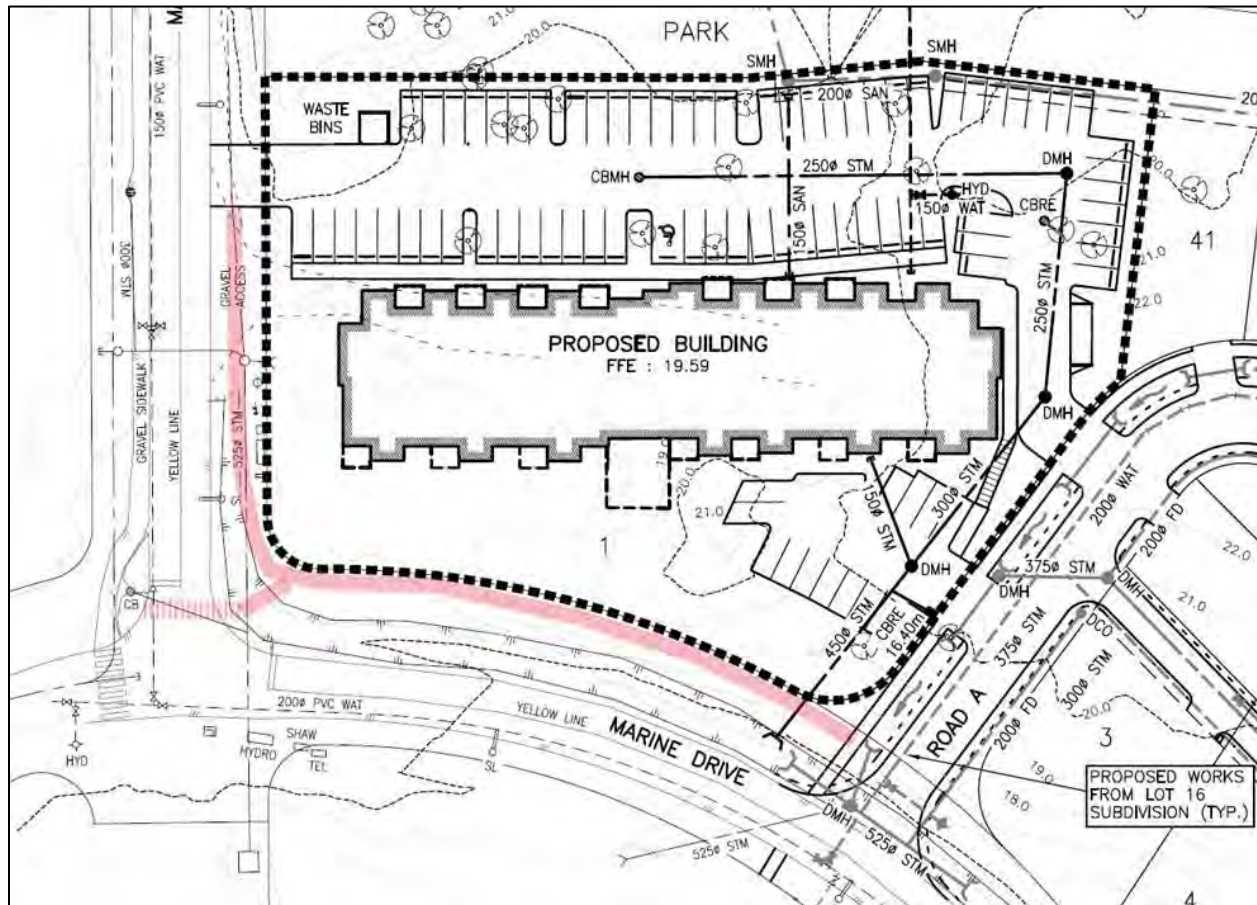


Figure 2: Sidewalk and Crosswalk Mark-up

4.0 RECOMMENDATIONS AND CONCLUSION

The site will generate 81 trips in the PM peak hour and upon opening day of the development, each access will operate at a LOS B with stop-control at the access approach, and no separate turn lanes. It is recommended that the accesses have a minimum lane width of 2.5m. There are no perceived safety issues with the placement of accesses, however, it is recommended that when developed

trees / shrubbery adjacent to the accesses are removed if they are blocking sightlines for vehicles turning out of the access.

Accesses onto Marine Drive, Matterson Drive, and Victoria Road should be stop-controlled on the development side. Marine Drive, Matterson Drive, and Victoria Road should remain free-flow.

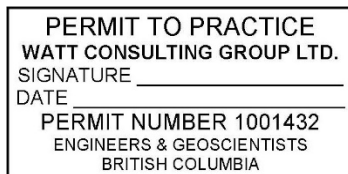
Sincerely,

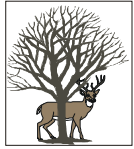
Watt Consulting Group



Caytlin Kopeck, B.Eng., EIT
Transportation Engineer-in-Training

Andy Kading, P.Eng. P.E.
Senior Transportation Engineer





January 31, 2023

Tyler Hansen, BCLS

Williamson & Associates Professional Surveyors,
3088 Barons Road,
Nanaimo, BC V9T-4B5

Re: Review of proposed stormwater discharge from Lot 16, District Lot 281, Clayoquot District Plan VIP76214, (PID# 025-812-823), to “Stream 28”

1.0 INTRODUCTION

Toth and Associates Environmental Services previously conducted an environmental assessment of Lot 1, District Lot 281 located on the west side of Marine Drive in November 2020 to document environmental sensitivities on and adjacent to Lot 1. It is our understanding that the proposed development of Lot 16 located on the east side of Marine Drive across from Lot 1 includes plans to direct stormwater from Lot 16 to a short section of watercourse that we previously assessed located adjacent to the west side of Lot 1 which has been identified on Schedule E of the District of Ucluelet’s Official Community Plan 2020 as “Stream 28”. The District of Ucluelet’s Planning Department has requested an assessment by a biologist of the potential downstream impacts from the proposed stormwater discharge on the function of Stream 28.

2.0 BACKGROUND REVIEW

Section 306.2 of the Zoning Bylaw (No.1160, 2013) indicates that in addition to minimum setback requirements of other parts of this Bylaw:

- 1) No building or structure may be placed, constructed, sunk into, erected, moved, sited, altered or enlarged within
 - a) 7.5 m (25 ft) on the upland side of the natural boundary of the ocean,
 - b) 30 m (98.5 ft) of the natural boundary of any other natural watercourse or source of water supply, except as expressly otherwise specified in a Zone, or in a registered covenant under section 219 of the *Land Title Act* in favour of the District or the Province.

A “Structure” is defined by the Zoning Bylaw as “anything that is constructed, fixed to, supported by or sunk into land or water”. A “Watercourse” is defined by the Zoning Bylaw as “any natural or man-made drainage course or source of water, intermittent or not, including any lake, river, creek, spring, ravine, swamp, or source of ground or surface water, or as designated by the Ministry of Environment”.

Section 2(1) (Application to Local Governments) of the provincial *Riparian Areas Protection Regulation* (RAPR) does not include the District of Ucluelet in the list of local governments to which the RAPR applies, therefore a RAPR assessment of the proposed stormwater discharge should not be required.

Our prior assessment of Lot 1 indicated that Stream 28 is formed by the discharge from ditches along Marine Drive and Matterson Drive and that there was little topographic evidence to suggest that there was a natural watercourse at this location prior to development of the area.

The ditch along the east side of Marine Drive already connects to Stream 28 via a buried storm pipe running northwest under Marine Drive and the north end of Lot 1 (Figure 1). The pipe discharges about 6 metres downstream of the existing storm outfall structure, with the pipe's end buried beneath rip-rap rock - possibly to dissipate flow energy.

Newcastle Engineering Ltd. estimates the discharge flows from the proposed development of Lot 16 as:

- Q10 (10 year event flow) = 357 l/s; and,
- Q100 (100 year event flow) = 499 l/s.

Newcastle Engineering Ltd. believes the existing storm pipe (525 mm) has the capacity to handle these projected storm flows.

3.0 DISCUSSION & RECOMMENDATIONS

"Stream 28" originates from a stormwater outlet structure adjacent to the north end of Lot 1 (Photograph 1). Drainage from the outlet structure runs within a man-made, rock lined channel between Lot 1 and the Big Beach access road / trail (Photograph 2). The drainage course turns south near the toe of slope and runs through the west side of Lot 1, forming a poorly defined swamp area (Photograph 3) near the public washroom in the park. The drainage turns west near the south end of the Lot 1, crosses under the beach trail in a culvert (Photograph 4) and discharges onto the beach (Photograph 5). The overall day-lighted length of channel between the storm drain outlet and the beach is 145 m. There was no potential for fish to gain access to the drainage from the ocean due to extensive channel blockage created by driftwood and beach gravels.

The provincial *Water Sustainability Act* (WSA) applies to natural watercourses or natural sources of water supply. As the drainage course on and adjacent to the subject property originates from a stormwater discharge and appears to be entirely man-made it is our interpretation that the WSA would not apply to it.

Predicted changes associated with additional stormwater discharge from development of Lot 16 to Stream 28 include the potential for flooding of the beach trail at the culvert crossing. The culvert diameter was not measured during our assessment of Lot 1, but based on site photographs it appears to be <525 mm (Photograph 4). There is also some potential for flooding or enlargement of the small swamp area in the vicinity of the public washroom.

We recommend that the elevation of the public washroom be surveyed in relation to the high water mark of the adjacent swamp area, and the culvert diameter at the beach trail crossing be measured.

Potential changes to water quality associated with development of Lot 16 include increased sediment levels in run-off. An erosion and sediment control plan should be implemented during the construction phase to minimize suspended sediments in site run-off.

There is a low possibility that additional flows could result in erosion of the gravel and driftwood berm at the mouth of the stream, potentially allowing fish colonization of Stream 28.

Should you have any questions or concerns regarding the contents of this report, please feel free to contact me at (250) 390-7602.

Sincerely,
Steve Toth, ASCT, R.P.Bio.



Toth and Associates Environmental Services



Figure 1. July 2021 air photo with existing & proposed drainage features





Photograph 1. View from Big Beach access trail to stormwater outlet headwall & grate.



Photograph 2. View downstream from headwall to rip-rap channel.



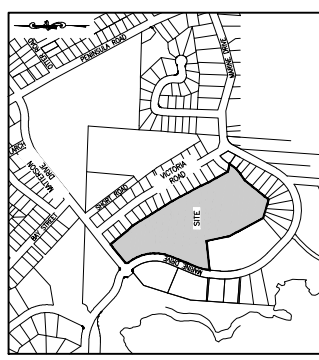
Photograph 3. View of swampy area adjacent to public washroom.



Photograph 4. View of culvert under beach trail.



Photograph 5. View of the mouth of the drainage course at the beach.



LOCATION PLAN N.T.S.

NOTES:

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE DISTRICT OF VICTORIA AND THE DISTRICT OF COLLETT.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE DISTRICT OF VICTORIA AND THE DISTRICT OF COLLETT.
3. CONNECTION TO OR A DIVERSION OF EXISTING CITY WATER MAINS WILL BE UNDERTAKEN BY DISTRICT OF VICTORIA.
4. A PERMIT TO INSTALL WORKS WITHIN CITY STREETS, LANES AND OTHER PROPERTY AREAS WILL BE OBTAINED FROM THE DISTRICT OF VICTORIA.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE DISTRICT OF VICTORIA AND THE DISTRICT OF COLLETT.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE DISTRICT OF VICTORIA AND THE DISTRICT OF COLLETT.
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12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE DISTRICT OF VICTORIA AND THE DISTRICT OF COLLETT.

EROSION AND SEDIMENT CONTROL:

1. SEE PROJECT SPECIFIC EROSION AND SEDIMENT CONTROL PLAN FOR DETAILS OF REQUIRED WORKS.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE DISTRICT OF VICTORIA AND THE DISTRICT OF COLLETT.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE DISTRICT OF VICTORIA AND THE DISTRICT OF COLLETT.
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12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE DISTRICT OF VICTORIA AND THE DISTRICT OF COLLETT.



PRELIMINARY
REVIEW - NOT FOR
CONSTRUCTION

| | | |
|---|---------|------|
| DESIGN NET | JTD | NET |
| DRAWN | CHECKED | DATE |
| PLOT DATE 01-30-23 | | |
| PRINT DATE | | |
| ES&S PERMIT TO PRACTISE NUMBER: 1000856 | | |
| VERTICAL SCALE 1:1750 | | |

SITE LEGAL DESCRIPTION
DISTRICT LOT 281, CLAYOQUOT DISTRICT
BENCHMARK DESCRIPTION
TEMPORARY BENCHMARK BGL5767 LOCATED AT THE INTERSECTION OF MATTERSON STREET AND VICTORIA ROAD, ELEVATION 20.730m

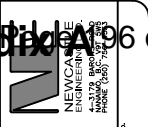
LEGEND

| PROPOSED | EXISTING |
|-----------------------|-----------------------|
| WATERMAIN | WATERMAIN |
| SANITARY SEWER | SANITARY SEWER |
| ELECTRICAL DUCT | ELECTRICAL DUCT |
| MULTI/UTILITY TRENCH | MULTI/UTILITY TRENCH |
| EDGE OF PAVEMENT | EDGE OF PAVEMENT |
| EDGE OF CONSTRUCTION | EDGE OF CONSTRUCTION |
| LIMIT OF CONSTRUCTION | LIMIT OF CONSTRUCTION |

DRAWING SCHEDULE

| REVISION | DATE | BY | DESCRIPTION |
|-------------|----------|-----|--|
| 0370-038-01 | 06/22/22 | JTD | ISSUED TO DISTRICT OF COLLETT FOR REVIEW - NOT FOR CONSTRUCTION |
| 0370-038-02 | 07/20/23 | JTD | FORSET OF VALLETT COMMENTS ADDRESSED - NOT FOR CONSTRUCTION |
| 0370-038-03 | | | ROAD A - ROAD AND STORM SEWER STATION 1+000 TO 1+160 |
| 0370-038-04 | | | ROAD A - ROAD AND STORM SEWER STATION 1+160 TO 1+260 |
| 0370-038-05 | | | ROAD A - ROAD AND STORM SEWER STATION 1+260 TO 1+353 |
| 0370-038-06 | | | ROAD B - ROAD AND STORM SEWER STATION 2+000 TO 2+180 |
| 0370-038-07 | | | ROAD B - ROAD AND STORM SEWER STATION 2+180 TO 2+248 |
| 0370-038-08 | | | ROAD A - WATER AND SANITARY SEWER STATION 1+000 TO 1+160 |
| 0370-038-09 | | | ROAD A - WATER AND SANITARY SEWER STATION 1+160 TO 1+260 |
| 0370-038-10 | | | ROAD B - WATER AND SANITARY SEWER STATION 2+000 TO 2+180 |
| 0370-038-11 | | | ROAD B - WATER AND SANITARY SEWER STATION 2+180 TO 2+248 |
| 0370-038-12 | | | COMMON ACCESS DRIVEWAY, WATER, SANITARY FOREMANN, STORM DRAINAGE AND SERVICING |
| 0370-038-13 | | | PARKLAND DEDICATION - SANITARY SEWER STATION 0+000 TO 0+180 |
| 0370-038-14 | | | PARKLAND DEDICATION - SANITARY SEWER STATION 0+180 TO 0+300 |
| 0370-038-15 | | | GRADING PLAN |
| 0370-038-16 | | | TREE REMOVAL PLAN |
| 0370-038-17 | | | STORM SEWER TRIBUTARY AREA PLAN |





PRELIMINARY
50% REVIEW - NOT FOR
CONSTRUCTION

NEWCASTLE
ENGINEERING
4-3122 BRIDGEWAY
PARRAMATTA NSW 2150
PROJECT NO. 0370-038
DRAWING NO. 02
REVISION NO. 01
CITY PLAN FILE NO.

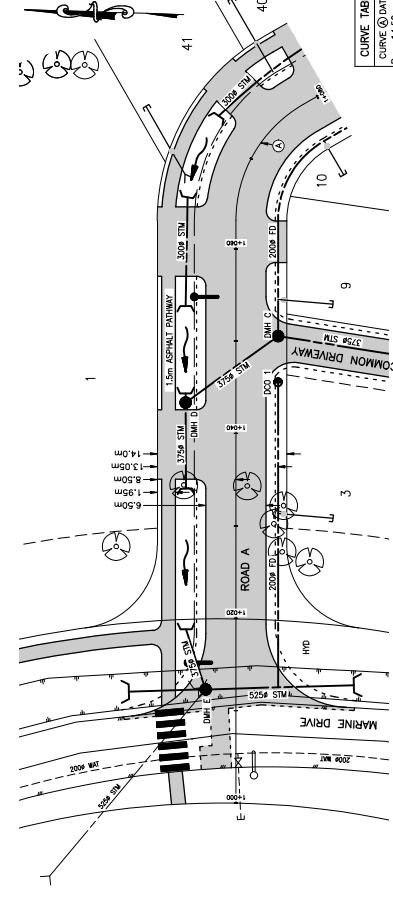
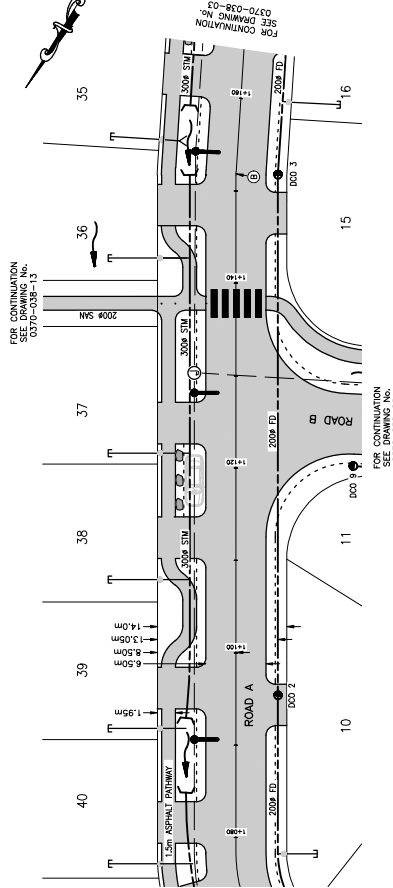
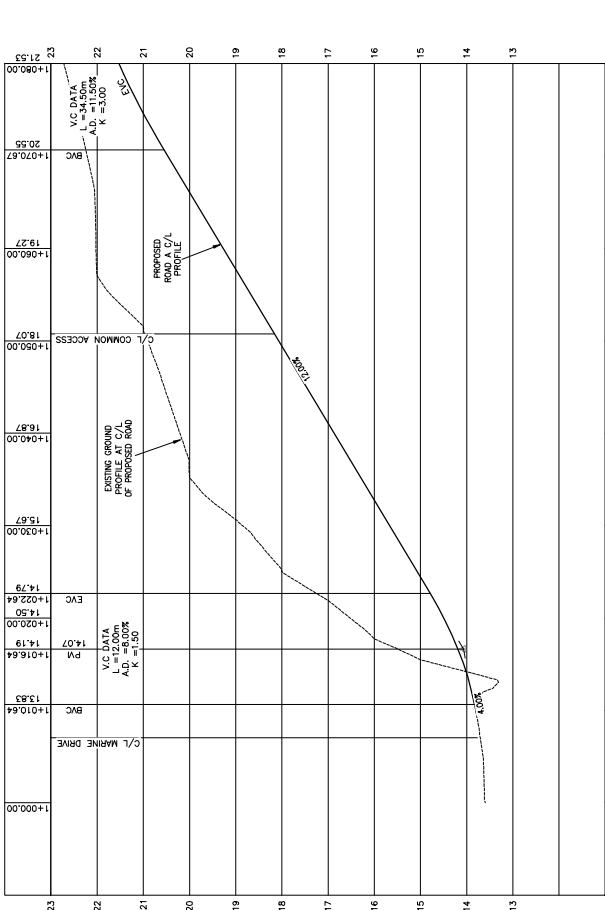
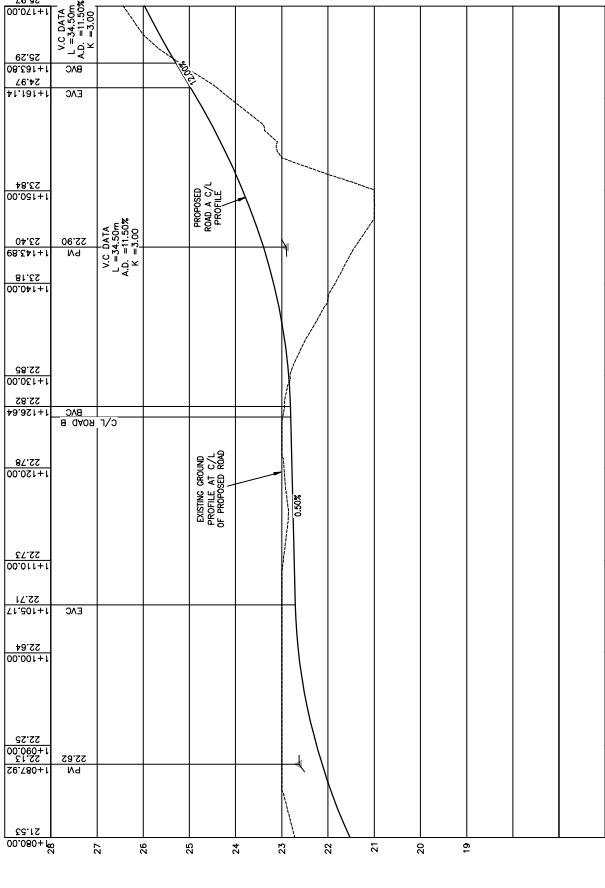
CLIENT NAME
0985470 BC LTD.
PROJECT NAME
LOT 16 MARINE DRIVE
UCULET, BC
DESIGN NET
DRAWN JTD
CHECKED NET
PLOT DATE 01-30-23
PRINT DATE
ES&S PERMIT TO PRACTICE NUMBER: 1000856
VERTICAL SCALE
1:25.00

SITE LEGAL DESCRIPTION
DISTRICT LOT 281, CLAYOQUET DISTRICT
BENCHMARK DESCRIPTION
TEMPORARY BENCHMARK BGL5767 LOCATED AT THE
INTERSECTION OF MATTERSON STREET AND VICTORIA
ROAD. ELEVATION 20.730m

| REV. | DATE | BY | REVISION DESCRIPTION |
|------|----------|-----|---|
| 00 | 06/02/22 | JTD | SUBMITTED TO DISTRICT OF UCULET FOR REVIEW - NOT FOR CONSTRUCTION |
| 01 | 01/30/23 | JTD | DISTRICT OF UCULET COMMENTS ADDRESSED - NOT FOR CONSTRUCTION |

| SYMBOL | DESCRIPTION |
|----------|--------------------------------|
| (Symbol) | EXISTING |
| (Symbol) | PROPOSED |
| (Symbol) | EXISTING ASPHALT DRIVEWAY |
| (Symbol) | PROPOSED ASPHALT DRIVEWAY |
| (Symbol) | EXISTING SIDEWALK |
| (Symbol) | PROPOSED SIDEWALK |
| (Symbol) | EXISTING CURB |
| (Symbol) | PROPOSED CURB |
| (Symbol) | EXISTING ELECTRICAL DUCT |
| (Symbol) | PROPOSED ELECTRICAL DUCT |
| (Symbol) | EXISTING MET/PAVEMENT |
| (Symbol) | PROPOSED MET/PAVEMENT |
| (Symbol) | EXISTING SIDEWALK |
| (Symbol) | PROPOSED SIDEWALK |
| (Symbol) | EXISTING EDGE OF PAVEMENT |
| (Symbol) | PROPOSED EDGE OF PAVEMENT |
| (Symbol) | EXISTING SIDEWALK |
| (Symbol) | PROPOSED SIDEWALK |
| (Symbol) | EXISTING STREETLIGHT |
| (Symbol) | PROPOSED STREETLIGHT |
| (Symbol) | EXISTING LIMIT OF CONSTRUCTION |
| (Symbol) | PROPOSED LIMIT OF CONSTRUCTION |

- NOTES:
- SEE DRAWING 0370-038-100 FOR GENERAL NOTES.
 - THE LOCATIONS OF EXISTING SERVICES ARE SHOWN APPROXIMATELY AND THE ENGINEER HAS NOT VERIFIED THE EXACT LOCATION OF ANY SERVICES. THE COMMENCEMENT OF WORK, EXISTING & PROPOSED SERVICES MAY REQUIRE ADJUSTMENT WHERE A CONFLICT OCCURS. THE ENGINEER SHALL BE RESPONSIBLE FOR ANY CONFLICTS.



| TYPE | DATA | DESCRIPTION |
|-------|---------|-------------|
| CURVE | 11.50% | GRADE |
| CURVE | 87.04' | RADIUS |
| CURVE | 15.206m | LENGTH |
| CURVE | 07.40' | ANGLE |
| CURVE | 0.353m | WIDTH |

AREA OF PROPOSED ASPHALT
SCALE 1:250

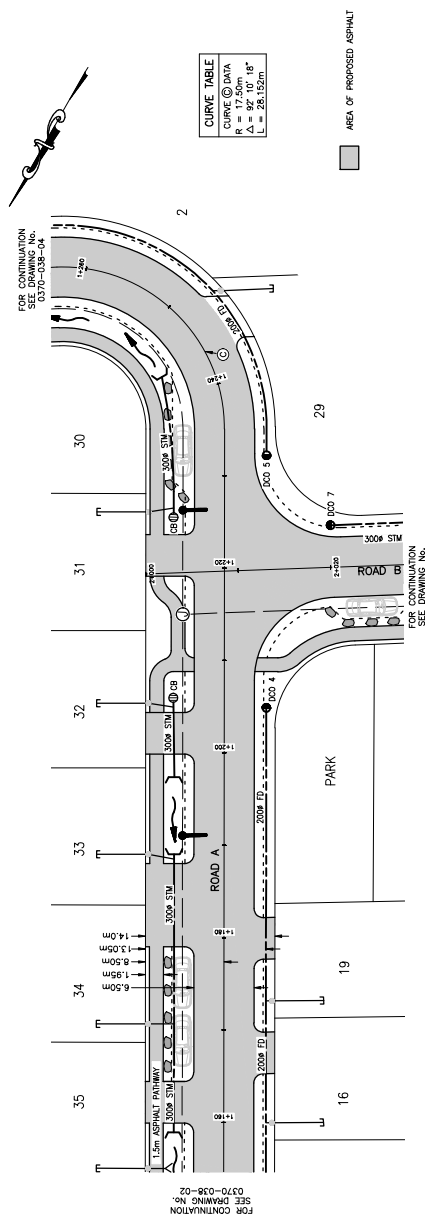
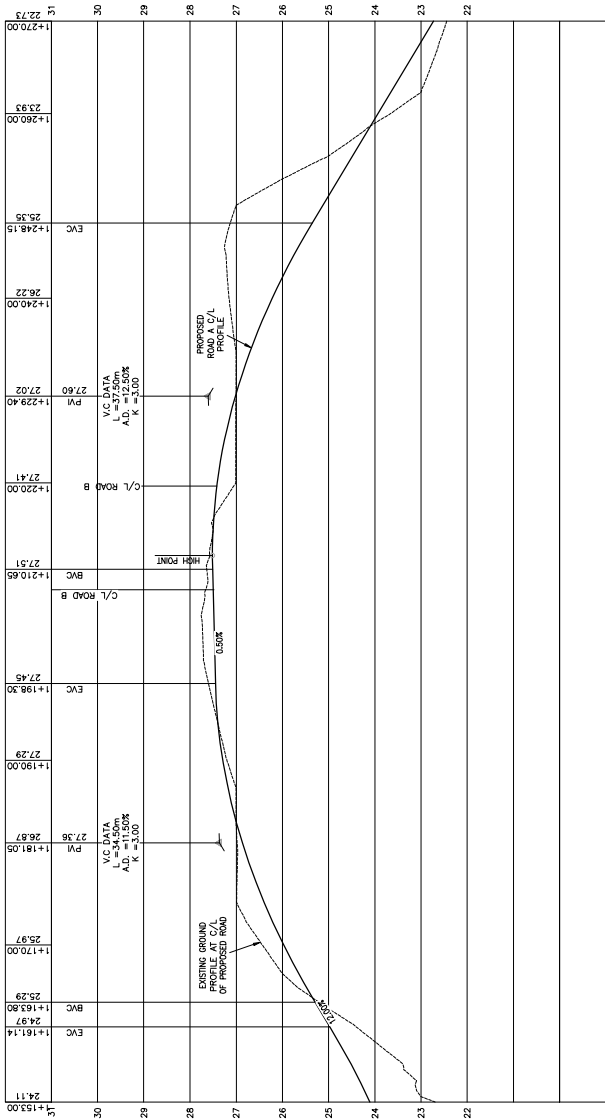
PRELIMINARY
50% REVIEW - NOT FOR CONSTRUCTION

M
NEWCASTLE
4-3121
PHONE (416) 779-7111

**ROAD A
AND STORM SEWER
STATION 1+160 TO 1+260**

**0985470 BC LTD.
LOT 16 MARINE DRIVE
UCULET, BC**

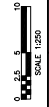
PROJECT NO. 0370-038
DRAWING NO. 03
REVISION NO. 01



CURVE TABLE

| |
|--------------|
| CURVE @ DATA |
| R = 17.50m |
| L = 26.152m |

AREA OF PROPOSED ASPHALT



- NOTES:
- SEE DRAWING 0370-038-100 FOR GENERAL NOTES.
 - THE LOCATIONS OF EXISTING SERVICES ARE SHOWN APPROXIMATELY AND THE ENGINEER HAS NOT VERIFIED THE EXISTENCE OR DEPTH OF THESE SERVICES. THE COMMENCEMENT OF WORK, EXISTING & PROPOSED SERVICES MAY REQUIRE ADJUSTMENT WHERE A CONFLICT OCCURS. THE ENGINEER SHALL BE RESPONSIBLE FOR CONFLICTS.

| | | |
|--|--|--|
| DESIGNER'S SEAL | DESIGNER'S SEAL | DESIGNER'S SEAL |
| NET | NET | NET |
| JTD | JTD | JTD |
| CREATED | CREATED | CREATED |
| DATE | DATE | DATE |
| 01-30-23 | 01-30-23 | 01-30-23 |
| PRINT DATE | PRINT DATE | PRINT DATE |
| 1000856 | 1000856 | 1000856 |
| ES&C PERMIT TO PRACTICE NUMBER | ES&C PERMIT TO PRACTICE NUMBER | ES&C PERMIT TO PRACTICE NUMBER |
| 115259 | 115259 | 115259 |
| HORIZONTAL SCALE | HORIZONTAL SCALE | HORIZONTAL SCALE |
| 1:250 | 1:250 | 1:250 |
| VERTICAL SCALE | VERTICAL SCALE | VERTICAL SCALE |
| 1:50 | 1:50 | 1:50 |
| SITE LEGAL DESCRIPTION | SITE LEGAL DESCRIPTION | SITE LEGAL DESCRIPTION |
| DISTRICT LOT 281, CLAYOQUET DISTRICT | DISTRICT LOT 281, CLAYOQUET DISTRICT | DISTRICT LOT 281, CLAYOQUET DISTRICT |
| BENCHMARK DESCRIPTION | BENCHMARK DESCRIPTION | BENCHMARK DESCRIPTION |
| TEMPORARY BENCHMARK BGL3767 LOCATED AT THE INTERSECTION OF MATTERSON STREET AND VICTORIA ROAD. ELEVATION 20.730m | TEMPORARY BENCHMARK BGL3767 LOCATED AT THE INTERSECTION OF MATTERSON STREET AND VICTORIA ROAD. ELEVATION 20.730m | TEMPORARY BENCHMARK BGL3767 LOCATED AT THE INTERSECTION OF MATTERSON STREET AND VICTORIA ROAD. ELEVATION 20.730m |
| LEGEND | LEGEND | LEGEND |
| EXISTING | EXISTING | EXISTING |
| PROPOSED | PROPOSED | PROPOSED |
| MATTERSON STREET | MATTERSON STREET | MATTERSON STREET |
| STORM SEWER | STORM SEWER | STORM SEWER |
| STORM SEWER MANHOLE | STORM SEWER MANHOLE | STORM SEWER MANHOLE |
| ELECTRICAL DUCT | ELECTRICAL DUCT | ELECTRICAL DUCT |
| ELECTRICAL DUCT | ELECTRICAL DUCT | ELECTRICAL DUCT |
| NEUTRAL/PHASE | NEUTRAL/PHASE | NEUTRAL/PHASE |
| STREET LIGHT | STREET LIGHT | STREET LIGHT |
| EDGE OF PAVEMENT | EDGE OF PAVEMENT | EDGE OF PAVEMENT |
| STREET CLOSURE | STREET CLOSURE | STREET CLOSURE |
| LIMIT OF CONSTRUCTION | LIMIT OF CONSTRUCTION | LIMIT OF CONSTRUCTION |
| DATE | DATE | DATE |
| 06/22/23 | 06/22/23 | 06/22/23 |
| BY | BY | BY |
| JTD | JTD | JTD |
| REVISION DESCRIPTION | REVISION DESCRIPTION | REVISION DESCRIPTION |
| 01 | 01 | 01 |
| 01/30/23 | 01/30/23 | 01/30/23 |
| JTD | JTD | JTD |
| REVISION COMMENTS | REVISION COMMENTS | REVISION COMMENTS |
| 01 | 01 | 01 |
| 01/30/23 | 01/30/23 | 01/30/23 |
| JTD | JTD | JTD |



PRELIMINARY - NOT FOR CONSTRUCTION

ROAD A
ROAD AND STORM SEWER
STATION 1+260 TO 1+353

0985470 BC LTD.
LOT 16 MARINE DRIVE
UCLUQUET, BC

CLIENT NAME
PROJECT NAME
DRAWN
CHECKED
DATE
PRINT DATE
VERTICAL SCALE
HORIZONTAL SCALE

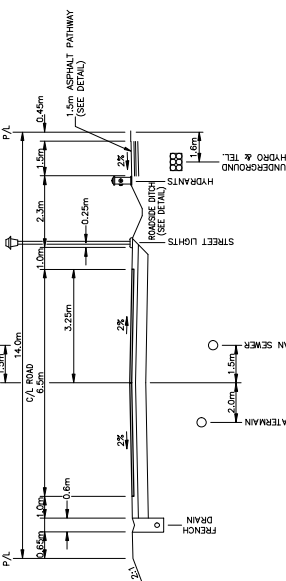
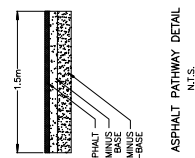
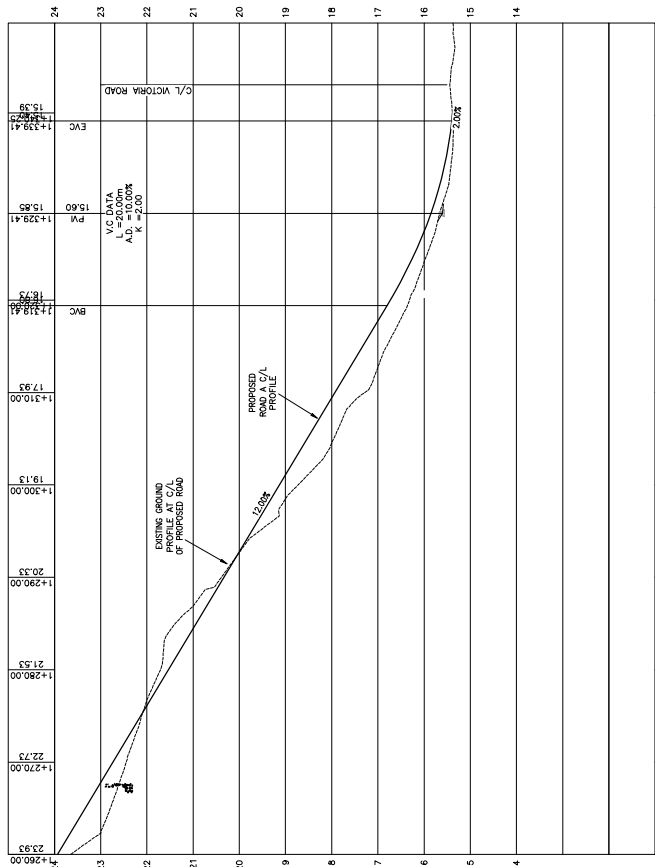
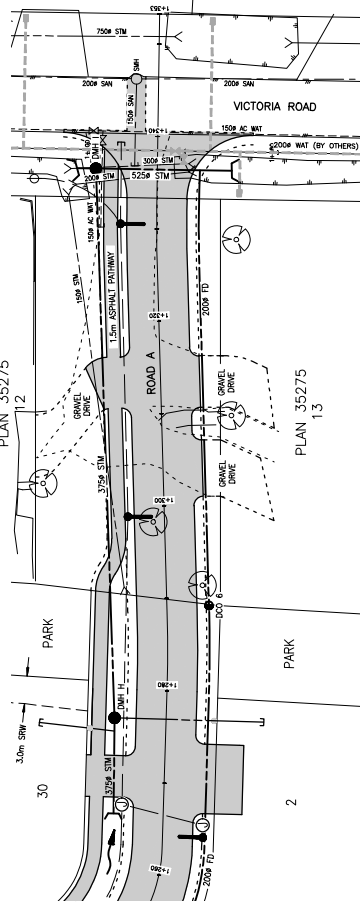
SITE LEGAL DESCRIPTION
DISTRICT LOT 281, CLAYOQUET DISTRICT

BENCHMARK DESCRIPTION
TEMPORARY BENCHMARK BGL5767 LOCATED AT THE INTERSECTION OF MATTERSON STREET AND VICTORIA ROAD. ELEVATION 20.730m

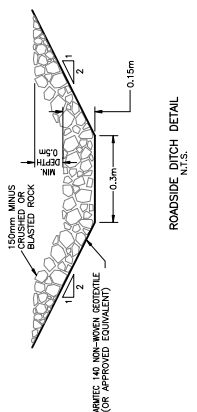
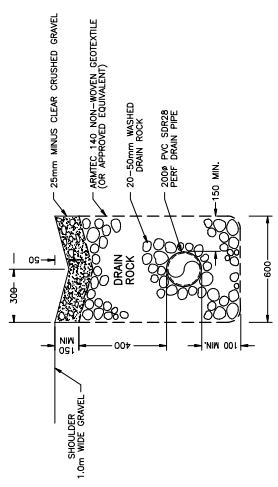
| REV. | NO. | DATE | BY | REVISION DESCRIPTION |
|------|----------|------|--------|--|
| 00 | 06/02/22 | JTD | SAWYER | ISSUED TO DISTRICT OF VICTORIA FOR REVIEW - NOT FOR CONSTRUCTION |
| 01 | 07/29/23 | JTD | SAWYER | REVIEW OF VALUET COMMENT ADDRESS - NOT FOR CONSTRUCTION |

| PROG. | SYMBOL | DESCRIPTION |
|-------|----------|--------------------------------|
| 1 | (Symbol) | EXISTING ASPHALT |
| 2 | (Symbol) | PROPOSED ASPHALT |
| 3 | (Symbol) | EXISTING CONCRETE |
| 4 | (Symbol) | PROPOSED CONCRETE |
| 5 | (Symbol) | EXISTING GRAVEL |
| 6 | (Symbol) | PROPOSED GRAVEL |
| 7 | (Symbol) | EXISTING SAND/GRASS |
| 8 | (Symbol) | PROPOSED SAND/GRASS |
| 9 | (Symbol) | EXISTING ELECTRIC DUCT |
| 10 | (Symbol) | PROPOSED ELECTRIC DUCT |
| 11 | (Symbol) | EXISTING TELEPHONE DUCT |
| 12 | (Symbol) | PROPOSED TELEPHONE DUCT |
| 13 | (Symbol) | EXISTING WATER MAIN |
| 14 | (Symbol) | PROPOSED WATER MAIN |
| 15 | (Symbol) | EXISTING SANITARY SEWER |
| 16 | (Symbol) | PROPOSED SANITARY SEWER |
| 17 | (Symbol) | EXISTING STORM SEWER |
| 18 | (Symbol) | PROPOSED STORM SEWER |
| 19 | (Symbol) | EXISTING SIDEWALK |
| 20 | (Symbol) | PROPOSED SIDEWALK |
| 21 | (Symbol) | EXISTING CURB |
| 22 | (Symbol) | PROPOSED CURB |
| 23 | (Symbol) | EXISTING DRIVE |
| 24 | (Symbol) | PROPOSED DRIVE |
| 25 | (Symbol) | EXISTING STREETLIGHT |
| 26 | (Symbol) | PROPOSED STREETLIGHT |
| 27 | (Symbol) | EXISTING LIMIT OF CONSTRUCTION |
| 28 | (Symbol) | PROPOSED LIMIT OF CONSTRUCTION |

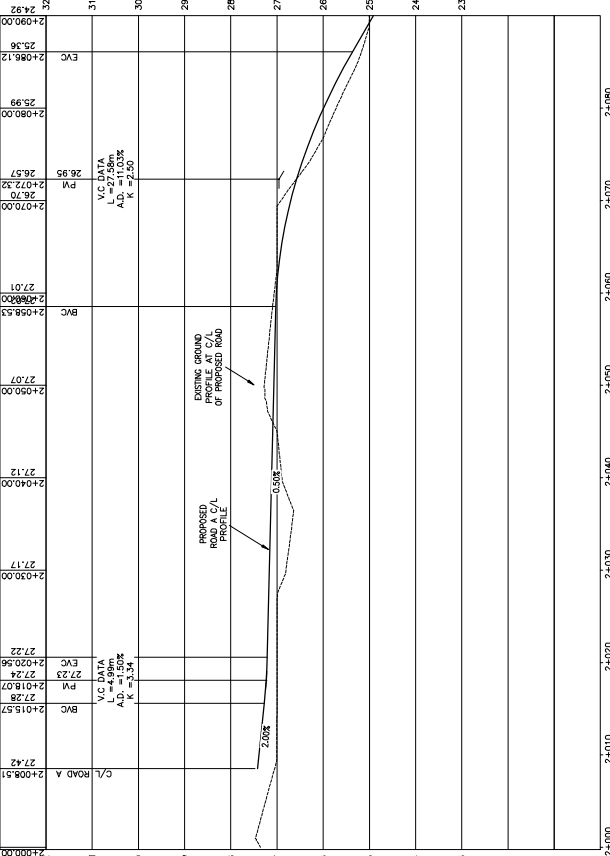
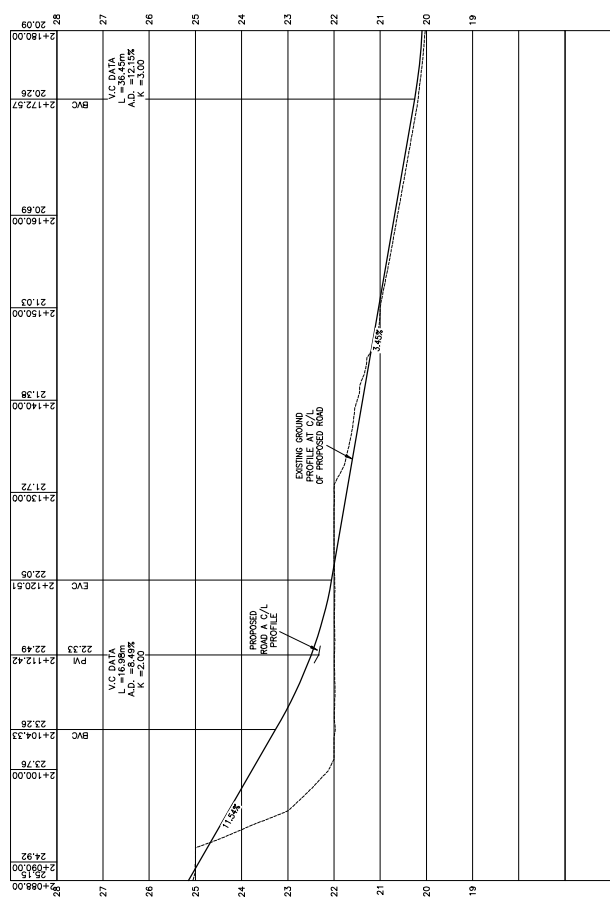
- SEE DRAWING 0370-038-100 FOR GENERAL NOTES.
- THE LOCATIONS OF EXISTING SERVICES ARE SHOWN APPROXIMATELY AND THE EXACT LOCATIONS OF EXISTING SERVICES SHOULD BE VERIFIED BY THE COMMENCEMENT OF WORK. EXISTING & PROPOSED SERVICES MAY REQUIRE ADJUSTMENT WHERE A CONFLICT OCCURS. THE ENGINEER SHALL BE RESPONSIBLE FOR CONFLICT.



- PAVED SURFACE = 60mm ASPHALT (COMPACTED THICKNESS)
- BASE = 100mm CRUSHED GRAVEL (20mm MINUS)
- SUB-BASE = 100mm PIT-RUN GRAVEL (25mm MINUS)
- SHOULDER

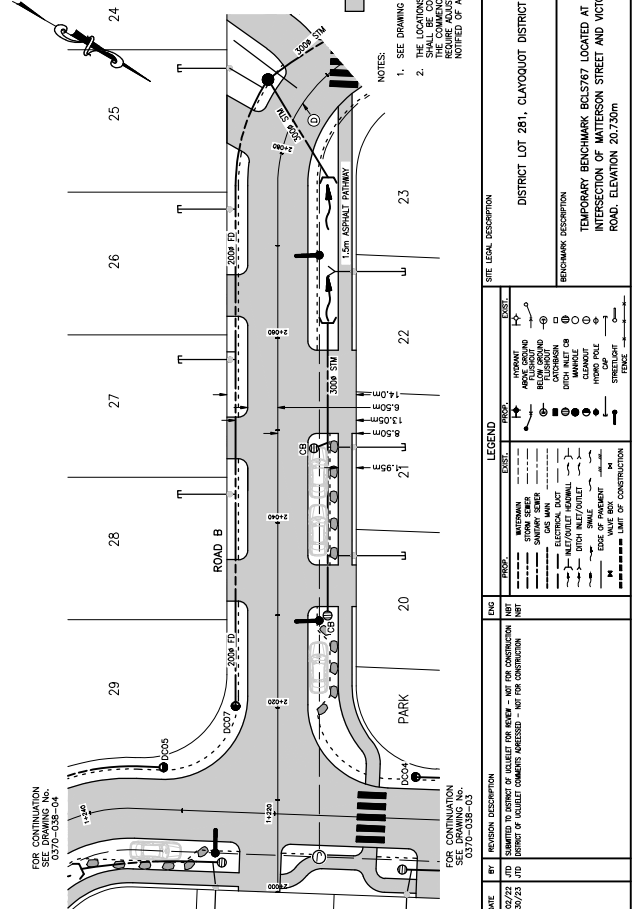
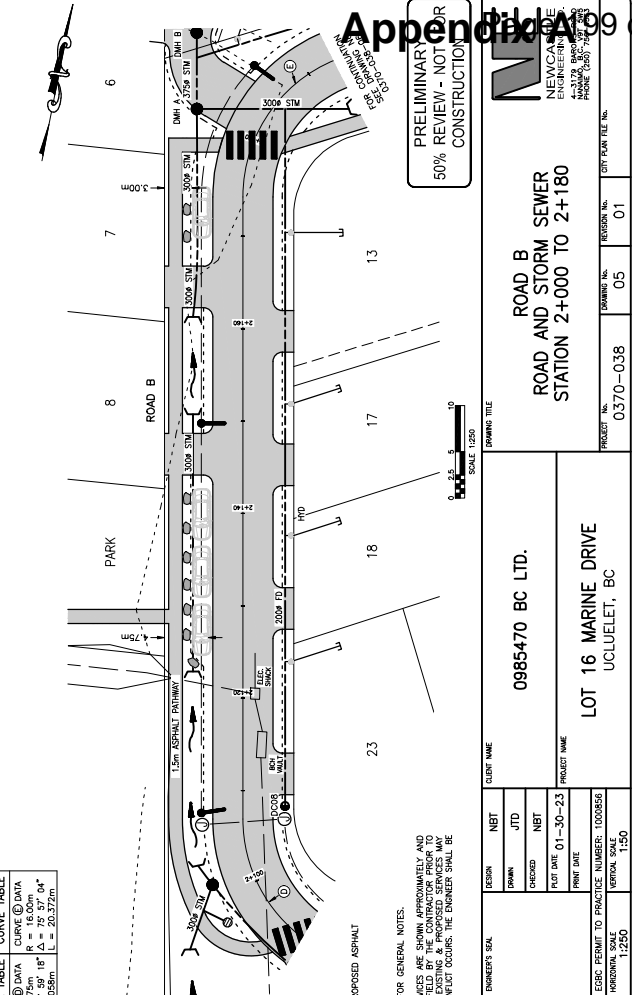


DVP for Subdivision Servicing - Lot 16 Marine Drive/ 449 Matterson Drive...



CURVE TABLE

| Curve No. | Chainage @ PVI | Radius (m) | Length (m) | Delta (deg) | Grade (%) | Vertical Offset (m) |
|-----------|----------------|------------|------------|-------------|-----------|---------------------|
| 1 | 14.74m | 16.00m | 14.74m | 18° | 8.00% | 20.377m |
| 2 | 21.50m | 16.00m | 14.74m | 18° | 8.00% | 20.377m |



PRELIMINARY FOR 50% REVIEW - NOT FOR CONSTRUCTION

ROAD B AND STORM SEWER STATION 2+000 TO 2+180

0985470 BC LTD.

LOT 16 MARINE DRIVE UCLULET, BC

| DESIGN | NET | CLIENT NAME |
|--------|-----|-----------------|
| DESIGN | NET | 0985470 BC LTD. |

0370-038

| PROJECT NO. | DRAWING NO. | REVISION NO. | DATE |
|-------------|-------------|--------------|----------|
| 0370-038 | 05 | 01 | 11/25/23 |

| DESIGN | NET | CLIENT NAME |
|--------|-----|-----------------|
| DESIGN | NET | 0985470 BC LTD. |

| DESIGN | NET | CLIENT NAME |
|--------|-----|-----------------|
| DESIGN | NET | 0985470 BC LTD. |

| DESIGN | NET | CLIENT NAME |
|--------|-----|-----------------|
| DESIGN | NET | 0985470 BC LTD. |

| DESIGN | NET | CLIENT NAME |
|--------|-----|-----------------|
| DESIGN | NET | 0985470 BC LTD. |

| DATE | BY | REVISION DESCRIPTION |
|----------|-----|--|
| 06/02/23 | JTD | SUBMITTED TO DISTRICT OF UCLULET FOR REVIEW - NOT FOR CONSTRUCTION |
| 07/29/23 | JTD | DISTRICT OF UCLULET COMMENTS ADDRESSED - NOT FOR CONSTRUCTION |

| DATE | BY | REVISION DESCRIPTION |
|----------|-----|--|
| 06/02/23 | JTD | SUBMITTED TO DISTRICT OF UCLULET FOR REVIEW - NOT FOR CONSTRUCTION |
| 07/29/23 | JTD | DISTRICT OF UCLULET COMMENTS ADDRESSED - NOT FOR CONSTRUCTION |

| DATE | BY | REVISION DESCRIPTION |
|----------|-----|--|
| 06/02/23 | JTD | SUBMITTED TO DISTRICT OF UCLULET FOR REVIEW - NOT FOR CONSTRUCTION |
| 07/29/23 | JTD | DISTRICT OF UCLULET COMMENTS ADDRESSED - NOT FOR CONSTRUCTION |

PRELIMINARY FOR
50% REVIEW - NOT FOR
CONSTRUCTION

NEWCASTLE
NEWCASTLE
4-3122 BRIDGE
PROJECT NO. 0370-038
DRAWING NO. 06
REVISION NO. 01
CITY PLAN FILE NO.

**ROAD B
AND STORM SEWER
STATION 2+180 TO 2+248**

CLIENT NAME
0985470 BC LTD.

PROJECT NAME
**LOT 16 MARINE DRIVE
UCULET, BC**

DESIGN NET
DRAWN JTD
CHECKED NET
PLOT DATE 01-30-23
PRINT DATE

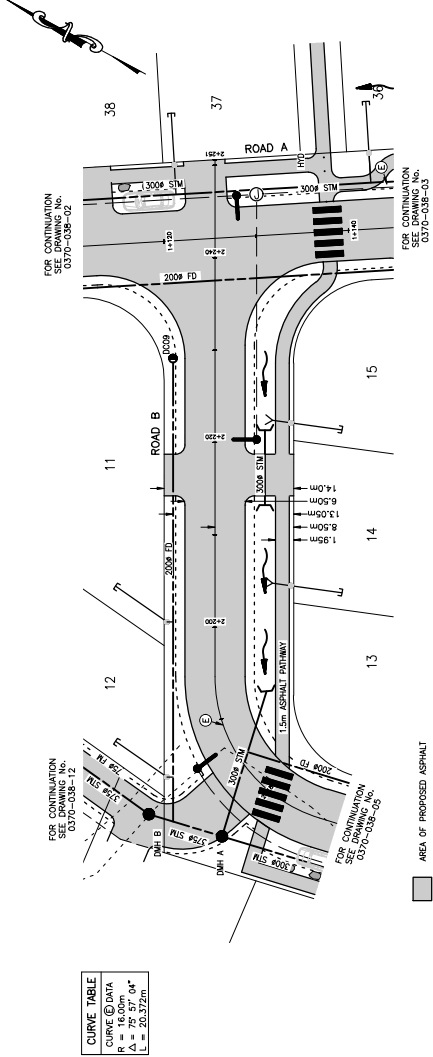
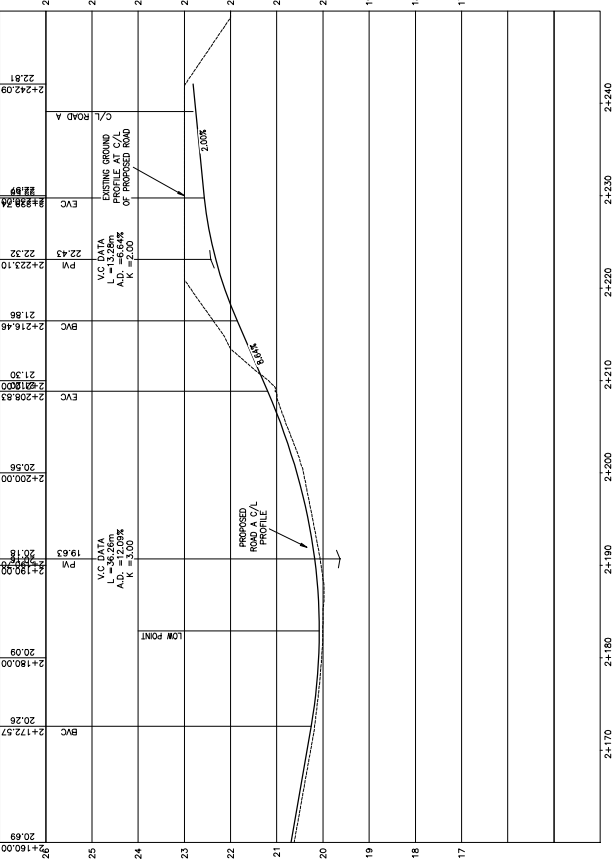
ES&S PERMIT TO PRACTICE NUMBER: 1000856
VERTICAL SCALE
1:25.00

SITE LEGAL DESCRIPTION
DISTRICT LOT 281, CLAYOQUOT DISTRICT

BENCHMARK DESCRIPTION
**TEMPORARY BENCHMARK BGL5767 LOCATED AT THE
INTERSECTION OF MATTERSON STREET AND VICTORIA
ROAD. ELEVATION 20.730m**

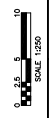
| REV. NO. | DATE | BY | REVISION DESCRIPTION |
|----------|----------|-----|--|
| 00 | 06/02/22 | JTD | SUBMITTED TO DISTRICT OF VULLETT FOR REVIEW - NOT FOR CONSTRUCTION |
| 01 | 01/20/23 | JTD | FOR REVIEW OF VULLETT COMMENTS ADDRESS - NOT FOR CONSTRUCTION |

- NOTES:
- SEE DRAWING 0370-038-100 FOR GENERAL NOTES.
 - THE LOCATIONS OF EXISTING SERVICES ARE SHOWN APPROXIMATELY AND THE EXACT LOCATIONS SHOULD BE VERIFIED BY THE CONTRACTOR PRIOR TO THE COMMENCEMENT OF WORK. EXISTING & PROPOSED SERVICES MAY REQUIRE ADJUSTMENT WHERE A CONFLICT OCCURS. THE ENGINEER SHALL BE NOTIFIED OF ANY CONFLICT.



CURVE @ DATA

R = 16.00m
Δ = 75.57 °R
L = 20.32m



AREA OF PROPOSED ASPHALT

PRELIMINARY FOR
50% REVIEW - NOT FOR
CONSTRUCTION

**ROAD A
WATER AND SANITARY SEWER
STATION 1+000 TO 1+160**

0985470 BC LTD.
**LOT 16 MARINE DRIVE
UCLEULET, BC**

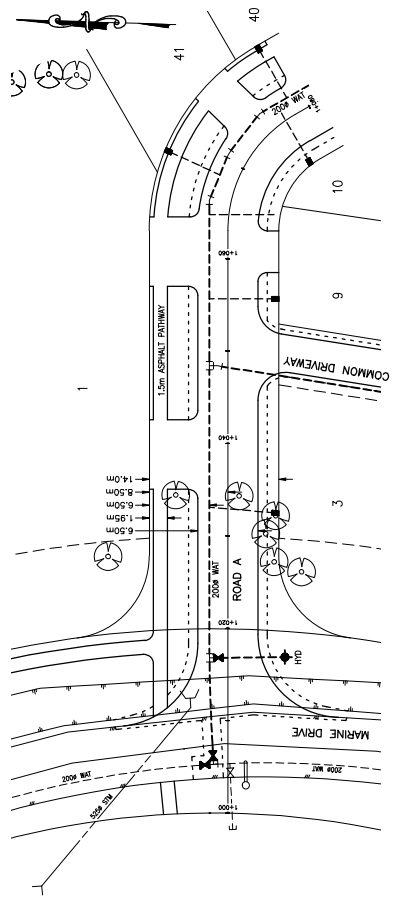
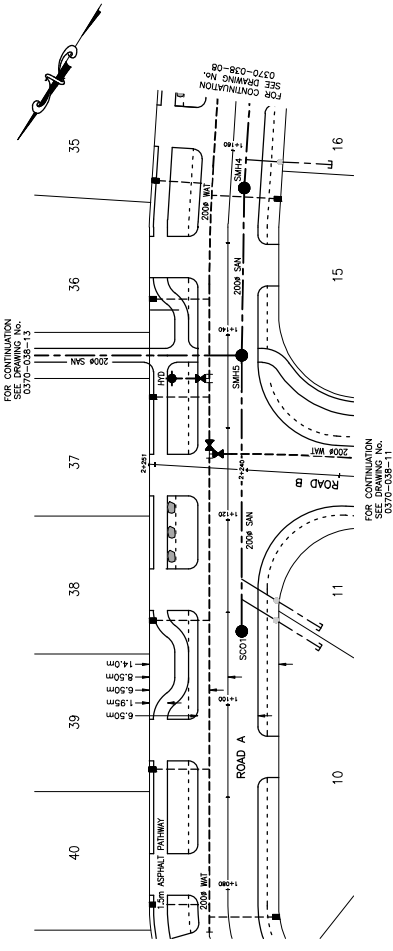
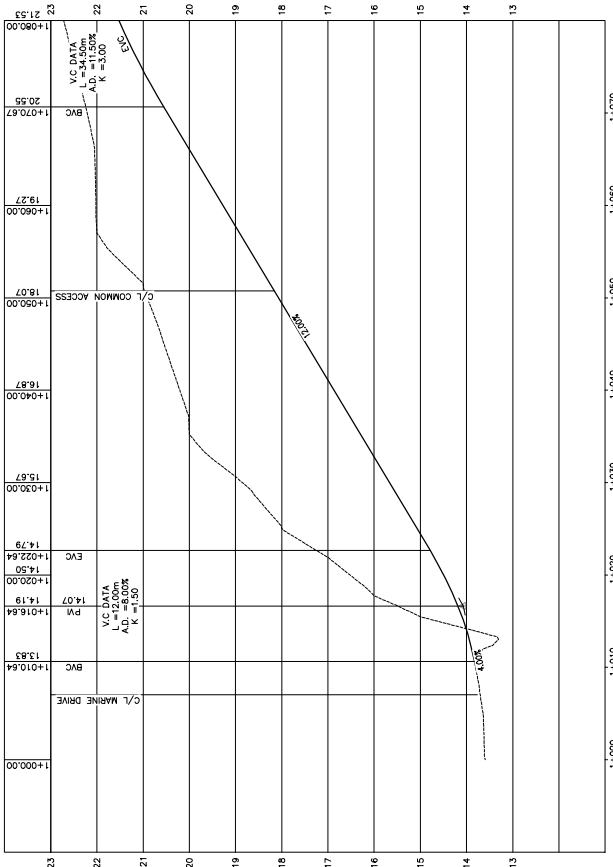
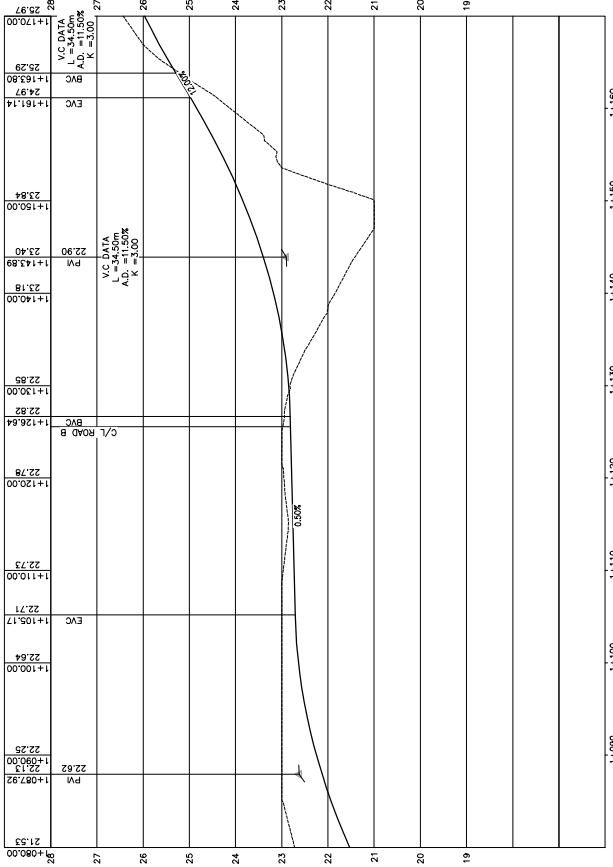
DISTRICT LOT 281, CLAYOQUET DISTRICT
**TEMPORARY BENCHMARK BGL5767 LOCATED AT THE
INTERSECTION OF MATTERSON STREET AND VICTORIA
ROAD, ELEVATION 20.730m**

LEGEND

| SYMBOL | DESCRIPTION |
|----------|--------------------------------|
| (Symbol) | EXISTING ASPHALT DRIVEWAY |
| (Symbol) | PROPOSED ASPHALT DRIVEWAY |
| (Symbol) | EXISTING SANITARY SEWER |
| (Symbol) | PROPOSED SANITARY SEWER |
| (Symbol) | EXISTING WATERMAIN |
| (Symbol) | PROPOSED WATERMAIN |
| (Symbol) | EXISTING ELECTRICAL DUCT |
| (Symbol) | PROPOSED ELECTRICAL DUCT |
| (Symbol) | EXISTING SIDEWALK |
| (Symbol) | PROPOSED SIDEWALK |
| (Symbol) | EXISTING CURB |
| (Symbol) | PROPOSED CURB |
| (Symbol) | EXISTING STREETLIGHT |
| (Symbol) | PROPOSED STREETLIGHT |
| (Symbol) | EXISTING UTILITY |
| (Symbol) | PROPOSED UTILITY |
| (Symbol) | EXISTING LIMIT OF CONSTRUCTION |
| (Symbol) | PROPOSED LIMIT OF CONSTRUCTION |

| REV. NO. | DATE | BY | REVISION DESCRIPTION |
|----------|----------|-----|--|
| 00 | 06/22/21 | JTD | ISSUED TO DISTRICT OF UCLEULET FOR REVIEW - NOT FOR CONSTRUCTION |
| 01 | 01/29/23 | JTD | FOR BETTER OF UCLEULET COMMENTS ADDRESSED - NOT FOR CONSTRUCTION |

- NOTES:**
- SEE DRAWING 0370-038-100 FOR GENERAL NOTES.
 - THE LOCATIONS OF EXISTING SERVICES ARE SHOWN APPROXIMATELY, AND THE LOCATIONS OF EXISTING SERVICES ARE SHOWN APPROXIMATELY, AND THE COMMENCEMENT OF WORK, EXISTING & PROPOSED SERVICES MAY REQUIRE ADJUSTMENT WHERE A CONFLICT OCCURS. THE ENGINEER SHALL BE NOTIFIED BY ANY CONTRACTOR.



PRELIMINARY FOR
50% REVIEW - NOT FOR CONSTRUCTION



01
WATER AND SANITARY SEWER
STATION 1+160 TO 1+260

DRAWING NO. 0370-038
REVISION NO. 08
00

CLIENT NAME
0985470 BC LTD.

PROJECT NAME
LOT 16 MARINE DRIVE
UCLEULET, BC

| | | | |
|------------------|----------|------------------|----------|
| DESIGN | NET | JTD | NET |
| DRAWN | NET | NET | NET |
| CHECKED | NET | NET | NET |
| DESIGNER | NET | NET | NET |
| DATE | NET | NET | NET |
| PRINT DATE | NET | NET | NET |
| VERTICAL SCALE | 1:25.00 | VERTICAL SCALE | 1:50.00 |
| HORIZONTAL SCALE | 1:125.00 | HORIZONTAL SCALE | 1:125.00 |

SITE LEGAL DESCRIPTION
DISTRICT LOT 281, CLAYOQUET DISTRICT

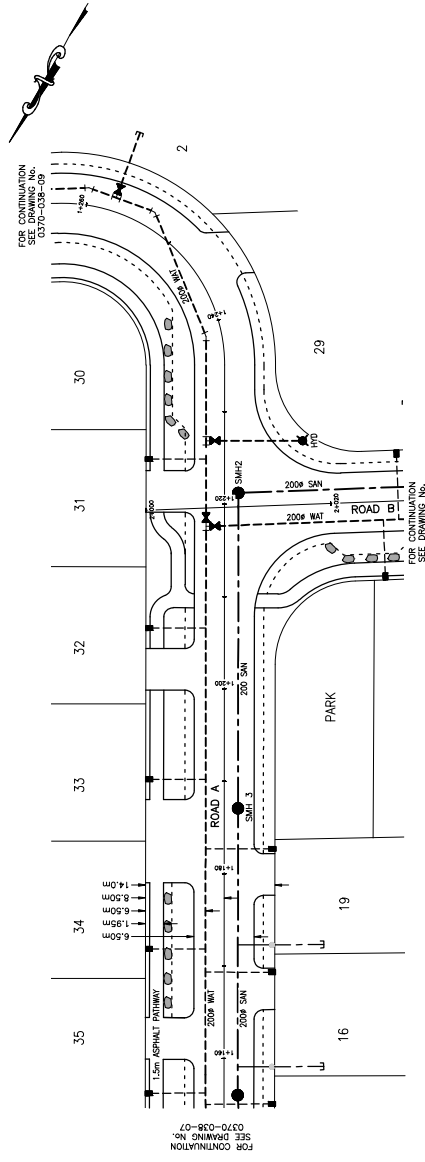
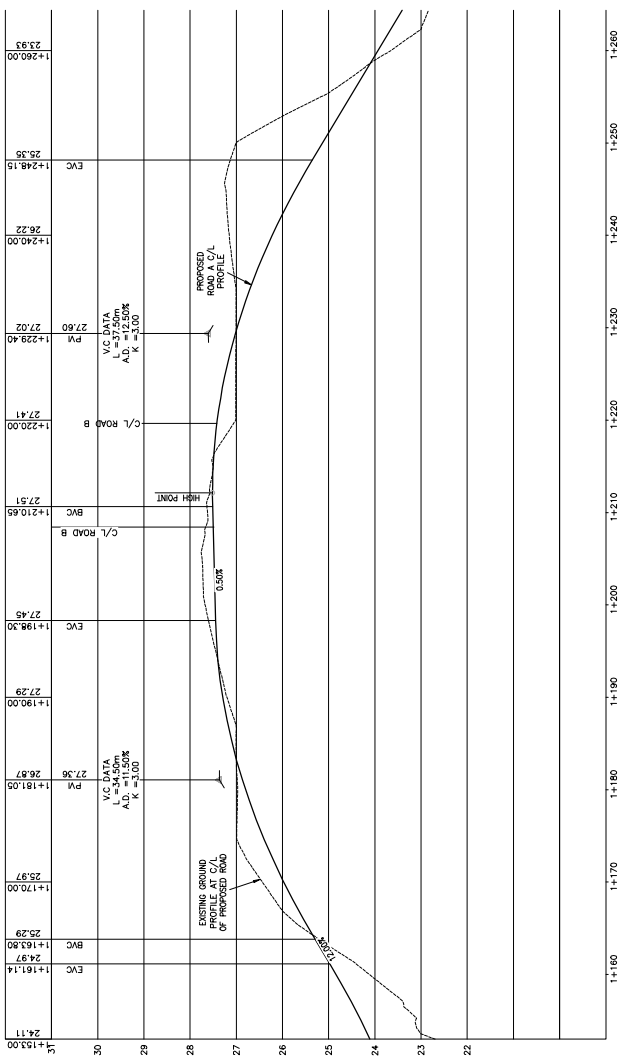
BENCHMARK DESCRIPTION
TEMPORARY BENCHMARK BGL5767 LOCATED AT THE INTERSECTION OF MATTERSON STREET AND VICTORIA ROAD. ELEVATION 20.730m

LEGEND

| PROPOSED | EXISTING |
|----------------------|----------------------|
| WATERMAIN | WATERMAIN |
| SANITARY SEWER | SANITARY SEWER |
| STORMWATER | STORMWATER |
| ELECTRIC DUCT | ELECTRIC DUCT |
| TELEPHONE DUCT | TELEPHONE DUCT |
| WATER METER | WATER METER |
| WATER VALVE | WATER VALVE |
| WATER CLEANOUT | WATER CLEANOUT |
| WATER STOP VALVE | WATER STOP VALVE |
| WATER STREET CLOSURE | WATER STREET CLOSURE |
| WATER STREET CLOSURE | WATER STREET CLOSURE |

| REV. | NO. | DATE | BY | REVISION DESCRIPTION |
|------|----------|------|----|---|
| 00 | 06/22/21 | JTD | | SUBMITTED TO DISTRICT OF VICTORIA FOR REVIEW - NOT FOR CONSTRUCTION |
| 01 | 01/29/23 | JTD | | DISTRICT OF VICTORIA COMMENTS ADDRESSED - NOT FOR CONSTRUCTION |

NOTES:
1. SEE DRAWING 0370-038-100 FOR GENERAL NOTES.
2. THE LOCATIONS OF EXISTING SERVICES ARE SHOWN APPROXIMATELY AND THE EXISTING SERVICES ARE SHOWN APPROXIMATELY. THE COMMENCEMENT OF WORK, EXISTING & PROPOSED SERVICES MAY REQUIRE ADJUSTMENT WHERE A CONFLICT OCCURS. THE ENGINEER SHALL BE ADVISED OF ANY CONFLICT.



PRELIMINARY FOR
50% REVIEW - NOT FOR
CONSTRUCTION

**ROAD A
WATER AND SANITARY SEWER
STATION 1+260 TO 1+353**

PROJECT No. 0370-038
DRAWING No. 09
REVISION No. 01
CITY PLAN FILE No.

0985470 BC LTD.

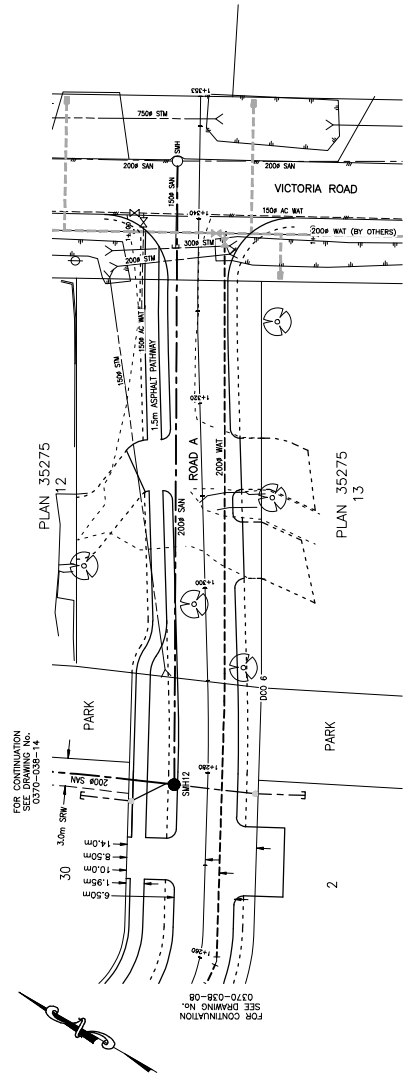
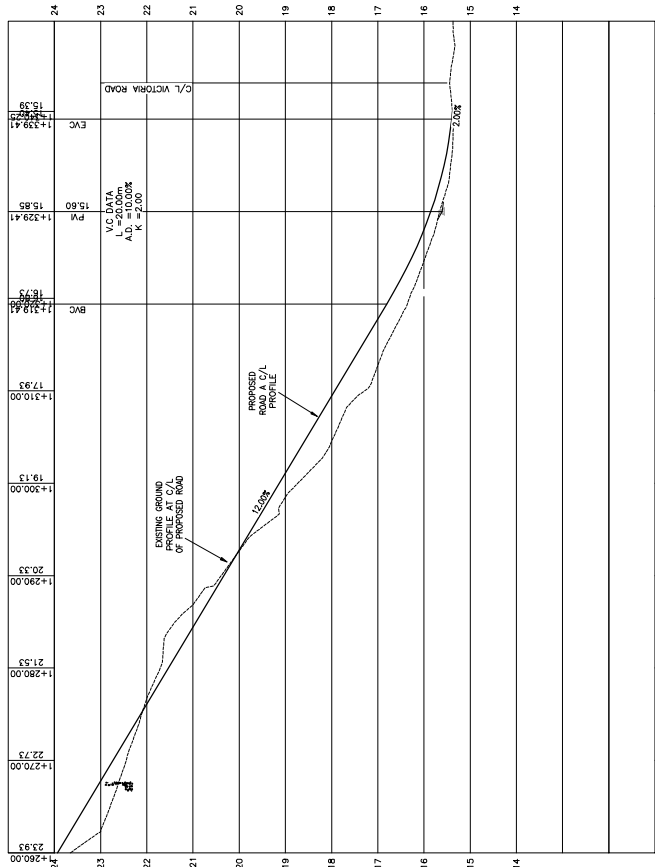
LOT 16 MARINE DRIVE
UCLEULET, BC

DESIGNER'S SEAL
CLIENT NAME
DESIGN NET
DRAWN JTD
CHECKED NET
PLOT DATE 01-30-23
PRINT DATE
ES&S PERMIT TO PRACTICE NUMBER: 1000856
VERTICAL SCALE 1:250
HORIZONTAL SCALE 1:250

SITE LEGAL DESCRIPTION
DISTRICT LOT 281, CLAYOQUET DISTRICT
BENCHMARK DESCRIPTION
TEMPORARY BENCHMARK BGL5767 LOCATED AT THE
INTERSECTION OF MATTERSON STREET AND VICTORIA
ROAD. ELEVATION 20.730m

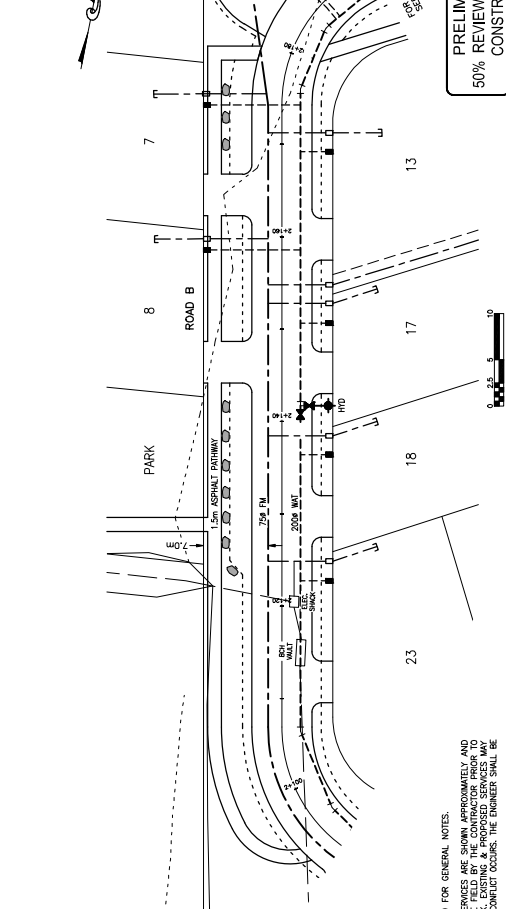
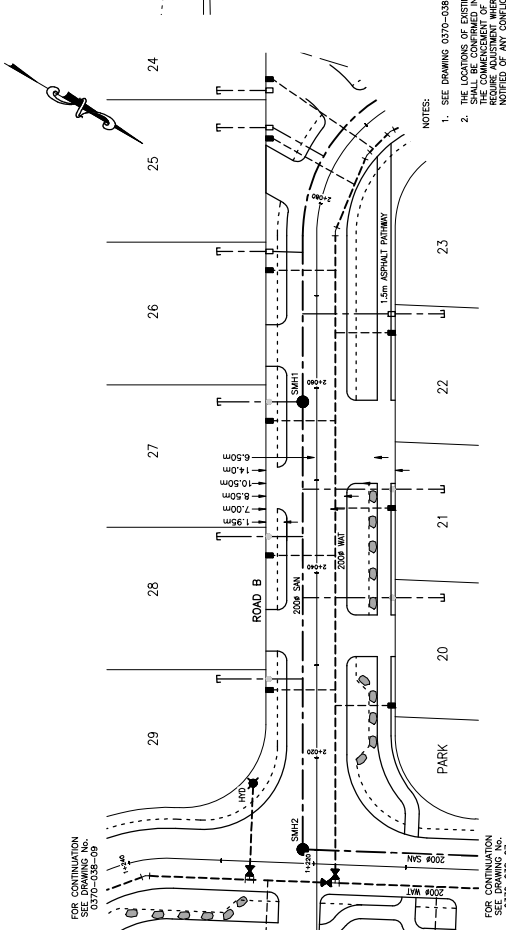
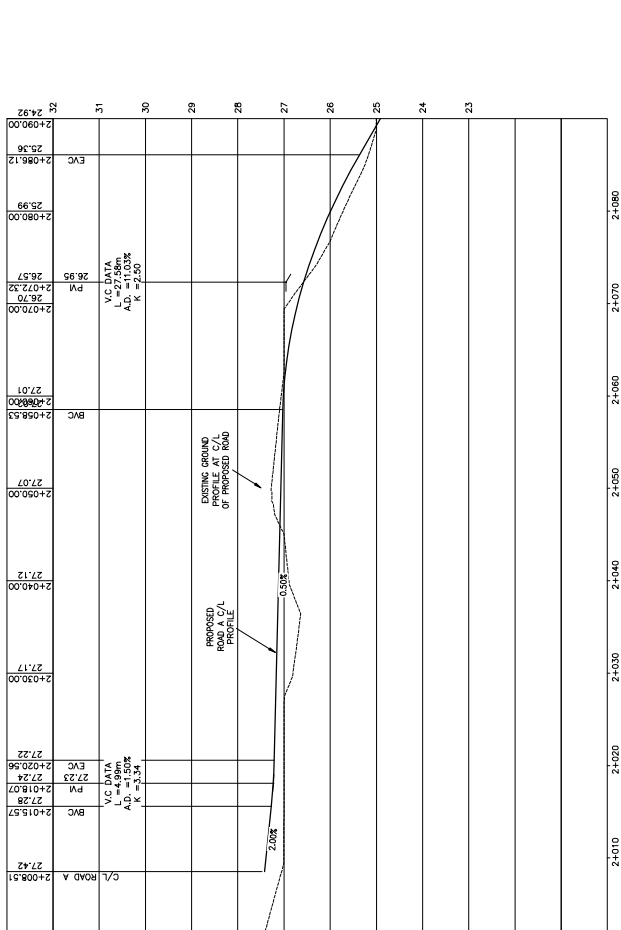
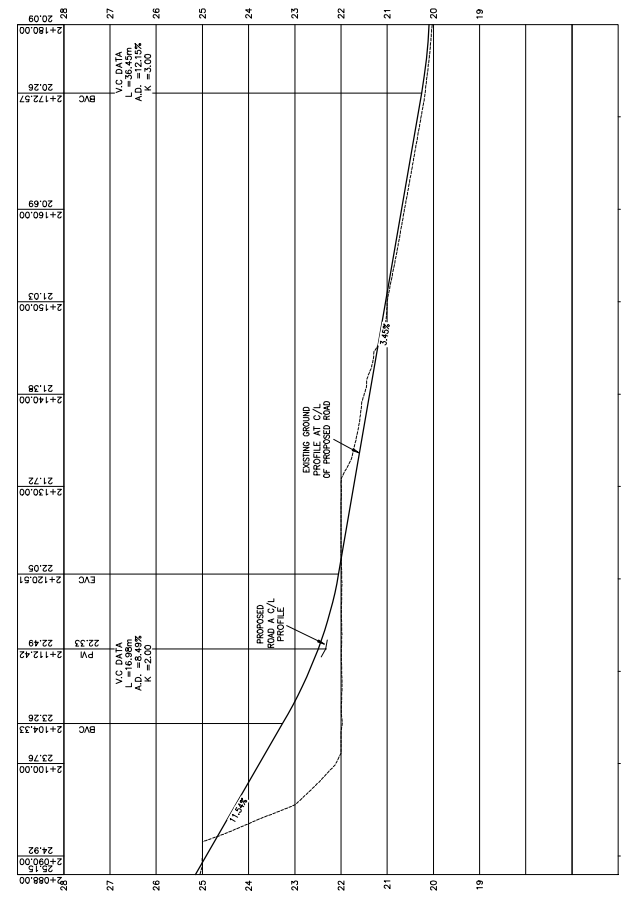
| REV. No. | DATE | BY | REVISION DESCRIPTION |
|----------|----------|-----|---|
| 00 | 06/02/22 | JTD | SUBMITTED TO DISTRICT OF UCLUELET FOR REVIEW - NOT FOR CONSTRUCTION |
| 01 | 01/30/23 | JTD | FOR 50% REVIEW - NOT FOR CONSTRUCTION |

- NOTES:
- SEE DRAWING 0370-038-100 FOR GENERAL NOTES.
 - THE LOCATIONS OF EXISTING SERVICES ARE SHOWN APPROXIMATELY AND THE EXISTING SERVICES ARE NOT TO BE USED FOR THE COMMENCEMENT OF WORK. EXISTING & PROPOSED SERVICES MAY REQUIRE ADJUSTMENT WHERE A CONFLICT OCCURS. THE ENGINEER SHALL BE ADVISED OF ANY CONFLICT.



PRELIMINARY
NOT FOR CONSTRUCTION

| PROPOSED | EXISTING |
|---------------------------|---------------------------|
| --- WATERMAIN | --- WATERMAIN |
| --- SANITARY SEWER | --- SANITARY SEWER |
| --- ELECTRICAL DUCT | --- ELECTRICAL DUCT |
| --- MET/UTILITY HANDHOLE | --- MET/UTILITY HANDHOLE |
| --- EDGE OF PAVEMENT | --- EDGE OF PAVEMENT |
| --- LIMIT OF CONSTRUCTION | --- LIMIT OF CONSTRUCTION |



NOTES:
 1. SEE DRAWING 0370-038-100 FOR GENERAL NOTES.
 2. THE LOCATIONS OF EXISTING SERVICES ARE SHOWN APPROXIMATELY AND THE EXISTING UTILITIES ARE SHOWN AS LOCATIONS ONLY. THE COMMENCEMENT OF WORK, EXISTING AS PROPOSED SERVICES MAY REQUIRE ADJUSTMENT WHERE A CONFLICT OCCURS. THE ENGINEER SHALL BE NOTIFIED OF ANY CONFLICT.

| | | | | | | | | | | |
|---|------------|--|---|--|--|-------------------------|-------------------|--------------------|--------------------|--|
| No. DATE BY REVISION DESCRIPTION 00 06/02/22 JTD SUBMITTED TO DISTRICT OF VULBERT FOR REVIEW - NOT FOR CONSTRUCTION 01 07/29/23 JTD DISTRICT OF VULBERT COMMENTS ADDRESSED - NOT FOR CONSTRUCTION | ENG HHT | LEGEND EXIST: ASPHALT, SANITARY SEWER, ELECTRICAL DUCT, FISH, SIDE OF PAVEMENT, LIMIT OF CONSTRUCTION PROP: PROPOSED ASPHALT, SANITARY SEWER, ELECTRICAL DUCT, FISH, SIDE OF PAVEMENT, LIMIT OF CONSTRUCTION | SITE LEGAL DESCRIPTION DISTRICT LOT 281, CLAYOQUET DISTRICT BENCHMARK DESCRIPTION TEMPORARY BENCHMARK BGL5767 LOCATED AT THE INTERSECTION OF MATTERSON STREET AND VICTORIA ROAD. ELEVATION 20.730m | ENGINEER'S SEAL DESIGNED BY: NET DRAWN BY: NET CHECKED BY: NET PLOT DATE: 01-30-23 EGRESS PERMIT TO PRACTICE NUMBER: 1000856 HORIZONTAL SCALE: 1:250 VERTICAL SCALE: 1:50 | CLIENT NAME 0985470 BC LTD. PROJECT NAME LOT 16 MARINE DRIVE UCLULET, BC | PROJECT NO. 0370-038 | DRAWING NO. 10 | REVISION NO. 01 | CITY PLAN FILE NO. | PRELIMINARY FOR 50% REVIEW - NOT FOR CONSTRUCTION |
| | | | | | | | | | | ROAD B WATER AND SANITARY SEWER STATION 2+000 TO 2+180 |

DVP for Subdivision Servicing - Lot 16 Marine Drive/ 449 Matterson Drive...

PRELIMINARY FOR 50% REVIEW - NOT FOR CONSTRUCTION

PROJECT No. 0370-038
 DRAWING No. 11
 REGION No. 01
 CITY PLAN FILE No.

DRAWING TITLE
ROAD B WATER AND SANITARY SEWER STATION 2+180 TO 2+248

CLIENT NAME
0985470 BC LTD.

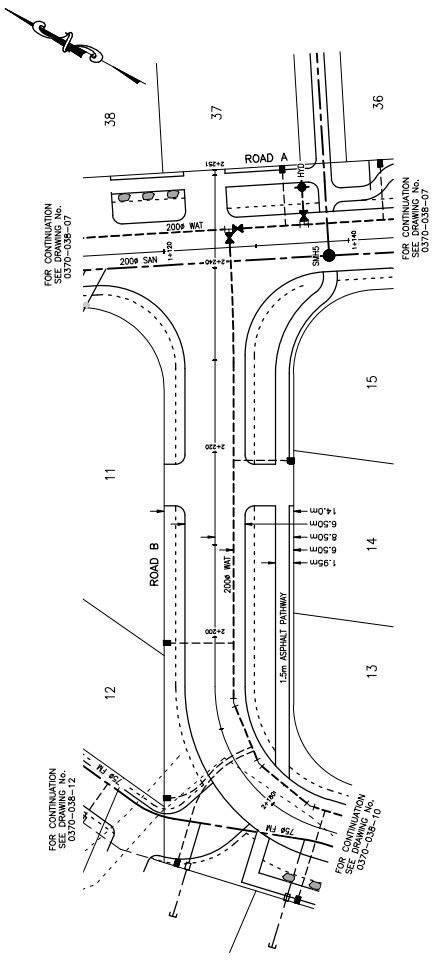
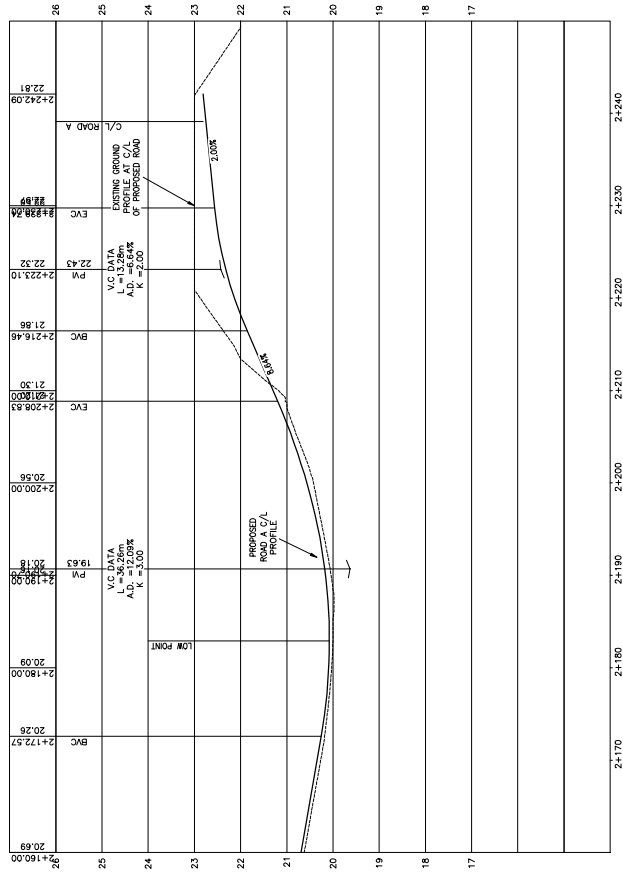
PROJECT NAME
LOT 16 MARINE DRIVE UCLUELET, BC

DESIGNER'S SEAL
 DESIGNER: NET
 DRAWN: JTD
 CHECKED: NET
 PROJECT DATE: 01-30-23
 PRINT DATE: 01-30-23
 EGRESS PERMIT TO PRACTICE NUMBER: 1000856
 HORIZONTAL SCALE: 1:250
 VERTICAL SCALE: 1:50

SITE LEGAL DESCRIPTION
DISTRICT LOT 281, CLAYOQUET DISTRICT

BENCHMARK DESCRIPTION
TEMPORARY BENCHMARK BGL5767 LOCATED AT THE INTERSECTION OF MATTERSON STREET AND VICTORIA ROAD. ELEVATION 20.730m

PRELIMINARY NOT FOR CONSTRUCTION



- NOTES:
- SEE DRAWING 0370-038-100 FOR GENERAL NOTES.
 - THE LOCATIONS OF EXISTING SERVICES ARE SHOWN APPROXIMATELY AND THE ENGINEER SHALL VERIFY THE EXISTENCE AND DEPTHS OF ALL SERVICES PRIOR TO THE COMMENCEMENT OF WORK. EXISTING & PROPOSED SERVICES MAY REQUIRE ADJUSTMENT WHERE A CONFLICT OCCURS. THE ENGINEER SHALL BE RESPONSIBLE FOR ANY CONFLICT.

PRELIMINARY FOR
50% REVIEW - NOT FOR
CONSTRUCTION

**COMMON ACCESS DRIVEWAY
WATER, SANITARY FORCEMAIN,
STORM DRAINAGE AND SERVICING**

PROJECT No. 0370-038 DRAWING No. 12 REVISION No. 01 CITY PLAN FILE No.

CLIENT NAME
0985470 BC LTD.

PROJECT NAME
**LOT 16 MARINE DRIVE
UCULET, BC**

DESIGN NET
DRAWN JTD
CHECKED NET
PLOT DATE 01-30-23
PRINT DATE

ENGINEER'S SEAL
EGBC PERMIT TO PRACTICE NUMBER: 100856
HORIZONTAL SCALE 1:250
VERTICAL SCALE 1:50

SITE LEGAL DESCRIPTION
DISTRICT LOT 281, CLAYOQUOT DISTRICT

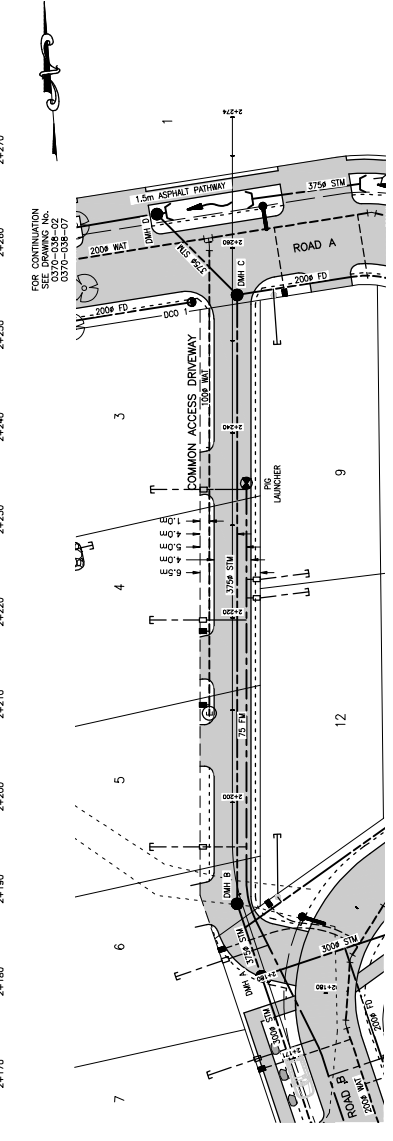
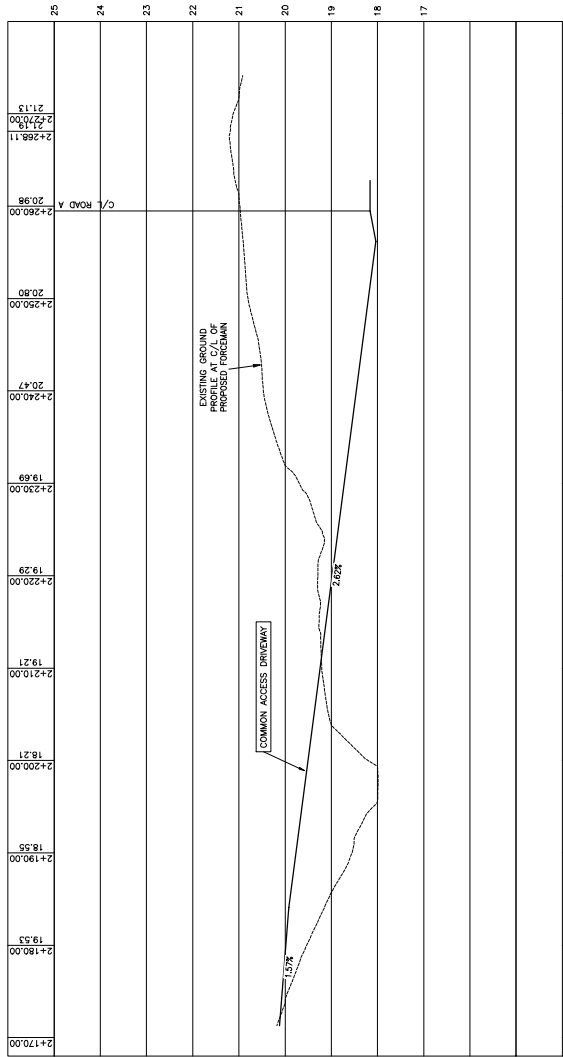
BENCHMARK DESCRIPTION
**TEMPORARY BENCHMARK BGL5767 LOCATED AT THE
INTERSECTION OF MATTERSON STREET AND VICTORIA
ROAD. ELEVATION 20.730m**

LEGEND

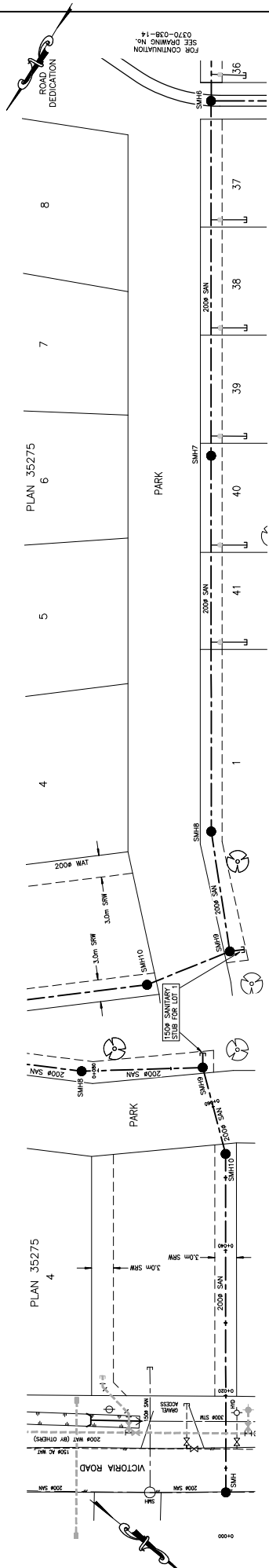
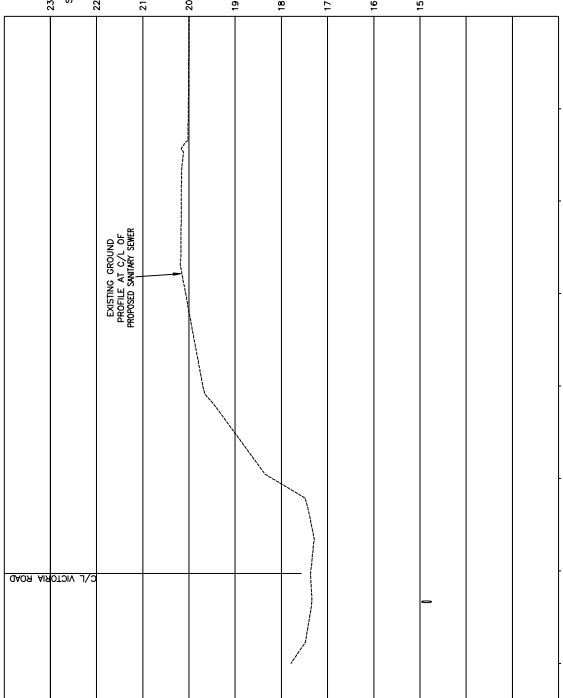
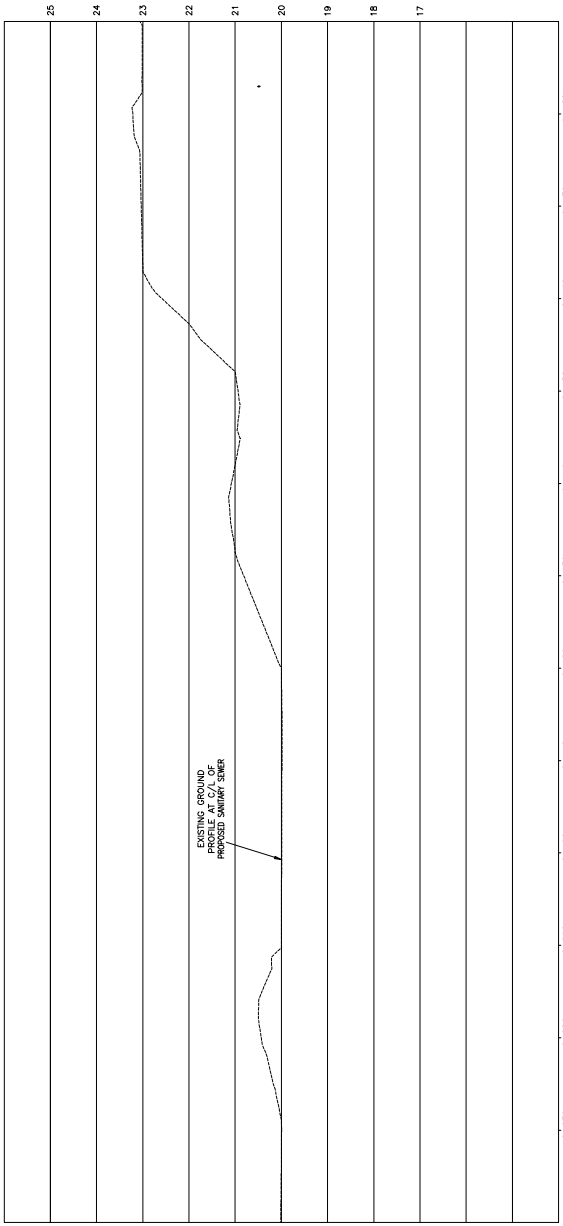
| PROPOSED | EXISTING |
|---------------------------|---------------------------|
| --- WATERMAIN | --- WATERMAIN |
| --- SANITARY SEWER | --- SANITARY SEWER |
| --- STORM DRAINAGE | --- STORM DRAINAGE |
| --- ELECTRICAL DUCT | --- ELECTRICAL DUCT |
| --- MET/UTILITY MAIN | --- MET/UTILITY MAIN |
| --- FISH | --- FISH |
| --- EDGE OF PAVEMENT | --- EDGE OF PAVEMENT |
| --- SIDEWALK | --- SIDEWALK |
| --- LIMIT OF CONSTRUCTION | --- LIMIT OF CONSTRUCTION |

| REV. No. | DATE | BY | REVISION DESCRIPTION |
|----------|----------|-----|--|
| 00 | 06/02/22 | JTD | SUBMITTED TO DISTRICT OF VULBERT FOR REVIEW - NOT FOR CONSTRUCTION |
| 01 | 01/30/23 | JTD | FOR 50% REVIEW - NOT FOR CONSTRUCTION |

- NOTES:
- SEE DRAWING 0370-038-100 FOR GENERAL NOTES.
 - THE LOCATIONS OF EXISTING SERVICES ARE SHOWN APPROXIMATELY AND THE ENGINEER HAS NOT CONDUCTED FIELD VERIFICATION OF THE EXISTING SERVICES. THE ENGINEER SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF EXISTING SERVICES PRIOR TO THE COMMENCEMENT OF WORK. EXISTING & PROPOSED SERVICES MAY REQUIRE ADJUSTMENT WHERE A CONFLICT OCCURS. THE ENGINEER SHALL BE RESPONSIBLE FOR ANY CONFLICTS.



DVP for Subdivision Servicing - Lot 16 Marine Drive/ 449 Matterson Drive...



FOR CONTINUATION
SEE DRAWING NO.
0370-038-07

PRELIMINARY
50% REVIEW - NOT
FOR CONSTRUCTION

| | |
|--------------------------------|--------------|
| DESIGNER'S SEAL | CLIENT NAME |
| DATE | PROJECT NAME |
| BY | PROJECT NO. |
| CHECKED | DRAWING NO. |
| DATE | REVISION NO. |
| PROJECT DATE | 01-30-23 |
| ES&C PERMIT TO PRACTICE NUMBER | 1000856 |
| PROFESSIONAL SEAL | 1:250 |
| VERTICAL SCALE | 1:50 |

0 1 2 3 4 5 6 7 8 9 10
SCALE 1:500

PRELIMINARY
NOT FOR CONSTRUCTION

| REV. NO. | DATE | BY | REVISION DESCRIPTION |
|----------|----------|-----|---|
| 00 | 06/02/22 | JTD | SUBMITTED TO DISTRICT OF VICTORIA FOR REVIEW - NOT FOR CONSTRUCTION |
| 01 | 01/30/23 | JTD | REVISION TO DISTRICT OF VICTORIA COMMENTS INCORPORATED - NOT FOR CONSTRUCTION |

NOTES:
1. SEE DRAWING 0370-038-100 FOR GENERAL NOTES.
2. THE LOCATIONS OF EXISTING SERVICES ARE SHOWN APPROXIMATELY AND THE COMMENCEMENT OF WORK EXISTING AT PROPOSED SERVICES MAY REQUIRE ADJUSTMENT WHERE A CONFLICT OCCURS. THE ENGINEER SHALL BE NOTIFIED OF ANY CONFLICT.

| | | | | | | | |
|---|--|---|--|--|-------------------|--------------------|--------------------|
| NEWMARK ENGINEERING 4-2178 BAYVIEW AVE SCARBOROUGH, ONTARIO M1S 2S7 PHONE: (416) 291-7272 FAX: (416) 291-7273 | | DRAWING TITLE PARKLAND DEDICATION SANITARY SEWER STATION 0+000 TO 0+180 | | PROJECT NO. 0370-038 | DRAWING NO. 13 | REVISION NO. 01 | CITY PLAN FILE NO. |
| DESIGNER'S SEAL CHRYSTAL J. THORNTON ENGINEER REG. NO. 1000856 | | CLIENT NAME 0985470 BC LTD. | | PROJECT NAME LOT 16 MARINE DRIVE UCLUELET, BC | | | |
| DISTRICT LOT 281, CLAYQUOT DISTRICT TEMPORARY BENCHMARK BOLS767 LOCATED AT THE INTERSECTION OF MATTERSON STREET AND VICTORIA ROAD. ELEVATION 20.730m | | BENCHMARK DESCRIPTION TEMPORARY BENCHMARK BOLS767 LOCATED AT THE INTERSECTION OF MATTERSON STREET AND VICTORIA ROAD. ELEVATION 20.730m | | LEGEND EXIST. PROPOSED BOUNDARY SANITARY SEWER ELECTRICAL DUCT MET/OUTLET MANHOLE DITCH (W/LET) MANHOLE DITCH (W/O) MANHOLE EDGE OF PAVEMENT EDGE OF ROADWAY LIMIT OF CONSTRUCTION | | | |

PRELIMINARY FOR 50% REVIEW - NOT FOR CONSTRUCTION



PARKLAND DEDICATION
SANITARY SEWER
STATION 0+180 TO 0+300

LOT 16 MARINE DRIVE
UCLEULET, BC

CLIENT NAME
0985470 BC LTD.

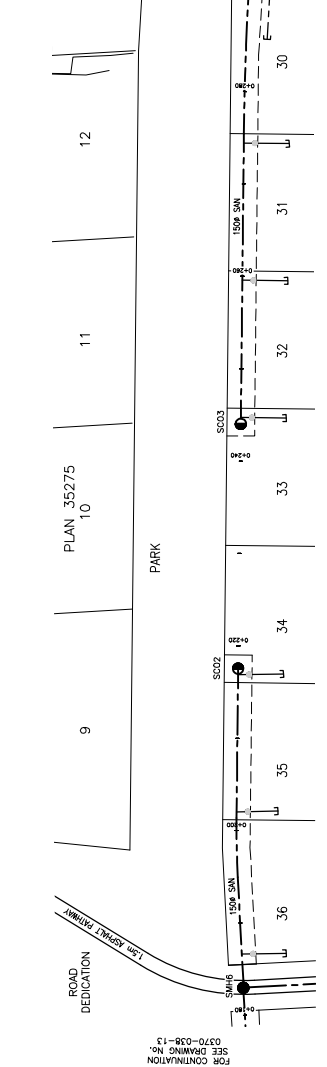
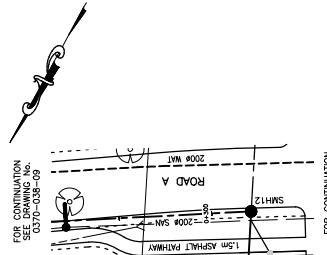
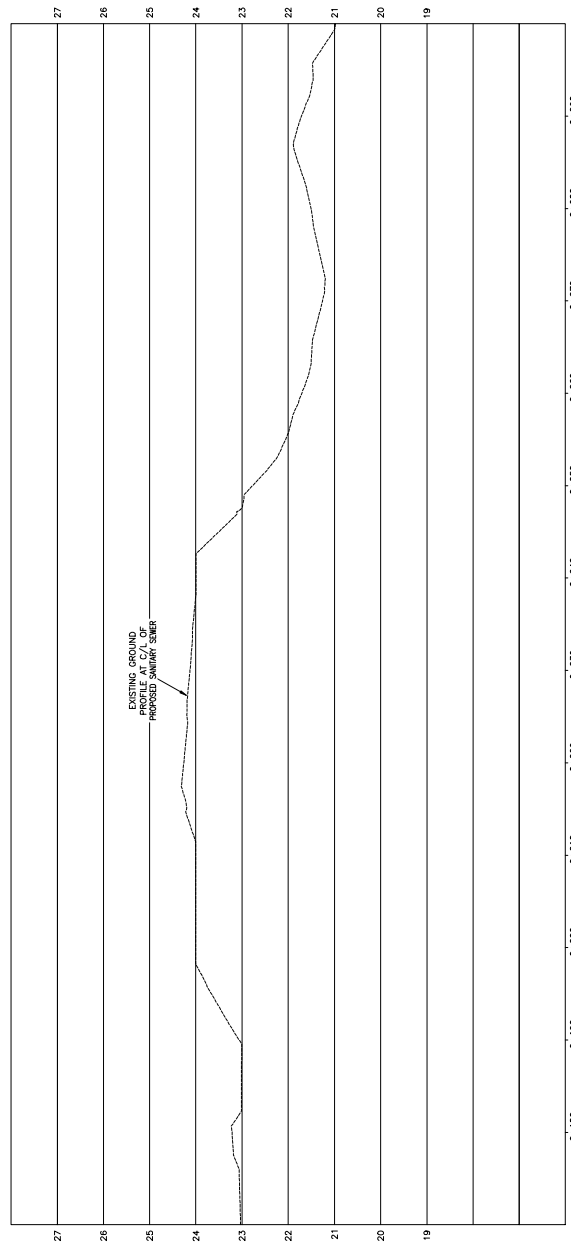
DESIGN NET
DRAWN JTD
CHECKED NET
PLOT DATE 01-30-23
PRINT DATE
ES&C PERMIT TO PRACTICE NUMBER: 1000856
VERTICAL SCALE
1:25.00

SITE LEGAL DESCRIPTION
DISTRICT LOT 281, CLAYOQUOT DISTRICT
BENCHMARK DESCRIPTION
TEMPORARY BENCHMARK BGL5767 LOCATED AT THE INTERSECTION OF MATTERSON STREET AND VICTORIA ROAD. ELEVATION 20.730m

LEGEND
PROPOSED: SANITARY SEWER, SANITARY SEWER, ELECTRIC DUCT, MET/VOLTS/RAINWATER, EDGE OF PAVEMENT, LIMIT OF CONSTRUCTION
EXISTING: EXISTING SANITARY SEWER, EXISTING ELECTRIC DUCT, EXISTING MET/VOLTS/RAINWATER, EXISTING EDGE OF PAVEMENT, EXISTING LIMIT OF CONSTRUCTION

| REV. NO. | DATE | BY | REVISION DESCRIPTION |
|----------|----------|-----|---|
| 00 | 06/02/22 | JTD | ISSUED TO DISTRICT OF VULLETT FOR REVIEW - NOT FOR CONSTRUCTION |
| 01 | 01/29/23 | JTD | BENEFIT OF VULLETT COMMENTS ADDRESSED - NOT FOR CONSTRUCTION |

- NOTES:
- SEE DRAWING 0370-038-100 FOR GENERAL NOTES.
 - THE LOCATIONS OF EXISTING SERVICES ARE SHOWN APPROXIMATELY, AND THE ENGINEER HAS CONDUCTED VISUAL SURVEYS TO VERIFY THE PRESENCE OF SERVICES. THE COMMENCEMENT OF WORK, EXISTING & PROPOSED SERVICES MAY REQUIRE ADJUSTMENT WHERE A CONFLICT OCCURS. THE ENGINEER SHALL BE NOTIFIED OF ANY CONFLICT.



FOR CONTINUATION SEE DRAWING NO. 0370-038-100
FOR CONTINUATION SEE DRAWING NO. 0370-038-09
FOR CONTINUATION SEE DRAWING NO. 0370-038-13
FOR CONTINUATION SEE DRAWING NO. 0370-038-07

PRELIMINARY FOR
50% REVIEW - NOT FOR
CONSTRUCTION

NEWCASTLE
ENGINEERING
4-3122 BRIDGEWAY
FRASER CREEK, BC
V4R 1A6
CITY PLAN FILE NO.

GRADING PLAN
DRAWING NO. 0370-038
REVISION NO. 15
REVISION NO. 01

CLIENT NAME: 0985470 BC LTD.
PROJECT NAME: LOT 16 MARINE DRIVE UCLUELET, BC
DESIGN NET, JTD, CHECKED NET, PLOT DATE 01-30-23, PRINT DATE, EBCS PERMIT TO PRACTICE NUMBER: 100856, HORIZONTAL SCALE: 1:1250, VERTICAL SCALE

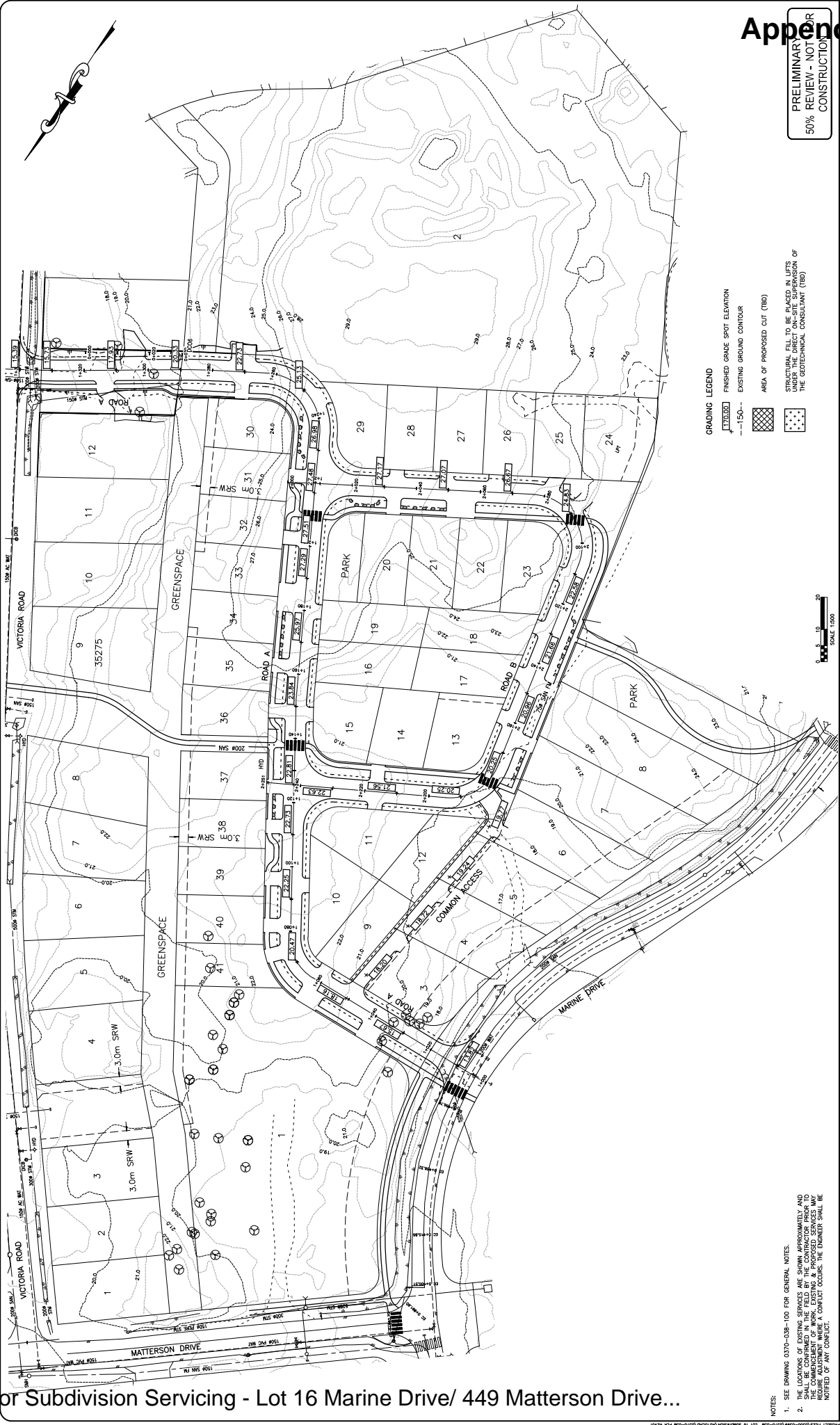
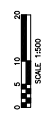
SITE LEGAL DESCRIPTION: DISTRICT LOT 281, CLAYOQUET DISTRICT
BENCHMARK DESCRIPTION: TEMPORARY BENCHMARK BGL5767 LOCATED AT THE INTERSECTION OF MATTERSON STREET AND VICTORIA ROAD, ELEVATION 207.30m

| PROG. | DATE | BY | REVISION DESCRIPTION |
|-------|----------|-----|--|
| 00 | 06/02/22 | JTD | ISSUED TO DISTRICT OF UCLUELET FOR REVIEW - NOT FOR CONSTRUCTION |
| 01 | 01/30/23 | JTD | FORSET OF UCLUELET COMMENTS ADDRESS - NOT FOR CONSTRUCTION |

| PROG. | DATE | BY | REVISION DESCRIPTION |
|-------|----------|-----|--|
| 00 | 06/02/22 | JTD | ISSUED TO DISTRICT OF UCLUELET FOR REVIEW - NOT FOR CONSTRUCTION |
| 01 | 01/30/23 | JTD | FORSET OF UCLUELET COMMENTS ADDRESS - NOT FOR CONSTRUCTION |

- NOTES:
- SEE DRAWING 0370-038-100 FOR GENERAL NOTES.
 - THE LOCATIONS OF EXISTING SERVICES ARE SHOWN APPROXIMATELY, AND THE COMMENCEMENT OF WORK, EXISTING & PROPOSED SERVICES MAY REQUIRE ADJUSTMENT WHERE A CONFLICT OCCURS. THE ENGINEER SHALL BE NOTIFIED OF ANY CONFLICT.

GRADING LEGEND
 FINISHED GRADE SPOT ELEVATION
 EXISTING GROUND CONTOUR
 AREA OF PROPOSED CUT (TBD)
 STRUCTURAL FILL TO BE PLACED IN LIFTS
 AS SHOWN IN SECTION OF
 THE GEOTECHNICAL CONSULTANT (TBD)



DVP for Subdivision Servicing - Lot 16 Marine Drive/ 449 Matterson Drive...

**PRELIMINARY FOR
50% REVIEW - NOT
FOR CONSTRUCTION**



- 1. SEE DRAWING 0370-038-109 FOR GENERAL NOTES.
- 2. THE LOCATIONS OF EXISTING SERVICES ARE SHOWN APPROXIMATELY, AND THE LOCATIONS OF PROPOSED SERVICES ARE SHOWN APPROXIMATELY. THE COMMENCEMENT OF WORK, EXISTING & PROPOSED SERVICES MAY REQUIRE ADJUSTMENT WHERE A CONFLICT OCCURS. THE ENGINEER SHALL BE INFORMED OF ANY CONFLICT.

| REV. NO. | DATE | BY | REVISION DESCRIPTION |
|----------|----------|-----|--|
| 00 | 06/22/22 | JTD | SUBMITTED TO DISTRICT OF VALLETT FOR REVIEW - NOT FOR CONSTRUCTION |
| 01 | 07/20/23 | JTD | DISTRICT OF VALLETT COMMENTS ADDRESSED - NOT FOR CONSTRUCTION |

| PROPOSED | | EXISTING | |
|----------|-----------------------|----------|-----------------------|
| — | UTILITY MAIN | — | UTILITY MAIN |
| — | SANITARY SEWER | — | SANITARY SEWER |
| — | ELECTRICAL DUCT | — | ELECTRICAL DUCT |
| — | NEUTRAL/PHASE/GROUND | — | NEUTRAL/PHASE/GROUND |
| — | EDGE OF PAVEMENT | — | EDGE OF PAVEMENT |
| — | EDGE OF DRIVEWAY | — | EDGE OF DRIVEWAY |
| — | EDGE OF SIDEWALK | — | EDGE OF SIDEWALK |
| — | LIMIT OF CONSTRUCTION | — | LIMIT OF CONSTRUCTION |

| SITING LEGAL DESCRIPTION | | BENCHMARK DESCRIPTION | |
|--------------------------|---------------------|--------------------------------------|--|
| DESIGN | NET | DISTRICT LOT 281, CLAYOQUET DISTRICT | TEMPORARY BENCHMARK BGL5767 LOCATED AT THE INTERSECTION OF MATTERSON STREET AND VICTORIA ROAD. ELEVATION 20.730m |
| DRAWN | JTD | | |
| CHECKED | NET | | |
| PROJECT NAME | LOT 16 MARINE DRIVE | | |
| CLIENT NAME | O985470 BC LTD. | | |
| PROJECT NO. | 0370-038 | | |
| DRAWING NO. | 16 | | |
| REVISION NO. | 01 | | |

CLIENT NAME
O985470 BC LTD.

PROJECT NAME
LOT 16 MARINE DRIVE
UCLEULET, BC

DESIGNER'S SEAL

DESIGNER: _____

DRAWN: _____

CHECKED: _____

DATE: 01-30-23

PRACTICE NUMBER: 100856

VERIFICATION SCALE: 1:1250

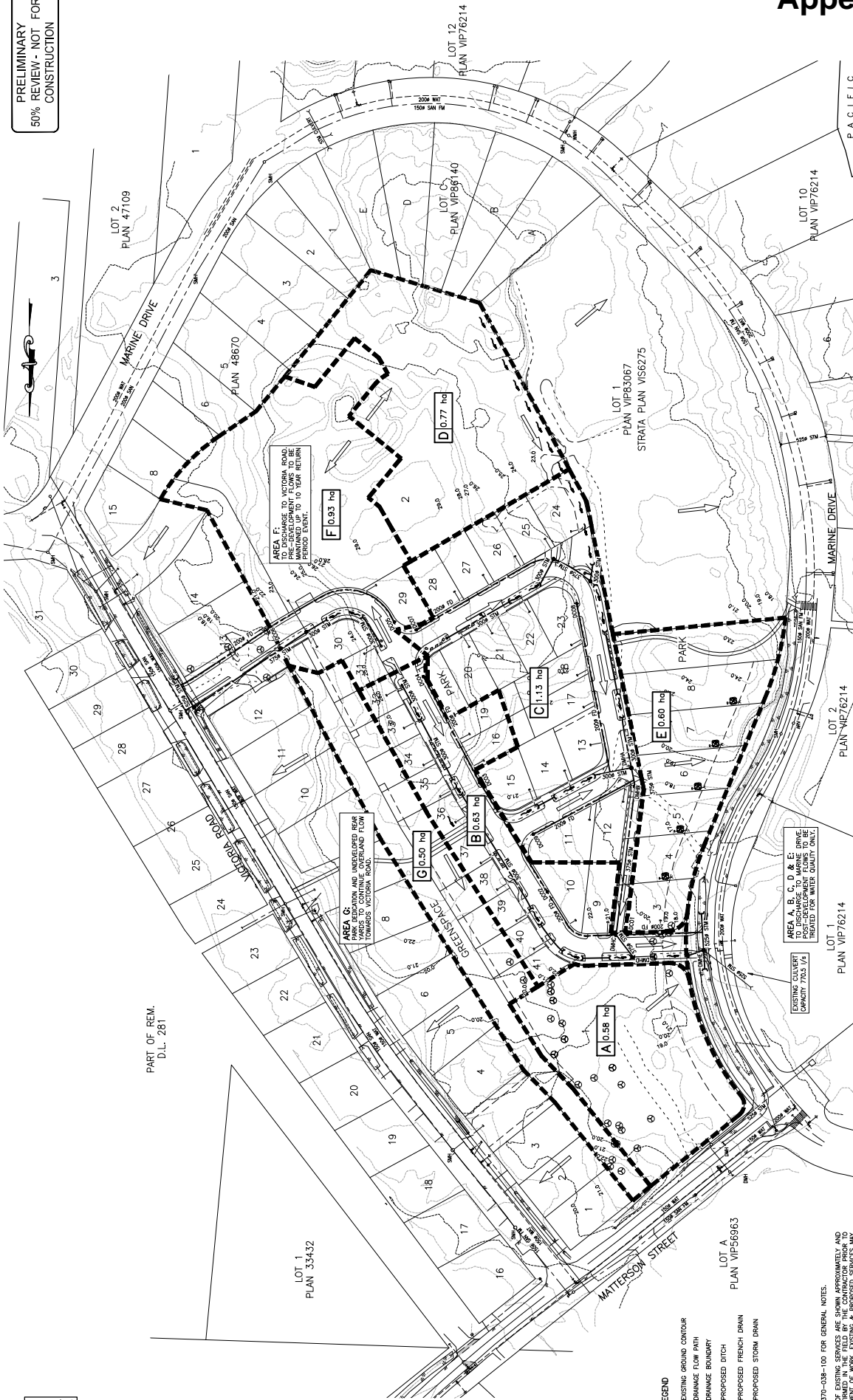
LEGEND

- PROPOSED UTILITY MAIN
- PROPOSED SANITARY SEWER
- PROPOSED ELECTRICAL DUCT
- PROPOSED NEUTRAL/PHASE/GROUND
- EXISTING UTILITY MAIN
- EXISTING SANITARY SEWER
- EXISTING ELECTRICAL DUCT
- EXISTING NEUTRAL/PHASE/GROUND

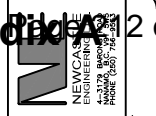
SCALE
SCALE 1:500

AREA OF PROPOSED TREE REMOVAL

PRELIMINARY
50% REVIEW - NOT FOR
CONSTRUCTION



| | | | |
|--|--|---|--|
| <p>NEWCASTLE MUNICIPAL ENGINEERING 4-3122 BRIDGEWAY VANCOUVER, BC V6L 2G1 PHONE (604) 273-7222 FAX (604) 273-7223</p> | | <p>PROJECT NO. 0370-038 DRAWING NO. 17 REVISION NO. 01 CITY PLAN FILE NO.</p> | |
| <p>CLIENT NAME 0985470 BC LTD.</p> | | <p>DRAWING TITLE STORM SEWER TRIBUTARY AREA PLAN</p> | |
| <p>DESIGNER NET JTD DRAWN CHECKED NET PROJECT NAME PLOT DATE 01-30-23 PRINT DATE</p> | | <p>ENGINEER'S SEAL EGCS PERMIT TO PRACTICE NUMBER: 100856 HORIZONTAL SCALE VERTICAL SCALE 1:1250</p> | |
| <p>SITE LEGAL DESCRIPTION DISTRICT LOT 281, CLAYOQUET DISTRICT</p> | | <p>BENCHMARK DESCRIPTION TEMPORARY BENCHMARK BGL5767 LOCATED AT THE INTERSECTION OF MATTERSON STREET AND VICTORIA ROAD. ELEVATION 20.730m</p> | |
| <p>PROPOSED STORM SEWER SANITARY SEWER ELECTRICAL DUCT NET/UTILITY (HORIZONTAL) NET/UTILITY (VERTICAL) EDGE OF PAVEMENT LIMIT OF CONSTRUCTION</p> | | <p>EXISTING STORM SEWER SANITARY SEWER ELECTRICAL DUCT NET/UTILITY (HORIZONTAL) NET/UTILITY (VERTICAL) EDGE OF PAVEMENT LIMIT OF CONSTRUCTION</p> | |
| <p>DATE BY REVISION DESCRIPTION 00 06/22/21 JTD EXHIBIT TO DRAINAGE OF VALLETT FOR SEWER - NOT FOR CONSTRUCTION 01 07/29/23 JTD DRAINAGE OF VALLETT COMMENTS ADRESSED - NOT FOR CONSTRUCTION</p> | | <p>NOTES: 1. SEE DRAWING 0370-038-100 FOR GENERAL NOTES. 2. THE LOCATIONS OF EXISTING SERVICES ARE SHOWN APPROXIMATELY AND THE COMMENCEMENT OF WORK, EXISTING & PROPOSED SERVICES MAY VARY. THE ENGINEER SHALL BE NOTIFIED OF ANY CONFLICT.</p> | |



NEWCASTLE
 4-3173 BROADVIEW
 PHONE (360) 722-2222

| | | | | | | | |
|-------------|----------|-------------|-----|------------|----|--------------------|--|
| PROJECT NO. | 0370-039 | DRAWING NO. | 100 | REGION NO. | 01 | CITY PLAN FILE NO. | |
|-------------|----------|-------------|-----|------------|----|--------------------|--|

SITE PLAN

CLIENT NAME
 0985470 BC LTD.

PROJECT NAME
 LOT 16 MARINE DRIVE
 UCLUELET, BC

| | | | |
|--------------------------------|----------|-----|--|
| DESIGN | NBT | JTD | |
| CHECKED | NBT | | |
| PROJ DATE | 01-30-23 | | |
| PRINT DATE | | | |
| ESRC PERMIT TO PRACTICE NUMBER | 1000808 | | |
| HORIZONTAL SCALE | 1:5000 | | |
| VERTICAL SCALE | | | |

ENGINEER'S SEAL

SITE LEGAL DESCRIPTION
 DISTRICT LOT 281, CLAYOQUOT DISTRICT

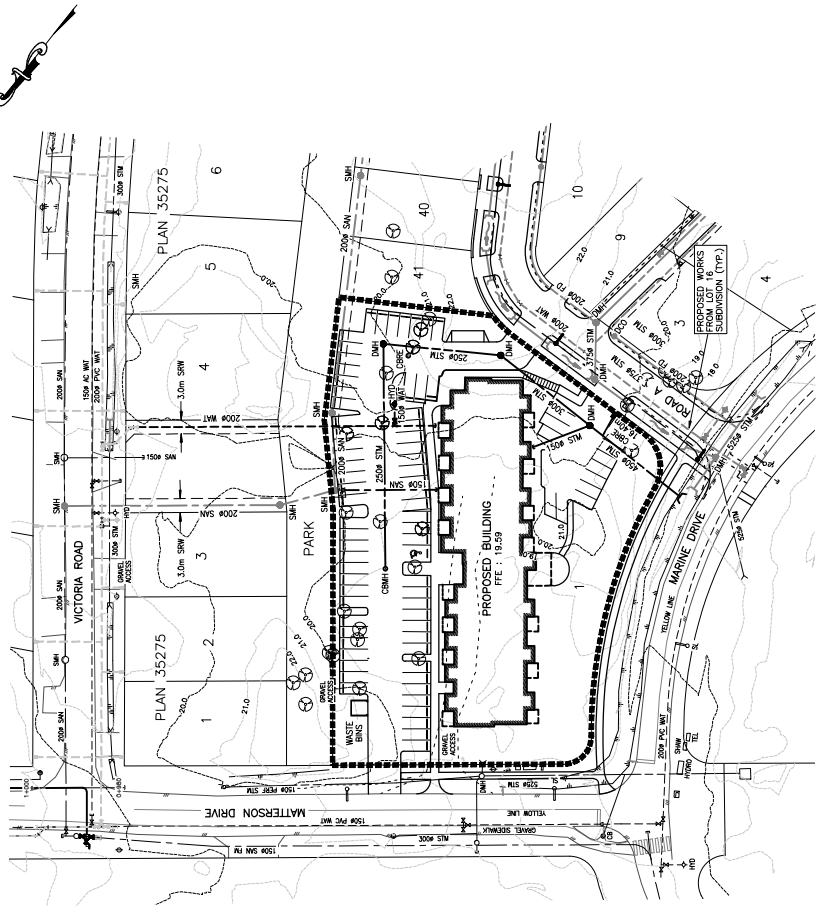
BENCHMARK DESCRIPTION
 TEMPORARY BENCHMARK BOLS767 LOCATED AT THE INTERSECTION OF MATTERSON STREET AND VICTORIA ROAD. ELEVATION 20.730m

| REV | DATE | BY | REVISION DESCRIPTION |
|-----|----------|-----|---|
| 00 | 10/19/22 | JTD | SUBMITTED TO DISTRICT OF UCLUELET FOR REVIEW - NOT FOR CONSTRUCTION |
| 01 | 01/30/23 | JTD | REVIEW OF UCLUELET COMMENTS ADDRESS - NOT FOR CONSTRUCTION |

| SYMBOL | DESCRIPTION |
|----------|----------------------|
| (Symbol) | PROPOSED |
| (Symbol) | EXIST. |
| (Symbol) | WATERMARK |
| (Symbol) | SHAWNY CENTER |
| (Symbol) | ELECTRICAL DUCT |
| (Symbol) | MULTI/VAULT HEADWALL |
| (Symbol) | EDGE OF PAVEMENT |
| (Symbol) | EDGE OF ROADWAY |
| (Symbol) | EDGE OF CONSTRUCTION |

| SYMBOL | DESCRIPTION |
|----------|--------------------|
| (Symbol) | PROPOSED |
| (Symbol) | EXIST. |
| (Symbol) | APPLIC. GRADE |
| (Symbol) | BELOW GRADE |
| (Symbol) | EXIST. DRAINAGE |
| (Symbol) | EXIST. MET OR |
| (Symbol) | EXIST. CLEANOUT |
| (Symbol) | EXIST. MANHOLE |
| (Symbol) | EXIST. STREETLIGHT |
| (Symbol) | EXIST. FENCE |

PRELIMINARY
 NOT FOR CONSTRUCTION



DRAWING SCHEDULE

| NEL DWG No. | REVISION | TITLE |
|--------------|----------|---|
| 0370-039-100 | REV00 | SITE PLAN |
| 0370-039-101 | REV00 | PRELIMINARY SITE SERVICING PLAN |
| 0370-039-102 | REV00 | PRELIMINARY SITE GRADING AND DRAINAGE MANAGEMENT PLAN |

- NOTES:**
1. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND LOCATIONS OF ALL UTILITIES (WATER, GAS, ELECTRIC, CABLE, TELEPHONE, FIBER OPTIC, AND OTHER) PRIOR TO CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE DISTRICT OF UCLUELET AND THE LOCAL GOVERNMENT.
 2. THE DISTRICT OF UCLUELET CONSTRUCTION DEPARTMENT SHALL BE NOTIFIED 48 HOURS PRIOR TO THE START OF CONSTRUCTION.
 3. CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND APPROVALS FROM THE DISTRICT OF UCLUELET AND THE LOCAL GOVERNMENT.
 4. A PERMIT TO INSTALL WORKS WITHIN CITY STREETS, LANES, AND CITY PROPERTY MARKS WILL BE REQUIRED. THESE CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE DISTRICT OF UCLUELET CONSTRUCTION DEPARTMENT'S PERMITTING PROCEDURES AND CONDITIONS.
 5. CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND APPROVALS FROM THE DISTRICT OF UCLUELET AND THE LOCAL GOVERNMENT.
 6. CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND APPROVALS FROM THE DISTRICT OF UCLUELET AND THE LOCAL GOVERNMENT.
 7. THE LOCATIONS OF EXISTING UTILITIES ARE SHOWN APPROXIMATELY AND SHALL BE CONFIRMED IN THE FIELD PRIOR TO CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE DISTRICT OF UCLUELET AND THE LOCAL GOVERNMENT.
 8. CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND APPROVALS FROM THE DISTRICT OF UCLUELET AND THE LOCAL GOVERNMENT.
 9. CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND APPROVALS FROM THE DISTRICT OF UCLUELET AND THE LOCAL GOVERNMENT.
 10. EXISTING EDGE OF PAVEMENT TO BE EXPOSED STRONG BACK TO THE REQUIRED THICKNESS OF THE EXISTING PAVEMENT.
 11. CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND APPROVALS FROM THE DISTRICT OF UCLUELET AND THE LOCAL GOVERNMENT.
 12. CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND APPROVALS FROM THE DISTRICT OF UCLUELET AND THE LOCAL GOVERNMENT.

- EROSION and SEDIMENT CONTROL:**
1. SEE PROJECT SPECIFIC EROSION AND SEDIMENT CONTROL PLAN FOR DETAILS OF REQUIRED WORKS.
 2. CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND APPROVALS FROM THE DISTRICT OF UCLUELET AND THE LOCAL GOVERNMENT.
 3. CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND APPROVALS FROM THE DISTRICT OF UCLUELET AND THE LOCAL GOVERNMENT.
 4. ANY DISTURBED AREAS SHALL BE RESTORED TO ORIGINAL OR BETTER CONDITION WITHIN 90 DAYS OF COMPLETION OF CONSTRUCTION.
 5. CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND APPROVALS FROM THE DISTRICT OF UCLUELET AND THE LOCAL GOVERNMENT.
 6. CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND APPROVALS FROM THE DISTRICT OF UCLUELET AND THE LOCAL GOVERNMENT.
 7. CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND APPROVALS FROM THE DISTRICT OF UCLUELET AND THE LOCAL GOVERNMENT.
 8. CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND APPROVALS FROM THE DISTRICT OF UCLUELET AND THE LOCAL GOVERNMENT.
 9. CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND APPROVALS FROM THE DISTRICT OF UCLUELET AND THE LOCAL GOVERNMENT.
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 14. CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND APPROVALS FROM THE DISTRICT OF UCLUELET AND THE LOCAL GOVERNMENT.
 15. CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND APPROVALS FROM THE DISTRICT OF UCLUELET AND THE LOCAL GOVERNMENT.



PRELIMINARY
SITE SERVICING PLAN

0985470 BC LTD.

LOT 16 MARINE DRIVE
UCLUELET, BC

| | | | | | | | |
|-------------|----------|-----------------|-----|------------|----|--------------------|--|
| PROJECT NO. | 0370-039 | TOWN/REGION NO. | 101 | REGION NO. | 01 | CITY PLAN FILE NO. | |
|-------------|----------|-----------------|-----|------------|----|--------------------|--|

| | | | |
|---|----------------|------|------|
| DESIGN | DATE | BY | CHKD |
| DESIGNED | 01-30-23 | NBT | NBT |
| DATE | 01-30-23 | DATE | |
| ES&C PERMIT TO PRACTICE NUMBER: 1000368 | VERTICAL SCALE | | |
| | 1:2500 | | |

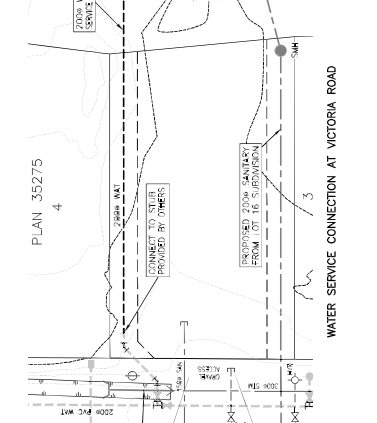
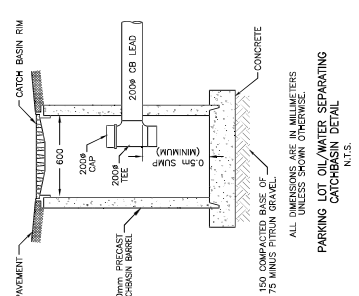
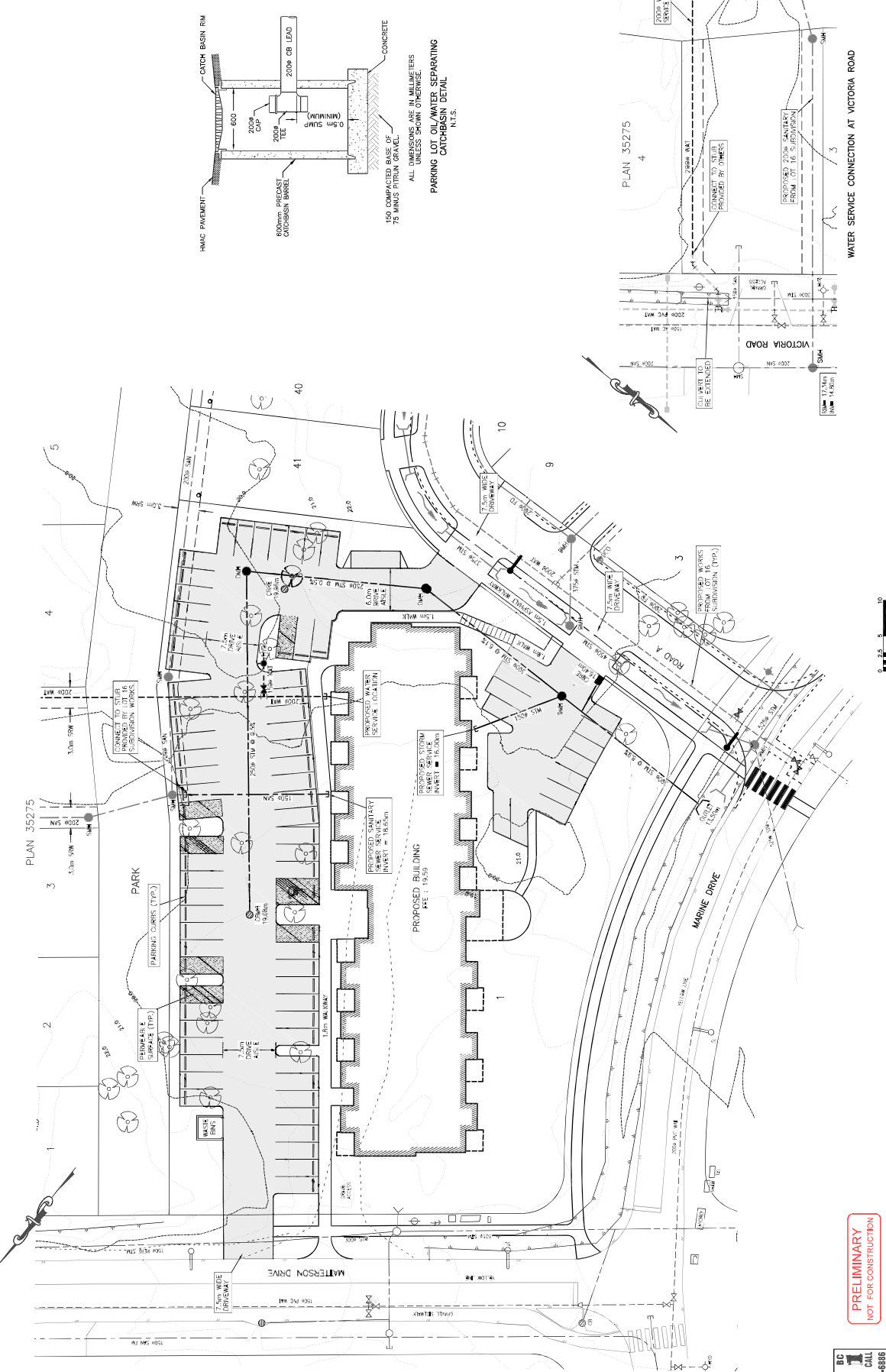
| | |
|--------------|----------------------------------|
| CLIENT NAME | 0985470 BC LTD. |
| PROJECT NAME | LOT 16 MARINE DRIVE UCLUELET, BC |

| | |
|------------------------|--|
| SITE LEGAL DESCRIPTION | DISTRICT LOT 281, CLAYLOUT DISTRICT |
| BENCHMARK DESCRIPTION | TEMPORARY BENCHMARK BCL5767 LOCATED AT THE INTERSECTION OF MATTERSON STREET AND VICTORIA ROAD. ELEVATION 20.730m |

| REVISION DESCRIPTION | DATE |
|---|----------|
| BY: SUBMITTED TO DISTRICT OF UCLUELET FOR REVIEW - NOT FOR CONSTRUCTION | 01/19/23 |
| BY: SUBMITTED TO DISTRICT OF UCLUELET FOR APPROVAL - NOT FOR CONSTRUCTION | 01/25/23 |

| | |
|------|----------|
| DATE | 01/19/23 |
| BY | 01/25/23 |

**PRELIMINARY
NOT FOR CONSTRUCTION**





PRELIMINARY SITE GRADING PLAN
 PROJECT NO. 0370-039
 DRAWING NO. 102
 REGION NO. 01
 CITY PLAN FILE NO.

0985470 BC LTD.
LOT 16 MARINE DRIVE
 UCLUELET, BC

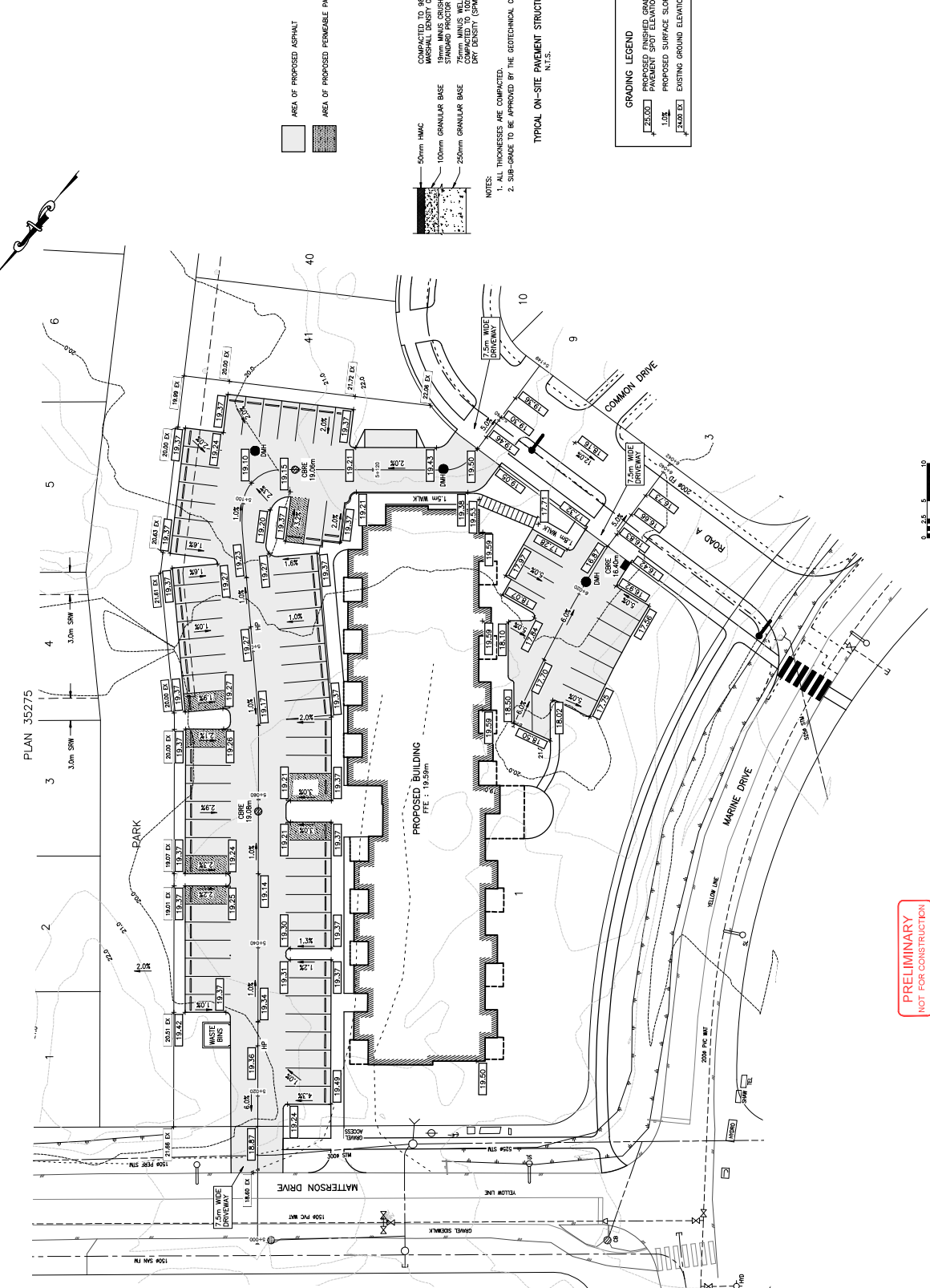
DISTRICT LOT 281, CLAYOQUOT DISTRICT
 TEMPORARY BENCHMARK BOLS767 LOCATED AT THE INTERSECTION OF MATTERSON STREET AND VICTORIA ROAD. ELEVATION 20.730m

| DATE | BY | REVISION DESCRIPTION |
|----------|-----|--|
| 10/19/22 | JTD | SUBMITTED FOR DEVELOPMENT FRONT - NOT FOR CONSTRUCTION |
| 01/19/23 | JTD | SUBMIT OF UCLUELET COMMENTS ADDRESS - NOT FOR CONSTRUCTION |

| END | BY | REVISION DESCRIPTION |
|-----|-----|----------------------|
| NET | JTD | NET |

| DATE | BY | REVISION DESCRIPTION |
|----------|-----|--|
| 10/19/22 | JTD | SUBMITTED FOR DEVELOPMENT FRONT - NOT FOR CONSTRUCTION |
| 01/19/23 | JTD | SUBMIT OF UCLUELET COMMENTS ADDRESS - NOT FOR CONSTRUCTION |

PRELIMINARY
 NOT FOR CONSTRUCTION



AREA OF PROPOSED ASPHALT
 AREA OF PROPOSED PERMEABLE PAVEMENT

COMPACTED TO 98% (MIN.) OF THE STANDARD MARSHALL DENSITY OF THE MIX.
 19mm MINUS CRUSHED GRAVEL COMPACTED TO 100% OF THE STANDARD MARSHALL DENSITY (AS PER TEST METHOD) TO BE USED AS GRANULAR BASE.
 75mm MINUS CRUSHED GRAVEL COMPACTED TO 100% OF THE STANDARD PROCTOR MAXIMUM DRY DENSITY (SPM2D).
 50mm HMC
 100mm GRANULAR BASE
 250mm GRANULAR BASE

NOTES:
 1. ALL THICKNESSES ARE COMPUTED.
 2. SUB-GRADE TO BE APPROVED BY THE GEOTECHNICAL CONSULTANT ON-SITE.
 TYPICAL ON-SITE PAVEMENT STRUCTURE
 N.T.S.

GRADING LEGEND
 PROPOSED FINISHED GRADE
 PROPOSED SURFACE SLOPE
 PROPOSED SURFACE ELEVATION
 EXISTING GROUND ELEVATION





DEVELOPMENT VARIANCE PERMIT DVP23-03

Pursuant to section 498 of the Local Government Act, R.S.B.C 2015 C.1 as amended:

1. This Development Variance Permit is issued to:

**0985470 B.C. LTD.
2240 JEFFS ROAD, NANAIMO, BC
V9S 5P7**

2. This Development Variance Permit applies to, and only to, those lands within the District of Ucluelet described below, and the buildings, structures, and other development thereon:

**LOT 16 DISTRICT LOT 281 CLAYOQUOT DISTRICT PLAN VIP76214 EXCEPT PART
IN PLANS VIP80735, VIP83067 AND VIP86140
PID: 025-812-823
(the "Land")**

3. The work authorized by this Permit may only be carried out:
 - a. in compliance with the requirements of the *District of Ucluelet Zoning Bylaw No. 1160, 2013*, and *Village of Ucluelet Subdivision Control Bylaw No. 521, 1989* except where specifically varied or supplemented by this development variance permit; and,
 - b. in compliance with all federal, provincial, and municipal statutes, regulations, and bylaws.
4. This Permit authorizes the following variances to *Village of Ucluelet Subdivision Control Bylaw No. 521, 1989*, to allow development of compact residential roads and services within a 14m dedicated highway proposed in the preliminary site servicing plans by Newcastle Engineering Ltd. dated January 30, 2023:
 - a. **vary schedule E section 1.3 to permit the width of dedicated internal road rights-of-way to be a minimum of 14m;**
 - b. **vary the following standards drawings:**
 - i. **Typical Road Sections Rural Road & Local Road drawing #18;**
 - ii. **Typical Section Collector Roadway drawing #19;**
 - iii. **Lane Detail drawing #20;**
 - iv. **Sidewalk Details drawing #24; and,**
 - v. **Utility Alignment drawing #25**

as shown on the plans attached as Schedule A.

5. The above variances are subject to the permit holder revising the preliminary site servicing plans and details, and providing additional information for review and approval by the District as follows prior to final subdivision approval:

- a. add root barrier to the Asphalt Pathway Detail on drawing 0370-038-04;
 - b. provide details of underground electrical and data utility layouts;
 - c. amend Typical Road Section on drawing 0370-038-04 to relocate underground hydro, cable and telephone utilities from beneath the asphalt pathway – provide details of a statutory right-of-way for the private utilities to run beneath the front edge of adjacent lots parallel to the public highway, if necessary;
 - d. provide a landscape plan and amend Typical Road Section, French Drain Detail and Roadside Ditch Detail on drawing 0370-038-04 to create vegetated boulevards as shown on the rezoning Land Use Concept plan attached as Schedule B;
 - e. provide a tree planting plan and details – including a statutory right-of-way if necessary to allow for street trees to be located on the front of adjacent lots parallel to the public highway - to achieve vegetated boulevards as shown on the rezoning Land Use Concept plan attached as Schedule B;
 - f. provide details of pathways and fencing park within park areas;
 - g. provide a lighting plan for streetlights conforming to current municipal standards including warm spectrum LED lamps;
 - h. provide details on the proposed ownership of water, sanitary sewer and storm drainage infrastructure under the common access driveway shown on drawing 0370-038-12, and details of a statutory right-of-way if these services are to be publicly owned and maintained;
 - i. provide additional detail demonstrating that the function of the storm drainage system will not cause downstream flooding or ecological degradation on adjacent public or private lands. If areas of stormwater retention in necessary on private lots within the Lot 16 development, provide details of proposed legal instrument to achieve the construction and ongoing maintenance to achieve the function of the stormwater system;
 - j. increase the width of the 1.5m asphalt walkway along the frontage of Matterson Drive to 2.5m, and extend the detached pathway to provide a continuous route to the corner of Victoria Road, to the east;
 - k. provide detail of the surface and load bearing capacity within the fire access lane adjacent to proposed Lot 24 shown on Williamson & Associates “proposed mixed residential subdivision concept drawing revision 1” dated June 29, 2022;
 - l. provide engineered details of proposed cut and fill areas, and any proposed retaining structures necessary to achieve final grades;
 - m. alternative to the proposed statutory right-of-way through the rear yards of lots 30 to 41, explore routing sewer connections to a sewer main on Road A; and,
 - n. confirm the engineering design speed and road horizontal and vertical geometry to the satisfaction of the Municipal Engineer.
6. The above variances are granted for the proposed initial subdivision and servicing of the Land as shown on Schedule A. Should the Land or portions of the Land be redeveloped at some future date, this Development Variance Permit shall cease to apply and the zoning and servicing standards in effect at the time shall apply.



- 7. Notice shall be filed in the Land Title Office under Section 503 of the Local Government Act, and upon such filing, the terms of this Permit or any amendment hereto shall be binding upon all persons who acquire an interest in the land affected by this Permit.
- 8. This Permit is NOT a Building Permit.

AUTHORIZING RESOLUTION passed by the Municipal Council on the day of , 2023.

ISSUED the day of , 2023.

Bruce Greig
 Director of Community Planning

DRAFT

SCHEDULE A

Preliminary (50% Review) drawings Newcastle Engineering 01/30/23

Proposed Lot Layout Concept drawing Williamson & Assoc. Professional Surveyors 06/29/22

DRAFT



SCHEDULE B

Land Use Concept plan



Land Use Concept





**KOERS
& ASSOCIATES
ENGINEERING LTD.**
Consulting Engineers

PO BOX 790
194 MEMORIAL AVENUE
PARKSVILLE, BC V9P 2G8
Phone: (250) 248-3151
Fax: (250) 248-5362
www.koers-eng.com

March 20, 2023
0361-192-01

District of Ucluelet
P.O. Box 999
200 Main St
Ucluelet, BC V0R 3A0

Attention: Mr. Bruce Greig
Director of Planning

Re: Lot 16, VIP 76214 (Marine Drive)
Review of Preliminary (50% Review) Subdivision Design Drawings

As requested, we have carried out a review of preliminary design package of information provided to us for the proposed subdivision of Lot 16, VIP 76214 (on Marine Drive).

Below is the list of documents provided to us and are the basis of this review letter.

| Description | Title & No. of Pages | Date | Author |
|---|--|--------------|--|
| Submission Letter | (3 pages) | Feb 3, 2023 | Williamson & Associates Professional Surveyors |
| Stormwater Discharge Impact Review Letter | Review of Impact on "Stream 28" (7 pages) | Jan 31, 2023 | Toth & Associates Environmental Services |
| Subdivision Design Dwgs (civil only) | 0370-038-01 to 17, Rev 1 (50% Review) (17 Dwgs) | Jan 30, 2023 | Newcastle Eng. Ltd. |
| Proposed Lot 1 (Apartment Building) Site Servicing Dwgs | 0370-039-100 to 102, Rev 1 (50% Review) (3 Dwgs) | Jan 30, 2023 | Newcastle Eng. Ltd. |
| Meeting Notes | District of Ucluelet & Developer Meeting (2 pages) | Nov 23, 2022 | District of Ucluelet |

We have been informed that a Preliminary Layout Review has not yet been issued by the District of Ucluelet. The preliminary design drawings have been submitted to District as part of the information provided by the developer in support of a Development Permit/Development Variance Permit application.

We have been informed that the intent of the preliminary (50% review) drawings is to show the overall servicing concept for the proposed development. As such, the key information presented on the drawings includes:

- the proposed location and diameter of water, sanitary sewer, and storm drainage infrastructure

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March 20, 2023
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District of Ucluelet
Mr. Bruce Greig

- proposed location of lot service connections
- proposed typical road cross section
- proposed roadway french drain location and typical detail
- proposed roadside ditch location and typical detail
- proposed road centreline existing and proposed ground elevations profiles
- existing ground elevation profiles along the sanitary sewer mains in the proposed SRWs and the proposed park dedication areas
- proposed roadside parking areas
- proposed streetlight pole locations

Information not shown on the preliminary (50% review) drawings included:

- proposed slopes or invert elevations for water, sanitary and storm drainage infrastructure
- proposed third party utility (hydro/tel/cable) infrastructure
- proposed top of bank cut or toe of fill

Our scope of work was to review the preliminary design drawings for general compliance with the following documents:

- District of Ucluelet Subdivision Services Control Bylaw No. 521, Engineering Standards and Specifications, August 10, 1989
- MMCD Design Guidelines 2022
- MMCD Volumes II – General Conditions, Specifications and Standard Detail Drawings, 2019 Editions
- General good engineering practice

Our design review concentrated on the following three items:

- 1) Proposed road network
- 2) Overall servicing concept & SRWs
- 3) Proposed Apartment Building

Presented below is a brief discussion of each:

1 PROPOSED ROAD NETWORK

.1 ROAD ALLOWANCE WIDTH

The proposed road allowance width of 14 m (Road A and Road B) is less than the minimum requirement of 15 m for Minor Roads in Bylaw No. 521.

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District of Ucluelet
Mr. Bruce Greig

.2 ACCOMMODATING ALL UNDERGROUND UTILITIES

Additional information is required to confirm the underground third party utilities (Hydro/Tel/Cable) can be accommodated within the proposed 14 m wide road allowance or if Statutory Rights-of-Way will be necessary; such as for the installation of (and unobstructed areas surrounding) transformers and junction boxes as required by BCHydro.

.3 ROAD HORIZONTAL AND VERTICAL GEOMETRY

The District's Bylaw No. 521 notes road geometric design is to be in accordance with Manual of Geometric Design Standards for Canadian Roads and Street prepared by the Road and Transportation Association of Canada (RTAC). The steep terrain and the proposed conceptual layout of the site provides several design challenges and application of the RTAC standards would be very challenging. For this review, the more accommodating MMCD Design Guidelines, 2022, 6.19 Hillside Standards have been used for reference purposes. Our findings are as follows:

- The proposed road 'K' sag and crest curve values are less than the MMCD Design Guidelines, 2022 minimum recommended value of 4 for a Local Road (minimum design speed of 40 km/h):
 - for Road A they range from: 1.5 to 3.0.
 - for Road B they range from: 2.0 to 3.34.
- The proposed road centreline radii are less than the MMCD Design Guidelines, 2022 minimum recommended value of 60 m for a Local Road (minimum design speed of 40 km/h):
 - for Road A they are: 5.5 m, 14.5 m, and 17.5 m.
 - for Road B they are: 14.75 m and 16.0 m
- The proposed road grades (slopes) are within the MMCD Design Guidelines, 2022 recommended minimum and maximum design range of 0.5 % to 12% (which are the same requirements in Bylaw 521).
 - for Road A they are: 0.5% and 12%
 - for Road B they range from 0.5% to 8.64%.

.4 ROAD A CUTS & FILLS

Cut. A vertical cut of up to 4 m is proposed to connect to Marine Drive. The top of cut bank will extend into adjacent properties with a cut height of up to:

- 4 m into Lot 1 and Lot 3
- 3 m into Lot 9 and the Common Driveway Access

Fill. A depth of fill of up to 2.8 m is proposed in front of Lot 15 and Lot 36. The roadway fill will extend into these lots as well as into the adjacent Lot 16, Lot 35 and the proposed parkland area between Lot 36 and 37.

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District of Ucluelet
Mr. Bruce Greig

.5 ROAD CROSS SECTION

We are not aware of a standard road cross section design standard in the Bylaw No. 521. The proposed cross section consists of a pavement width of 6.5 m with 1 m gravel shoulders for a total width of 8.5 m constructed within a 14 m wide road allowance. For comparison purposes below is a summary of road widths from other subdivision projects in the District that we are aware of:

**Comparison of Road Allowance and Travel Area Widths of
More Recent District of Ucluelet Subdivisions**

| Year Built | Street Name | Road Allowance Width, m | Travel Area Width, m | | |
|------------|---------------------------|-------------------------|----------------------|------------------|-------|
| | | | Pavement Surface | Gravel Shoulders | Total |
| 2007 | Rainforest Dr | 20 | 7.2 | 2 | 9.2 |
| 2008 | Edwards Pl | 20 | 7.2 | 2 | 9.2 |
| 2009 | Lorne White Pl | 15 | 6.5 | 2 | 8.5 |
| 2010 | Odyssey Lane | 20 | 5 | 2 | 7 |
| 2010 | Cedar Grove Pl | 15 | 6.5 | 2 | 8.5 |
| 2023 | Forbes Rd Extension | 20 | 7.2 | 2 | 9.5 |
| - | This Proposed Development | 14 | 6.5 | 2 | 8.5 |

2 OVERALL SERVICING CONCEPT & SRWs

.1 STORM DRAINAGE

Additional information is required to confirm the ability to use drainage ditches along Road A and Road B per the typical ditch and road cross section details. This would include:

- Minimum Building Floor Elevation for each lot
- Storm drainage service connection invert elevation at property line/inspection chamber
- Culvert inlet and outlet invert elevations

.2 SANITARY SEWER

SRWs

Installation of a gravity sanitary sewer main is proposed in the rear yard of Lot 1, and Lots 30 to 41. The submission covering letter states that locating this gravity main within the proposed 10 m wide Parkland dedication behind these lots may not be acceptable to neighbouring landowners along Victoria Road. We note that the District has been removing existing sanitary and storm drainage infrastructure from side and rear yard SRW's because of the difficulty and cost in accessing and maintaining the infrastructure. We recommend

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District of Ucluelet
Mr. Bruce Greig

the same approach be applied to this proposed development and the use of an SRW be avoided. A potential alternate approach could be to modify the sanitary collection system as follows :

- Install a new gravity main from proposed SMH 6, northeast and connect to the existing SMH on Victoria Rd.
- Remove the proposed gravity main in the rear yard of Lots 30 to 41.
- Require Lots 31 to 35 and 38 to 41 to pump to the sanitary sewer on Road A.

.3 WATER

The proposed 200 mm dia. watermain through the development and the upgrading of the watermain along Victoria Rd to 200 mm dia. is consistent with Option 3 of Technical Memorandum No. 1, Lot 16 Marine Drive, Water System Review dated October 9, 2019 by Koers & Associates Engineering Ltd. It is assumed the off-site work of installation of a check valve at the intersection of Matterson Drive and Victoria Road as recommended with Option 3 will also be implemented to improve fire flow availability for the development.

.4 COMMON ACCESS DRIVEWAY

Additional information is required regarding ownership of the proposed water, sanitary sewer, and storm drainage infrastructure within this area. Specifically, if the water main and the sanitary forcemain are to be owned and maintained by the District or by the owners of the properties they would service.

We assume the storm drain main would be owned and maintained by the District. Confirmation is required on the width of the SRW that would be required.

Additional information is required on the location of proposed underground hydro/tel/cable service and the separation distances (horizontal and vertical) from other proposed utilities.

3 PROPOSED APARTMENT BUILDING

.1 DRIVEWAY ACCESSES

Three driveway accesses are proposed; one from Matterson Drive and two from proposed Road A. Typically, one or a maximum of two entrances would be provided for a development of this size.

.2 WATER SERVICE

Water service be metered and the meter will need to be sized to handle the delivery of fire flows from the proposed on-site fire hydrant.

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March 20, 2023
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District of Ucluelet
Mr. Bruce Greig

.3 STORM DRAIN SERVICE

A storm drainage discharge to Marine Drive (next to the proposed Road A and parallel to the proposed storm drainage system proposed along Road A) is proposed. Consideration should be given to the proposed storm drain discharging to the Road A drainage system and not to Marine Drive.

.4 MATTERSON DRIVE WALKWAY

The proposed walkway along Matterson Drive should be developed along the entire frontage of the property, including the proposed parkland, and consideration given to it's development up to the Victoria Road intersection.

We trust this information meets with your approval and is sufficient for your needs at this time. Do not hesitate to contact us should you have any questions.

Yours truly,

KOERS & ASSOCIATES ENGINEERING LTD.

Chris Holmes, P.Eng.
Project Engineer

Chris Downey, P.Eng.
Project Manager

Permit to Practise No. 1001658

KOERS & ASSOCIATES ENGINEERING LTD.





Land Use Concept

DV for Subdivision Servicing - Lot 16 Marine Drive/ 449 Matterson Drive..

March 28,2023

Dear Mayor and Council,

We are the owners and residents of 1328 Victoria Road and we are very much opposed to the proposed access off Victoria Road that will serve the Lot 16 sub-development as it will add an enormous volume of traffic and noise disturbance to the small residential street.

We are disturbed that the Victoria Road access is still being considered at all after hearing the community's feedback and concerns since 2018 when neighbours first commented on the proposal. Victoria Road is a quiet residential street where almost half of all current residents have children under the age of 18. I find it especially concerning that the traffic review conducted by Watt Consulting & Associates appears to have been a simple desktop review and Google Earth analysis. Does this suffice to satisfy the District? The fact that the report indicates that "No existing traffic volumes were available for the study roads" and that they are making assumptions based on a highway traffic counter does not put our family's minds at ease. The idea that the massive sub-development would only generate a total of 81 trips at peak hour appears to be just a "best guess." The fact that 66% of said trips would be on Victoria Road should be very concerning for the residents, dog walkers, cyclists and pedestrians alike as this means an expected 54 **additional** vehicle trips at peak hour traveling down the quiet residential road. And again, a road full of children and pedestrians. A road where most residents park along the roadway further narrowing the lane. This is absurd. Since the very beginning, residents have expressed concerns about this proposed road access, and it has not been addressed in any way. We would invite members of Council to spend some time studying the summertime traffic use on Victoria Road before giving this anymore consideration. Come watch two full sized pick-up trucks share the road with a few kids on bikes and tell me you feel comfortable with this decision which will more than double the current peak hour traffic volume.

Perhaps the Infill Single Family Residential R-6 Zone should be serviced by the road access on Marine Drive as originally suggested by the developer in 2018? Nobody can deny that Marine Drive is much better suited to handle the actual volume and disturbance caused by this traffic. Compared to Victoria Road, Marine Drive is a sweeping boulevard with a separated multi-use trail several meters from the roadside. Has any consideration been given to extending the road that currently services The Ridge for access to the R-6 Zone and future Lot B townhouses? Victoria Road is not a suitable access for this new development, and we hope that council would agree that effort need to be made to find a reasonable solution.

We appreciate your time and attention in addressing the concerns identified by local residents and ask that Council seriously consider the impacts of the proposed development of Lot 16 on adjacent property owners and residents. This is a major development with the potential to increase the population of Ucluelet by several hundred people and their several hundred cars. The character of the surrounding neighborhood is at risk as is the health and safety of residents if these issues are not properly addressed.

Respectfully,

Michael Grandbois and Kate Metzger

Lailah Peligren

From: Andrea Murray <[REDACTED]>
Sent: March 28, 2023 1:15 PM
To: publicinput@ucluelet.ca; Info Ucluelet
Subject: Letter for council meeting (Lot 16) March 28, 2023

[External]

Dear Mayor, council and district,

Lot 16 is the most dense neighbourhood that Ucluelet has ever seen and it is counter intuitive for it to have the narrowest roads in Ucluelet as well as limited parking. It is because of this density that at a minimum, the minimum road and sidewalk requirements should be honoured.

With regards to the variances requested for the development of Lot 16, we ask that all decisions being made put the benefits of the community at the forefront.

It is to the benefit of the community that roads and side walks should provide the necessary room to move and flow safely. The minimum requirements are already very narrow. Allowing for further reduction of flow and thoroughfare in an already very restricted development is not to the benefit or safety of it's residents.

Once decisions are made there are no retractions. The driving force of all future approvals should cater to the maximum potential density approved in the re-zoning of this lot.

'Life on the Edge' unfortunately requires most to have a vehicle. This needs to be part of the foresight in future thinking. We need to consider the maximum not the minimum in terms of requirements for parking, traffic flow and honouring nature and this beautiful quiet place many of us call home.

Thank you for considering our letter.

Sincerely,
Marc Fuller, Andrea Murray and family
482 Marine drive

March 28, 2023

To:
Mayor and Council
Ucluelet, BC
VOR 3A0

RE: DVP for subdivision servicing on Lot 16, Marine Drive/449 Matterson Drive, Ucluelet BC.

Dear Mayor and Council,

I am writing to request that the District of Ucluelet **does not** issue the Development Variance Permit DVP23-03 for the road dedication and servicing of the proposed subdivision on the property at Lot 16 District Lot 281 Clayoquot District Plan.

The current traffic along Victoria Road is already far greater than the road was designed to support. This road is used as a shortcut between Matterson Road and Marine Drive as it runs between two of our main hubs: the Ucluelet Community Centre and the schools. Currently, the road does not have sidewalks, adequate lighting, or speed limits. It is barely even wide enough to support two-way traffic, let alone traffic with kids, dogs, bikes and scooters traveling along it. Victoria Road cannot support the construction traffic that will be needed for the next 5-10 years while the subdivision is being built, nor can it support the additional traffic that will come with the additional homes once the subdivision is complete.

Victoria Road has many young children residing on it and we are very concerned for their safety if this development variance permit is approved.

We ask that you please keep Marine Drive and Matterson Road as the locations for the main entrances and exits for the Lot 16 development. These two roads do not have many residential homes, they have adequate sidewalks and can easily support the increased construction and eventual residential traffic.

If you do approve this variance permit, we hope you will mandate that the developer put sidewalks on both sides of Victoria Road, install adequate lighting, and post 30km/hr speed limit signs and children playing signage.

Sincerely,

Mandala Smulders and Sheldon Vos
1316 Victoria Road
Ucluelet, BC
VOR 3A0

Karla Robison, 1435 Victoria Road

March 28, 2023

Re: DVP for Subdivision Servicing - Lot 16 Marine Drive/449 Matterson Drive

Council and Mayor:

This letter outlines my continued concerns regarding Lot 16 Marine Drive Development.

1. Parkland doesn't equal poo-land. As outlined in the Koers & Associates¹ review report², installing a gravity sewer main in the rear of Lot 1 and Lots 30 to 41 is unacceptable to neighbour landowners along Victoria Road.

- A **10-metre greenbelt park dedication** is not intended for a sewer system. Cutting into greenspace is not acceptable.
- Instalment of sewer infrastructure would violate the 10-m buffer. There would be habitat loss and greenspace from excavators and other machinery to install the infrastructure.
- The 10-metre greenspace is a crucial component for a subdivision of this size (this is not a house next door; it's an extensive subdivision). Why is this even being considered? If Council has concerns about wildlife due to RVs and generators, how could the destruction of the greenspace be approved?

The installation of a gravity sewer main is not recommended by Koers & Associates. Please incorporate the alternate approaches outlined by this distinguished engineering firm.

2. I am concerned that this development is over the carrying capacity and is literally "bursting at the seams" for this 12.7-acre parcel. It is not surprising to me that the Developer is requesting smaller roads and wants to cut into current roadways and greenspaces. I am concerned there's not enough sustainable space to put all the buildings, infrastructure, parking spaces, roads, and greenspace into this parcel of land.

- Why would Council permit the proposed road allowance width of 14 m, which is less than the minimum requirement of 15 m for Minor Roads in Bylaw No. 521 and is less in size than any other roads in Ucluelet?
- Were walkways and bike lanes not already factored into the Development Zoning Amendment process, or is this just being considered now, hence the request for a smaller road?
- Why is the smaller road being considered when underground third-party utility companies have yet to confirm this can be accommodated? Should this not be done first?
- During the Development Zoning Amendment process, the Fire Chief had public safety concerns with access and egress. Has public safety and the accessibility of the fire truck been considered for the proposed smaller road?

3. The traffic control review appeared to be a desktop review using Google Maps, Google Earth and vehicle data from the junction. I am concerned that this traffic control study needs to factor in actual local and nearby road network data and public safety concerns regarding Victoria Road. If local traffic

¹ Koers & Associates Engineering Ltd.

² *Review of Preliminary (50% Review) Subdivision Design Drawings*

data is not available, should a local study occur to provide an adequate understanding of potential impacts and public safety concerns? Increased traffic from this development will increase public safety concerns.

- Various public safety concerns already exist along Victoria Road. Victoria Road is narrow, with no dedicated sidewalks or bike lanes. To one side of the road, there are deep open trenches, and the road gets a lot of traffic, particularly; vehicles that avoid Peninsula Road due to the speed bumps and school hours. This road can have high traffic volumes and speeding drivers.
- Why are walkways and bike lanes not factored into this development for Victoria Road? At the very least, please, Council, conduct a local traffic data study to outline the hazard level for Victoria Road resulting from the increased traffic.
- The parking congestion around the skatepark and basketball court tends to have drivers enter the opposing lane, and traffic congestion and speeding also occur on Matterson Drive.
- Matterson Drive, Victoria Road and Marine Drive already have congestion issues, particularly during the summer, due to activity at Big Beach and the Wild Pacific Trail, Community Centre and Day Care, skatepark, basketball court, and as a primary transportation route to Black Rock resort.
- I am concerned that a walkway along Matterson Drive has not been proposed for the entire property frontage. I feel that the sidewalk for this section of the road goes up to the Victoria Road intersection.
- I was under the impression, during the Development Zoning Amendment process in 2021, that there would be two roads into and out of the development. Why is a third road entering the apartment building from Matterson Road? As outlined in the Koers & Associates review report, “three driveway accesses are proposed; one from Matterson Drive and two from proposed Road A. Typically, one or a maximum of two entrances would be provided for a development of this size.” Please advise as to why this has changed.

4. Storm drainage has been a concern for residents. I am concerned that storm drainage discharge matters still need to be thoroughly reviewed.

- Residents along Victoria Road have shared concerns regarding drainage issues along Victoria Road. The 10-metre greenspace is essential to ensure root stability to ensure erosion and flooding do not occur for homes along Victoria Road.
- Will low-impact design principles be implemented, such as limited areas of impermeability, open drainage, high retention and replacement of natural vegetation, drought-resistant landscaping, etc.?
- As noted by Koers & Associates, “consideration should be given to the proposed storm drain discharging to the Road A drainage system and not to Marine Drive.

Many residents raised countless concerns and questions during the Lot 16 Marine Drive Development Zoning Amendment process in 2021 and continue to do so. Most of the questions and concerns brought forward have yet to be answered. Considering this and the lack of recent public engagement from the Developer/sub-contractor with the current water and sewer upgrade work and the safety concerns brought forward by residents, can Council please review the present and past issues and concerns residents have raised to ensure a safe and sustainable development project?

Please review and discuss (this evening) the questions and concerns brought forward in this letter and all other letters submitted by concerned residents prior to decision making.

Ucluelet's Strategic Plans' priority is to "Manage Growth and Maintain Quality of Life." I genuinely hope that the District and Developer can demonstrate how this development will ensure the character and liveability of our community remains intact and that public safety measures are factored into the development.

Thank you for your time and consideration.

Respectfully,

A solid black rectangular redaction box covering the signature area.

Karla Robison



REPORT TO COUNCIL

Council Meeting: June 27, 2023

500 Matterson Drive, Ucluelet, BC V0R 3A0

FROM: JAMES MACINTOSH, DIRECTOR OF ENGINEERING SERVICES

FILE NO: 1290-18

SUBJECT: LARCH ROAD MULTI-USE PATH DESIGN, COSTS, AND NEXT STEPS

REPORT NO: 23- 90

ATTACHMENT(S): APPENDIX A – DESIGN
 APPENDIX B – SCHEDULE
 APPENDIX C – COUNCIL LOG

RECOMMENDATION(S):

THAT Council endorse the Larch Road multi-use path design as presented in report 23- 90 and direct staff to prepare a tender for the construction of the project.

PROJECT OVERVIEW:

- Scope: Design/build a multi-use path on Larch Road within the available budget and time
- Project budget:
 - \$463,750 – BC Active Transportation Grant
 - \$198, 750 – District of Ucluelet funds
 - \$662,500 – Total budget
- \$592,800 to \$708,000: Cost estimates range
 - \$592,800 – Without paving
 - \$708, 000 – With paving
- Project deadline: March 31, 2024
- Team: McElhanney Engineering

BACKGROUND:

Larch Road was constructed without pedestrian sidewalks. This route is used as a primary link between schools, the grocery store, and the seniors' center. School children, cyclists, and seniors must share the road with vehicles, raising safety and connectivity concerns. Installation of a pedestrian sidewalk or path has long been prioritized as the next District pedestrian improvement. As outlined in the Official Community Plan, the concept includes a 600-meter multi-use path adjacent to Larch Road between Bay Street and Matterson Drive.

In 2019, the project was formally initiated as part of the Peninsula Road Safety and Revitalization improvements. This included the same funding, concept designs, and community engagements.

Upon starting Peninsula Road's preliminary design in 2022, it became clear that there wouldn't be enough capital to design and build both projects. The design phase of Larch Road was left within the Peninsula Road project and the construction phase was removed; packaged as a standalone, shovel-ready, grant-ready, unfunded project. The Peninsula Road and Larch Road designs progressed and in April of 2022 the community was invited to view the projects and provide input. During this time, staff were looking for grant opportunities to finance the construction of Larch Road.

In March of 2022, Council directed staff to apply for two grants. One from the federal Active Transportation Fund and the second from the British Columbia Active Transportation Grant program. The first grant was not awarded; however, the second grant was. In November of 2022, Council authorized the grant by dedicating an obligatory 30% contribution towards the grant contract.

Throughout 2023, design and cost estimation iterations have proceeded in a straightforward manner while aiming to strike a balance between high quality elements, form and function, utility and safety, aesthetics, and economics. However, there are some challenges due to increased costs that will benefit from Council's direction. The design has now been completed and with an achievable balance of high-quality elements. The cost estimates include a range from \$592,800 to \$708,000 to construct the path with a \$662,500 budget. The low end of the range has paving with asphalt removed and the high end has paving included. Staff have prepared a strategy which allows Council to consider their desired preferences. This strategy also provides an opportunity to direct the team to complete the project within the available budget with or without pavement.

ANALYSIS OF OPTIONS:

The staff-recommended optimum project goal is to pursue the delivery of a multi-use path that scores high in quality elements, greatly improves community safety, requires no additional funds, and is a fully paved surface. The recommended strategy to achieve that goal is to tender the project as designed with paving as an option. If there is contingency remaining at the end of the project those funds would be reallocated to pave the path.

If Council wishes to prioritize a paved path, the two readily available avenues are as follows:

- A. If the tender pricing comes in at/or below the estimates and the construction is completed without a drawdown of contingency funds, there will remain enough capital at the end of the project to reallocate the unspent contingency into the project to pave the path;
- B. If the tender pricing is higher than estimated and there are drawdowns from the contingency throughout construction, there will not be enough capital remaining at the end to pave the path. In this scenario, Council could consider allocating capital in the Five-Year Capital Plan to ensure the path is paved in a future year.

If Council supports proceeding without planning to pave, the project can easily be achieved within the available budget by constructing the path with a suitable non-asphalt material.

If Council supports proceeding without planning to pave:

C. The path will be completed with a suitable non-asphalt material. If paving is determined to be required in the future the consideration of an allocation within the Five-Year Capital Plan could be considered at that time.

| | | | |
|----------|--|-------------------------|---|
| A | Endorse the design, proceed with tendering, aim to pave the path using the contingency | Pros | <ul style="list-style-type: none"> The delivery of a very efficient project which consumes exactly its available funding and has achieved high-quality design, prudent economics, and construction risk/cost management. The engineering consultant has informed that a paved path in a high traffic area is the most appropriate surface for all users and has the lowest long-term maintenance costs. |
| | | Cons | <ul style="list-style-type: none"> There's a chance that it's unachievable due to higher tender pricing than estimated or cost challenges and risks during construction that drawdown from the contingency. The paving portion would be funded using the contingency at end-of-project; therefore, there wouldn't be a contingency for the final \$100,000 paving line item, which is a risk. |
| | | Implications | <ul style="list-style-type: none"> No additional funding required. |
| B | Endorse the design, remove paving for now, proceed with tendering, budget for future years | Pros | <ul style="list-style-type: none"> With paving removed, the project is easily achievable within the available budget. Removing the paving line item provides the project with capital that could be reallocated back into the project for additional high-quality elements such as increased landscaping, cedar fencing and bollards. A non-asphalt material is suitable for most users, achieves safety, and provides a surface for most users. |
| | | Cons | <ul style="list-style-type: none"> Paved surface would have to be considered in a future year. A compacted gravel surface is not as suitable for all users and has higher maintenance costs than a paved surface. |
| | | Implications | <ul style="list-style-type: none"> Removing paving increases the contingency fund. Council could consider the cost of paving for a future year into the Five-Year Capital Plan. |
| | | Suggested Motion | <p>THAT Council direct staff to defer paving of the Larch Road multi-use path to a future year and prepare a tender for the construction of the project as presented in report no 23-90.</p> <p>THAT Council direct staff to include paving of the Larch Road multi-use path in the 2024 Five-Year Capital Plan for consideration.</p> |
| C | Endorse the design, | Pros | <ul style="list-style-type: none"> Project is easily attainable within the available budget. Removing the paving line item provides the project with a surplus that could be reallocated. |

| | | |
|--|-------------------------|--|
| proceed with tendering, do not pave the path | | <ul style="list-style-type: none"> • A non-asphalt material is suitable for most users. |
| | <u>Cons</u> | <ul style="list-style-type: none"> • Non-paved surfaces have a narrower user base and more maintenance costs than paved surfaces. |
| | <u>Implications</u> | <ul style="list-style-type: none"> • Removing paving creates a surplus that can be reallocated. |
| | <u>Suggested Motion</u> | THAT Council approve the removal of paving from the Larch Road multi-use path project and proceed to tender for the construction of the project. |

POLICY OR LEGISLATIVE IMPACTS:

- N/A

NEXT STEPS:

- Integrate Council's direction into the strategy;
- Prepare tender and construction documents, and issue call for pricing;
- Return to Council with the tender pricing, an update and reconciliation of the strategy, and request contract approval;
- Construct the path according to the desired strategy and project schedule;
 - Tender call: mid-July
 - Contract award: early-September
 - Construction schedule: September – November
- Project close out procedures and path opening.

Respectfully submitted:

James Macintosh, Director of Engineering Services

Duane Lawrence, CAO

Project Dates, Finances, and Council Report(s) Log

Project Dates and Finances

| | |
|--------------------------|---|
| Project Title | <ul style="list-style-type: none"> Larch Road Multi-Use Path |
| Project Dates/Milestones | <ul style="list-style-type: none"> December 2019 – Concept design and community open house Feb 2022 – McElhanney Eng is hired for Pen Road + Larch Road April 2022 – Community Engagements November 2022 – BC Active Transportation Grant is awarded. June 2023 – Council reviews design, cost and next steps July 2023 – Tender September 2023 to November 2023 – Construction schedule |
| Project Figures | <ul style="list-style-type: none"> \$463,750 – BC Active Transportation grant \$198,750 – District of Ucluelet funds \$662,500 – Total budget |
| Project Team | <ul style="list-style-type: none"> McElhanney Engineering Contractor TBD |

Council Report(s) Project Log

March 29, 2022

2023 Larch Road Multi-Use Path Project - Grant Applications John Towgood, Municipal Planner
Regular Council Meeting Minutes – March 29, 2022

Mr. Grieg provided a summary of this report, requesting that Council authorize staff apply for upcoming grants for use with construction costs in the Larch Road project.

*It was moved and seconded **THAT** Council, with regard to the 2023 Larch Road Multi-Use Path project, direct Staff to:*

- *Apply for both the Active Transportation Fund (Federal) and the BC Active Transportation (Provincial) grants.*
- *Prepare a letter of endorsement from the District of Ucluelet to the two granting agencies to highlight the following points:*
 - *That creating a safe and welcoming environment for people on foot and on bicycles in Ucluelet's commercial core is of high importance to the community and its livability.*

- *That making this core area of Ucluelet’s public realm more accessible is important to achieve the community’s goal to be more inclusive and equitable.*
- *That the proposed works are critical to safely integrate the expected increase in cycling traffic from the new Pacific Rim National Park Reserve’s ʔapsčiiik ʔašii multi-use pathway and the Peninsula Road Safety and Beautification project.*
- *That the improvements in the project area’s pedestrian and cycling movement and the beautification of the project area would enhance the visitor and resident experience and support Ucluelet businesses.*
- CARRIED.

November 15, 2022

BC Active Transportation Grant Funding Request *Donna Monteith, Chief Financial Officer*

Ms. Monteith presented this report. Council noted their support for the project.

2022.2215.REGULAR *It was moved and seconded:* Regular Council Meeting Minutes – November 15, 2022

- *THAT Council approve the BC Active Transportation Infrastructure grant application for the 2023 Larch Road Multi Use Path project, by contributing a maximum of \$198,750; and*
- *THAT Council shall provide overall grant management.*
- CARRIED

Larch Road Multi-Use Path Design, Costs, and Next Steps James Machinosh...
 McElhanney Cover D - 2019-04-01
 DATE: 2023-06-08, 2:1:38 FILE: Z:\Proj\Active\6302-01 DOU - Peninsula Road Safety and Revitalization\10.0 Drawings\10.3 Engineering\10.3.1 Sheets\6302-02-C-001-COVER.dwg

CLIENT



ADDRESS / CONTACT INFO.

200 MAIN STREET, UCLUELET, BC, V0R 3A0

PROJECT NAME

LARCH ROAD ACTIVE TRANSPORTATION IMPROVEMENTS

DESCRIPTION

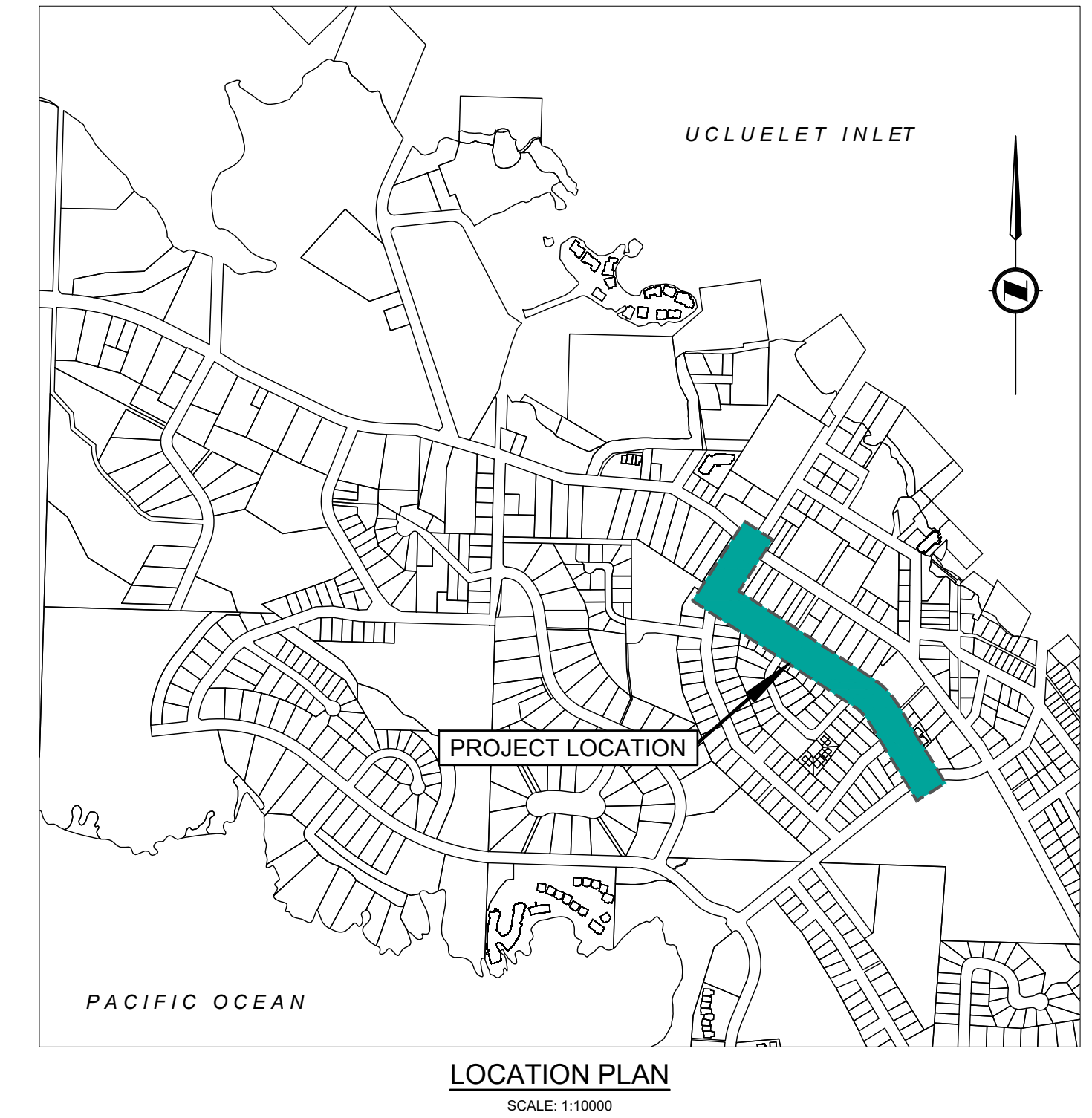
DETAILED DESIGN

McELHANNEY PROJECT

2231-46302-02

STATUS

ISSUED FOR 100% DESIGN



Suite 1
 1351 Estevan Road
 Nanaimo BC
 Canada V9S 3Y3
 Tel 250 716 3336

100% DESIGN
 NOT FOR CONSTRUCTION

PERMIT TO PRACTICE
 McElhanney Ltd.
 PERMIT NUMBER: 1003299
 Engineers and Geoscientists of BC



CIVIL DRAWING LIST

| SHEET # | SHEET TITLE | REVISIONS | | | | | | | |
|---------|--|-----------|----|----|----|---|---|---|---|
| | | PA | PB | PC | PD | 0 | 1 | 2 | 3 |
| C001 | COVER SHEET | | | | | | | | |
| C002 | GENERAL NOTES & LEGEND | | | | | | | | |
| C003 | KEY PLAN | | | | | | | | |
| C101 | BAY STREET & LARCH ROAD REMOVALS PLAN | | | | | | | | |
| C102 | LARCH ROAD REMOVALS PLAN STA 5+180 TO 5+530 | | | | | | | | |
| C201 | BAY STREET PLAN & PROFILE STA 2+000 TO 2+160 | | | | | | | | |
| C202 | LARCH ROAD PLAN & PROFILE STA 5+000 TO 5+180 | | | | | | | | |
| C203 | LARCH ROAD PLAN & PROFILE STA 5+180 TO 5+360 | | | | | | | | |
| C204 | LARCH ROAD PLAN & PROFILE STA 5+360 TO 5+530 | | | | | | | | |
| C301 | DETAILS & TYPICAL SECTIONS | | | | | | | | |
| C401 | BAY STREET CROSS SECTIONS | | | | | | | | |
| C402 | LARCH ROAD CROSS SECTIONS | | | | | | | | |

GENERAL NOTES

- ALL CONSTRUCTION TO BE IN ACCORDANCE WITH DISTRICT OF UCLUELET (DoU) ENGINEERING STANDARDS AND MMCD SPECIFICATIONS.
- ALL LOCATIONS AND ELEVATIONS OF EXISTING UTILITIES SHOWN ARE SCHEMATIC ONLY AND HAVE BEEN INTERPRETED FROM AS-BUILT DRAWINGS WHICH ARE CONSIDERED INCOMPLETE/INACCURATE. ALL OR ANY STRUCTURES AND SERVICES ARE NOT NECESSARILY SHOWN. CONTRACTOR IS TO LOCATE EXISTING UTILITIES BY MANUAL DIGGING PRIOR TO CONSTRUCTION. ANY DISCREPANCIES ARE TO BE REPORTED TO THE CONTRACT ADMINISTRATOR.
- COORDINATES ARE GROUND LEVEL AND ALL ELEVATIONS ARE TO GEODETIC DATUM.
- ANY ALTERNATIVES TO SPECIFIED MATERIALS OR APPURTENANCES TO BE APPROVED BY THE ENGINEER PRIOR TO CONSTRUCTION.
- THE LOCATIONS OF EXISTING SERVICES ARE APPROXIMATE AND SHALL BE CONFIRMED IN THE FIELD BY THE CONTRACTOR PRIOR TO CONSTRUCTION. EXISTING AND PROPOSED SERVICES MAY REQUIRE ADJUSTMENT WHERE A CONFLICT OCCURS. THE ENGINEER SHALL BE NOTIFIED OF ANY CONFLICT.
- THE CONTRACT ADMINISTRATOR SHALL BE NOTIFIED 48 HOURS PRIOR TO THE COMMENCEMENT OF WORKS.
- CONNECT TO, OR ALTERATION OF EXISTING DoU OWNED UTILITIES TO BE DONE UNDER THE SUPERVISION OF THE CONTRACT ADMINISTRATOR, UNLESS OTHERWISE BY THE CONTRACT ADMINISTRATOR.
- CONTRACTOR SHALL PREPARE & SUBMIT THE FOLLOWING PLANS TO DoU FOR REVIEW AND ACCEPTANCE BEFORE WORK COMMENCES:
 - TRAFFIC MANAGEMENT PLAN
 - SEDIMENT AND EROSION CONTROL PLAN
- CONSTRUCTION MAY NOT COMMENCE PRIOR TO THE APPROVAL OF THESE DRAWINGS.
- WORKSAFEBC IS TO BE NOTIFIED PRIOR TO THE START OF CONSTRUCTION AND CONTRACTOR SHALL BE REGISTERED WITH WORKSAFEBC AND SUBMIT PROOF OF REGISTRATION TO THE CONTRACT ADMINISTRATOR.
- RESIDENTS AND BUSINESS OWNERS AFFECTED BY THE PROPOSED CONSTRUCTION ARE TO BE NOTIFIED IN WRITING BY THE CONTRACTOR 5 DAYS PRIOR TO THE START OF CONSTRUCTION AND PROVIDED WITH THE CONTRACTORS PHONE NUMBER AND SCHEDULE. CONTRACTOR TO MAINTAIN DRIVEWAY AND PEDESTRIAN ACCESS TO ALL RESIDENCES AND BUSINESSES DURING CONSTRUCTION.
- THE CONTRACTOR WILL BE HELD RESPONSIBLE FOR THE REPAIR OF ANY DAMAGE CAUSED TO EXISTING STREETS OR SERVICES BY CONSTRUCTION EQUIPMENT AND/OR TRUCKS HAULING MATERIALS TO THE SITE. THIS WILL INCLUDED DAILY CLEANING OR SWEEPING ALL EXISTING ROADS OR DIRT AND DEBRIS CAUSED BY CONSTRUCTION ACTIVITY.
- ALL SURFACES TO BE RESTORED TO EXISTING CONDITION OR BETTER.
- WHERE INFILLING EXISTING DITCHES, ETC. IS REQUIRED OR PROPOSED AND WHERE SERVICES ARE CONSTRUCTION IN FILL SECTIONS. THE FILL MATERIAL IS TO BE APPROVED GRANULAR MATERIAL LACED IN LIFTS NOT EXCEEDING 300mm AND COMPACTED TO 95% MODIFIED PROCTOR DENSITY.
- MATS WILL BE USED WHEN OPERATING TRACKED EQUIPMENT ON ALL PAVED AREAS, WITH THE EXCEPTION OF AREAS STIPULATED FOR RE-PAVEMENT.
- TRAFFIC CONTROL IS THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL COMPLY WITH SECTION 52 OF THE INDUSTRIAL HEALTH AND SAFETY REGULATIONS OF WORKSAFEBC. THE CONTRACTOR IS TO FOLLOW THE CURRENT "BC TRAFFIC CONTROL MANUAL FOR WORK ON ROADWAYS" AS PUBLISHED BY THE MINISTRY OF TRANSPORTATION & INFRASTRUCTURE (MOTI). SAFE VEHICULAR AND PEDESTRIAN ACCESS IS TO BE MAINTAINED ALONG ALL PUBLIC ROADS DURING CONSTRUCTION.
- CONTRACTOR TO CONFIRM LOCATION OF EXISTING UTILITIES AT ALL CROSSINGS AND CONNECTIONS AND REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.
- ALL TREES NOT BEING REMOVED IN THE CONSTRUCTION AREA SHALL BE PROTECTED.
- ALL SURVEY MONUMENTS WITHIN THE PROJECT BOUNDARIES SHALL BE PROTECTED DURING THE COURSE OF THE WORK. SHOULD ANY SURVEY MONUMENT REQUIRE RAISING OR RELOCATION, THE CONTRACTOR SHALL NOTIFY THE CONTRACT ADMINISTRATOR AT LEAST 72 HOURS IN ADVANCE OF SCHEDULING WORK. ALL DISTURBED MONUMENTS WILL BE REPLACED BY A B.C. LAND SURVEYOR AT THE CONTRACTORS EXPENSE.
- HANDLING AND DISPOSAL OF ASBESTOS OR RESPIRABLE CRYSTALLINE SILICA CONTAINING MATERIALS TO BE IN ACCORDANCE WITH WORKSAFE BC GUIDELINES AND REGULATORY REQUIREMENTS.
- FIGURED DIMENSIONS SHALL GOVERN OVER SCALED DIMENSIONS.
- AFTER CONSTRUCTION, CONTRACTOR TO SUBMIT REDLINE AS-BUILT DRAWINGS TO CONTRACT ADMINISTRATOR.
- AFTER CONSTRUCTION, RESTORE WORK AREAS AND EXISTING FEATURES TO THEIR ORIGINAL CONDITION OR BETTER.
- ADJUST ALL PROPOSED AND EXISTING APPURTENANCES TO MEET FINAL DESIGN GRADES.
- ALL SURPLUS MATERIAL SHALL BE REMOVED FROM THE SITE AND DISPOSED OF PROPERLY IN ACCORDANCE WITH ALL APPLICABLE GUIDELINES AND REGULATIONS.
- CONTRACTOR SHALL ENSURE ALL OPEN TRENCHES IN THE TRAVELED LANES ARE SAFELY DRIVEABLE, WITH SMOOTH TRANSITIONS AND SURFACE OUTSIDE OF CONSTRUCTION HOURS. WARNING SIGNAGE SHALL BE IN PLACE AS APPLICABLE AT ALL TIMES.
- ALL DIMENSIONS ARE IN METRIC UNLESS NOTED OTHERWISE. METERS ARE EXPRESSED IN DECIMALS, MILLIMETERS IN WHOLE NUMBERS.

ROADWORK NOTES:

- ALL ROAD SUBGRADE, SUB-BASE, AND BASE STRUCTURES SHALL BE COMPACTED TO A MINIMUM OF 95% MODIFIED PROCTOR. COMPACTION FOR EACH LAYER OF SUBGRADE, SUB-BASE AND BASE COURSE SHALL BE SPOT TESTED WITH A NUCLEAR DENSOMETER AND A PROOF ROLL SHALL BE PERFORMED WITH A LOADED SINGLE AXLE TRUCK PRIOR TO THE PLACEMENT OF EACH LAYER. THE CONTRACT ADMINISTRATOR SHALL BE GIVEN AT LEAST 24 HOURS NOTICE IN ADVANCE TO WITNESS A PROOF ROLL TEST.
- SEE PLAN AND PROFILE DRAWINGS FOR TYPICAL ROAD CROSS-SECTIONS.
- CHANGES OF GRADE ARE TO BE FORMED BY SMOOTH VERTICAL CURVES.
- LOOSE OR ORGANIC MATERIAL IS TO BE EXCAVATED FROM ROADWAY.
- THE ROAD BASE SHALL EXTEND A MINIMUM OF 0.3m BEYOND THE CURB AND GUTTER.
- CATCHBASIN RIM ELEVATIONS GIVEN ARE THE ELEVATION OF THE SURFACE INLET.
- EXISTING VALVE BOXES, MANHOLES, ETC., WITHIN THE ROAD ROW ARE TO BE ADJUSTED TO FINISHED GRADE.
- THE CONDITIONS FOR PLACING ASPHALT PAVEMENT AND P.C. CONCRETE SHALL BE IN ACCORDANCE WITH MMCD & MOTI SPECIFICATIONS AND STANDARD DETAIL DRAWINGS APPLICABLE AT THE TIME OF CONSTRUCTION. WEATHER CONDITIONS MUST ALSO BE IN CONFORMANCE WITH MMCD & MOTI SPECIFICATIONS. SHOULD DEVIANCES BE ALLOWED FROM THESE SPECIFICATIONS BY THE CONTRACT ADMINISTRATOR, THE CONTRACTOR IS TO ASSUME ALL RESPONSIBILITY FOR THESE PRODUCTS.
- UNLESS OTHERWISE APPROVED, ASPHALTIC CONCRETE SHALL BE LAID IN MAXIMUM 50mm LIFTS. REQUIRED ASPHALTIC CONCRETE THICKNESS PROVIDED ON TYPICAL CROSS SECTIONS.
- ALL EXISTING ASPHALT TO BE REMOVED MUST BE DISPOSED AT AN APPROVED SITE.
- REPAIR ANY PAVEMENT/CONCRETE DAMAGE OR DAMAGE TO PRIVATE PROPERTY.

STORM DRAINAGE NOTES:

- SEWER MATERIALS SHALL CONFORM TO THE MASTER MUNICIPAL SPECIFICATIONS (SECTION 33 40 01).
- FOR TYPICAL TRENCH SECTION DETAILS SEE MMCD STANDARD DETAIL DRAWING G4.
- SILTATION CONTROLS TO THE ACCEPTANCE OF THE CONTRACT ADMINISTRATOR MUST BE USED AT ALL DRAINAGE OUTLETS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTENANCE AS REQUIRED.
- FOR TYPICAL DETAILS OF ALL STORM SEWER SERVICE CONNECTIONS SEE MMCD DRAWING S8.
- ALL CATCH BASIN LEADS ARE TO BE 200mm DIAMETER.
- ALL STORM SEWER SERVICE CONNECTIONS ARE TO BE MINIMUM 150mm DIAMETER.
- FOR MANHOLE DETAILS SEE MMCD DRAWINGS S1-S5.
- TIE-INS OF MAINS TO EXISTING STORM SEWER SYSTEMS ARE TO BE PERFORMED BY THE CONTRACTOR. ALL CONNECTIONS TO BE INSPECTED BY CONTRACT ADMINISTRATOR PRIOR TO BACKFILL.
- MANUFACTURED WYES ARE TO BE USED ON STORM PIPE UNDER 450MM DIAMETER OR ALTERNATIVE AS APPROVED BY CONTRACT ADMINISTRATOR.
- STORM SEWERS ARE TO BE CONSTRUCTED WITH SEALED JOINTS UNLESS OTHERWISE SPECIFIED ON THE DESIGN DRAWINGS.

EROSION & SEDIMENT CONTROL:

- EROSION AND SEDIMENT CONTROL FOR THIS PROJECT WILL BE AS OUTLINED IN THE FISHERIES AND OCEANS CANADA AND MINISTRY OF WATER, LANDS AND AIR PROTECTION HANDBOOK ENTITLED "LAND DEVELOPMENT GUIDELINES FOR THE PROTECTION OF AQUATIC HABITAT, SEPTEMBER 1993" AND "ENVIRONMENTAL BEST MANAGEMENT PRACTICES FOR URBAN AND RURAL LAND DEVELOPMENT IN BRITISH COLUMBIA, JUNE 2004". IT IS INCUMBENT UPON THE CONTRACTOR TO ACQUIRE THESE GUIDELINES AND FAMILIARIZE THEMSELVES WITH THE REQUIREMENTS THEREIN.
- PRIOR TO AND DURING CONSTRUCTION, THE CONTRACTOR SHALL TAKE FULL RESPONSIBILITY FOR CONTROLLING EROSION AND SEDIMENT TRANSFER BY UTILIZING SUCH MEASURES AS CONSTRUCTION OF INTERCEPTOR DITCHES, SILT FENCES, HAY BALE STRUCTURE, SEDIMENT CONTROL POND, SEDIMENT TRAPS, STAGED GRAVEL FILTERS, OR OTHER METHODS THE CONTRACTOR DEEM NECESSARY TO PREVENT DISCHARGE OF SEDIMENT INTO WATER COURSES.
- THE CONSULTANT ASSUMES NO RESPONSIBILITY FOR DAMAGES RESULTING FROM IMPROPER EROSION AND SEDIMENT CONTROL MEASURES UNDERTAKEN BY THE CONTRACTOR.
- STREETS ARE TO BE SWEEPED AS REQUIRED AND AFTER WORK STOPPAGE EACH DAY.
- STRIP AND GRUB ONLY THOSE AREAS NECESSARY FOR THE CURRENT CONSTRUCTION. STAGE CONSTRUCTION OPERATIONS TO LIMIT DISTURBANCE AND DO NOT STRIP ANY AREA UNTIL REQUIRED.
- PRIOR TO ANY ANTICIPATED SIGNIFICANT STORM EVENT THE DESIGNATED SITE PERSON IS TO INSPECT THE EROSION AND SEDIMENT CONTROL WORKS AND ENSURE THAT THEY WILL ADEQUATELY FUNCTION DURING THE ANTICIPATED EVENT. ANY DEFICIENCIES IN THE SYSTEM ARE TO BE ADDRESSED PRIOR TO THE STORM EVENT.

PAVEMENT MARKING AND SIGNAGE NOTES:

- ALL SIGNAGE TO BE INSTALLED IN ACCORDANCE WITH MOTI SPECIFICATIONS. ALL SIGN PLACEMENT MUST BE APPROVED BY CONTRACT ADMINISTRATOR PRIOR TO INSTALLATION.
- ALL PAVEMENT MARKINGS AND RECESSED REFLECTORS TO BE TO MOTI STANDARDS (MANUAL OF STANDARD TRAFFIC SIGNS & PAVEMENT MARKINGS) UNLESS OTHERWISE APPROVED BY CONTRACT ADMINISTRATOR.
- ALL PROPOSED PAVEMENT MARKINGS TO BE THERMOPLASTIC, 0.12 INCHES THICK, UNLESS OTHERWISE NOTED.
- ALL EXISTING, PERMANENT AND TEMPORARY PAVEMENT MARKINGS NO LONGER APPLICABLE TO BE REMOVED IMMEDIATELY AFTER INSTALLATION OF NEW PAVEMENT MARKINGS.
- BIKE SIGNS AND MARKING STENCIL TO BE PER TAC "GUIDELINES OR DOU TRAIL STANDARDS FOR THE DESIGN AND APPLICATION OF BIKEWAY PAVEMENT MARKINGS."
- EXISTING SIGN POSTS AND BASES CAN BE RE-USED IF IN CONFORMANCE WITH EXISTING SPECIFICATIONS OR AS APPROVED BY CONTRACT ADMINISTRATOR.

| EXISTING | PROPOSED | DESCRIPTION |
|----------|----------|----------------------------------|
| --- | --- | PROPERTY LINE |
| --- | --- | STATUTORY RIGHT OF WAY |
| --- | --- | EDGE OF PAVEMENT |
| --- | --- | CURB AND GUTTER |
| --- | --- | EDGE OF GRAVEL |
| --- | --- | TOP OF BANK / TOP OF CUT |
| --- | --- | BOTTOM OF BANK / TOE OF FILL |
| | | CATCH BASIN |
| | | WATER VALVE |
| | | REDUCER |
| | | FIRE HYDRANT |
| | | AIR VALVE |
| | | BLOW OFF |
| | | SIGN |
| | | UTILITY POLE |
| | | STREET LIGHT |
| | | MANHOLE |
| | | CLEANOUT |
| | | INSPECTION CHAMBER / SERVICE BOX |
| | | JUNCTION BOX |
| | | WATERMAIN |
| | | SANITARY SEWER |
| | | SANITARY FORCEMAIN |
| | | STORM DRAIN |
| | | STORM CULVERT |
| | | DITCH / SWALE |
| | | GASMAIN |
| | | UNDERGROUND TEL |
| | | UNDERGROUND CABLE |
| | | UNDERGROUND STREET LIGHT |
| | | UNDERGROUND HYDRO |
| | | OVERHEAD HYDRO |

| Rev | Date | Description | Drawn | Design | App'd |
|-----|------------|-------------------------------|-------|--------|-------|
| PD | 2023-06-08 | ISSUED FOR 100% DESIGN | JS | JS | SO |
| PC | 2023-03-10 | ISSUED FOR 95% DESIGN | KB | KB | SO |
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100% DESIGN

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ORIGINAL DWG SIZE: ANSI D (22" x 34")

McElhanney

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1351 Estevan Road
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Tel 250 716 3336

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PERMIT NUMBER: 1003299
Engineers and Geoscientists of BC

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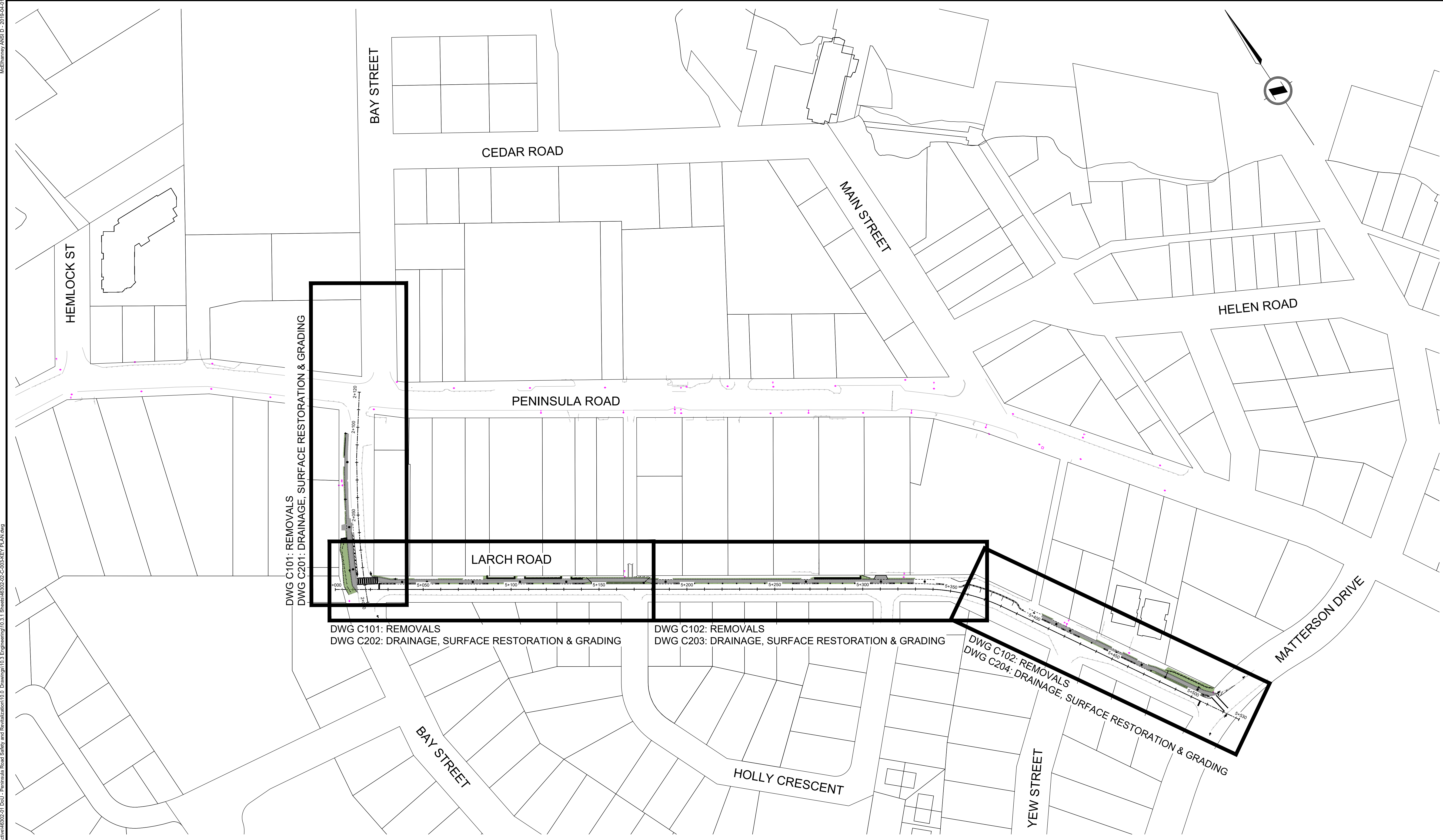
LARCH ROAD ACTIVE TRANSPORTATION IMPROVEMENTS

DETAILED DESIGN

GENERAL NOTES & LEGEND

| | |
|----------------|-------------|
| Drawing No. | C002 |
| Project Number | Rev. |
| 2231-46302-02 | PD |

Larch Road Multi-Use Path Design, Costs, and Next Steps James Macintosh...
 McElhanney ANS D - 2019-04-01
 DATE: 2023-06-08 2:38 FILE: Z:\Projects\Active\6302-01 Dou - Peninsula Road Safety and Revitalization\10.0 Drawings\10.3 Sheets\6302-02-C-003-KEY PLAN.dwg



DWG C101: REMOVALS
 DWG C201: DRAINAGE, SURFACE RESTORATION & GRADING

DWG C101: REMOVALS
 DWG C202: DRAINAGE, SURFACE RESTORATION & GRADING

DWG C102: REMOVALS
 DWG C203: DRAINAGE, SURFACE RESTORATION & GRADING

DWG C102: REMOVALS
 DWG C204: DRAINAGE, SURFACE RESTORATION & GRADING

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0 1:1,000 50

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 Suite 1
 1351 Estevan Road
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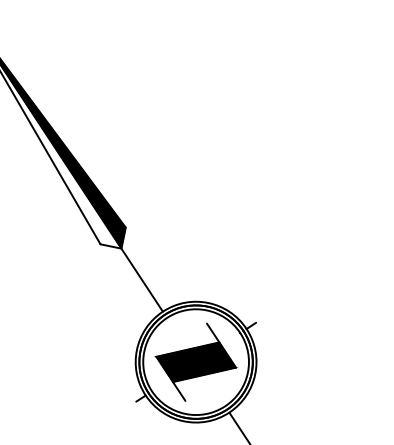
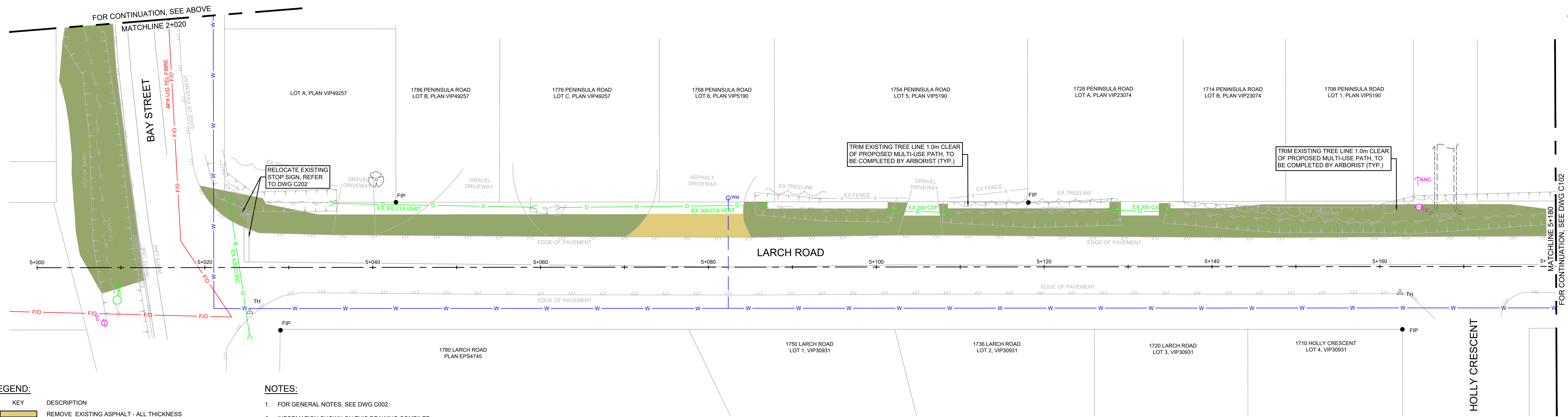
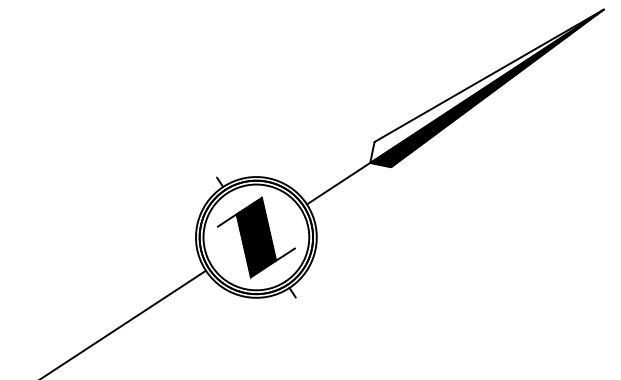
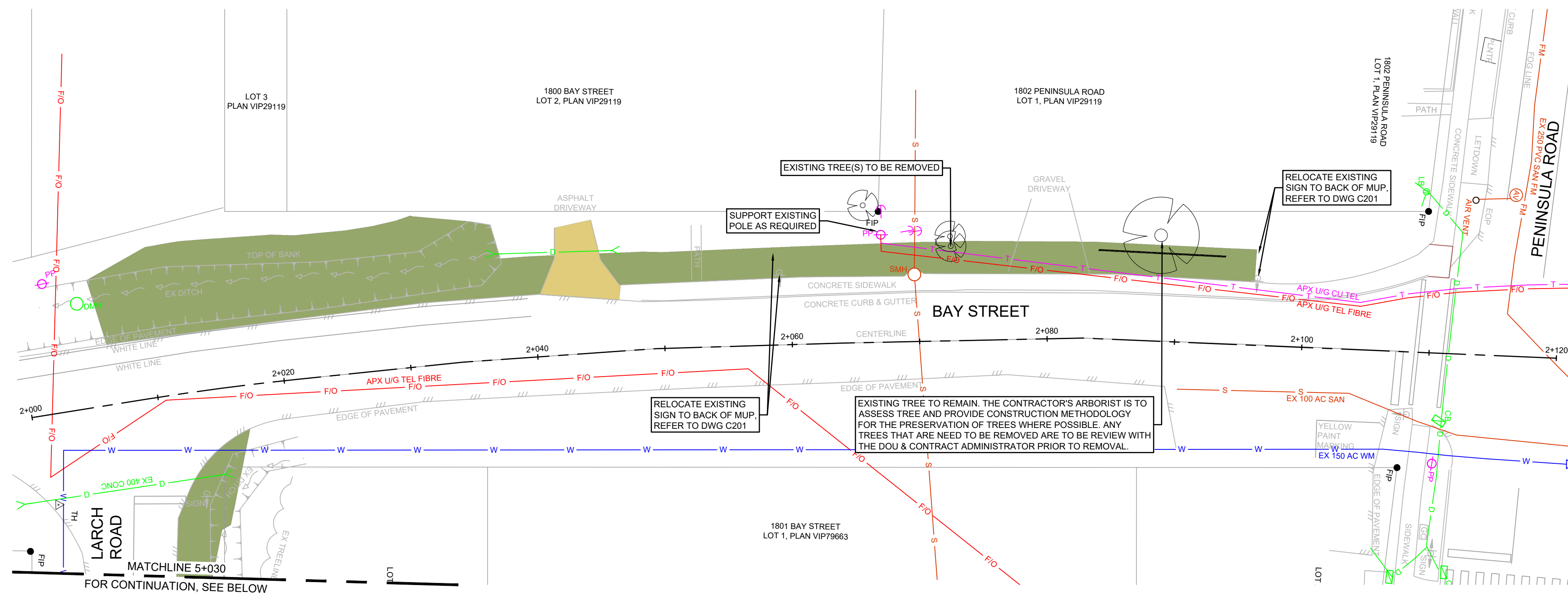


DISTRICT OF UCLUELET
 200 MAIN STREET, UCLUELET, BC, V0R 3A0

LARCH ROAD ACTIVE TRANSPORTATION IMPROVEMENTS
 DETAILED DESIGN

KEY PLAN

| | | |
|----------------------------|---------------------------------|------------|
| Drawing No. C003 | Project Number 2231-46302-02 | Rev. PD |
|----------------------------|---------------------------------|------------|



LEGEND:

| KEY | DESCRIPTION |
|-----|---|
| | REMOVE EXISTING ASPHALT - ALL THICKNESS |
| | REMOVE EXISTING CONCRETE - ALL THICKNESS |
| | MIXED MATERIAL AREA - REMOVE TO APPROVED SUBGRADE |
| | REMOVE EXISTING CURB - ALL TYPES |

- NOTES:**
- FOR GENERAL NOTES, SEE DWG C002.
 - INFORMATION SHOWN ON THIS DRAWING COMPILED FROM RECORD DRAWINGS, TOPOGRAPHIC SURVEYS & ORTHO PHOTOGRAPHY. ALL OR ANY EXISTING INFORMATION NOT NECESSARILY SHOWN.

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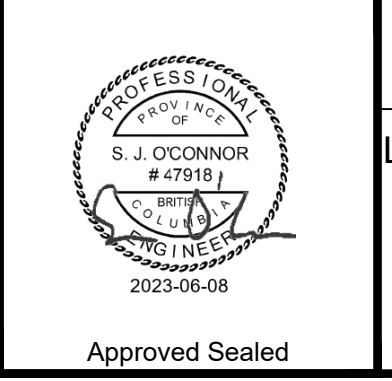
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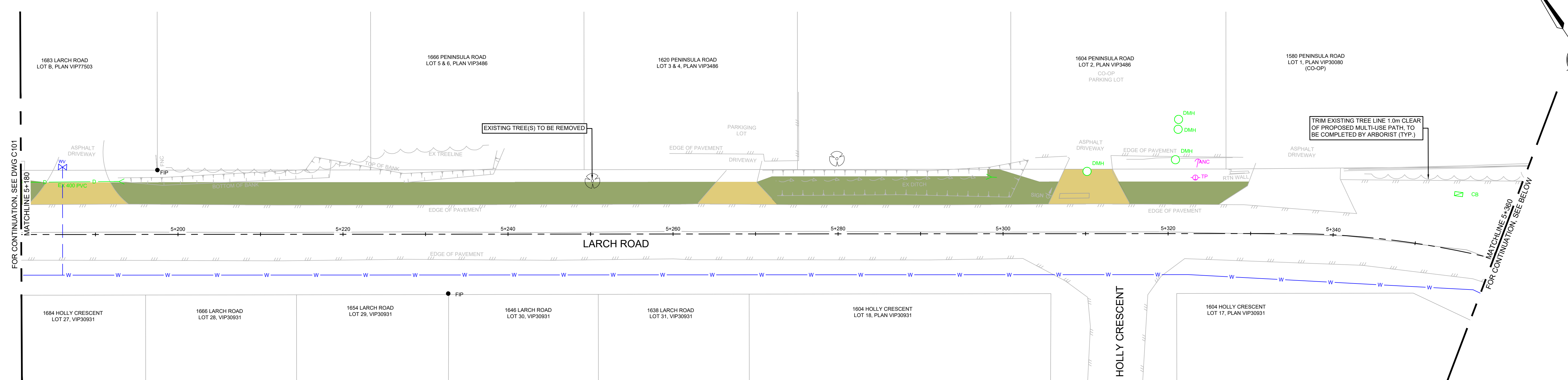
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**LARCH ROAD ACTIVE TRANSPORTATION IMPROVEMENTS
DETAILED DESIGN
BAY STREET & LARCH ROAD
REMOVALS PLAN**

| | |
|----------------|---------------|
| Drawing No. | C101 |
| Project Number | 2231-46302-02 |
| Rev. | PD |

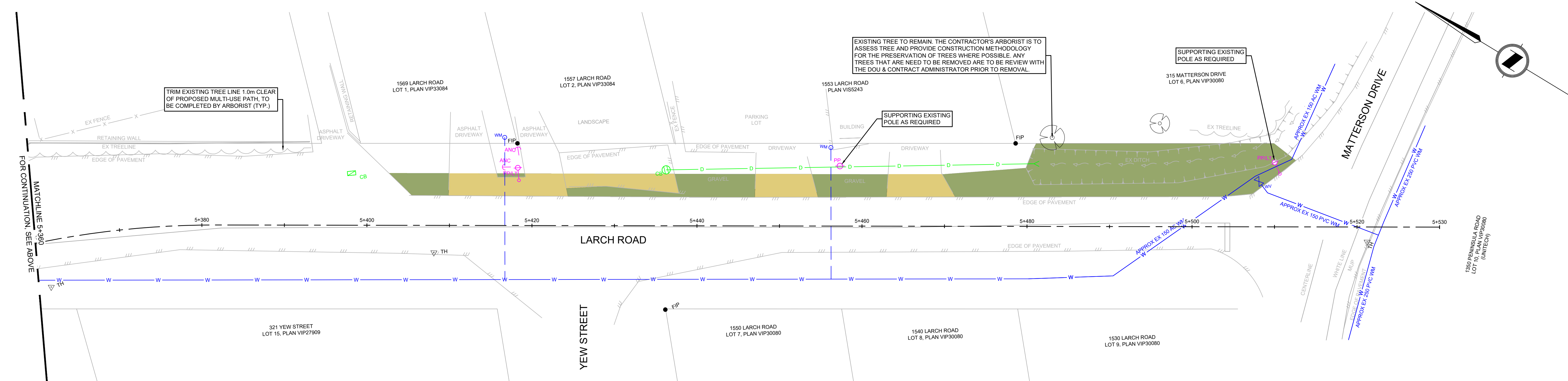


LEGEND:

| KEY | DESCRIPTION |
|-----|---|
| | REMOVE EXISTING ASPHALT - ALL THICKNESS |
| | REMOVE EXISTING CONCRETE - ALL THICKNESS |
| | MIXED MATERIAL AREA - REMOVE TO APPROVED SUBGRADE |
| | REMOVE EXISTING CURB - ALL TYPES |

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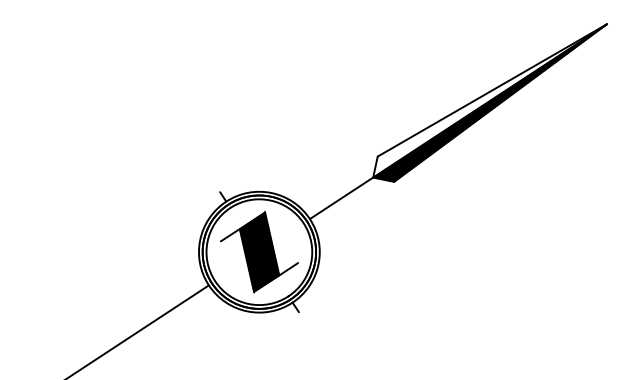
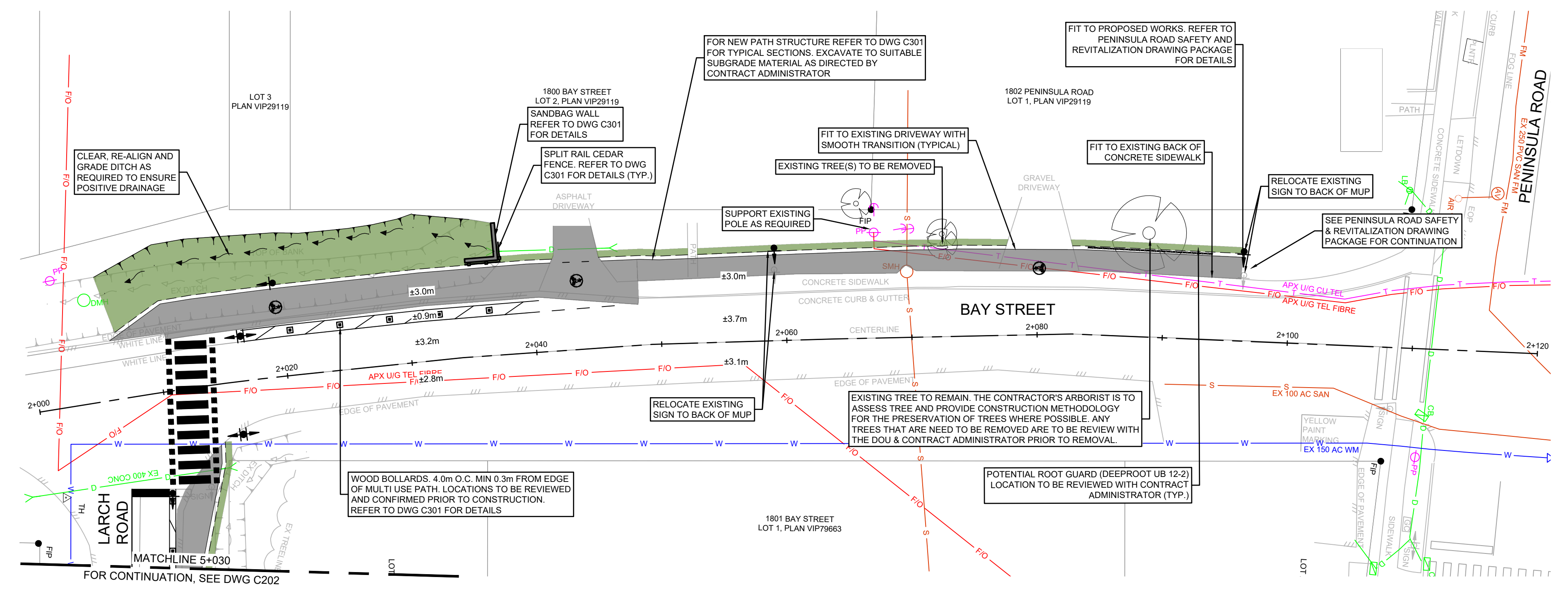
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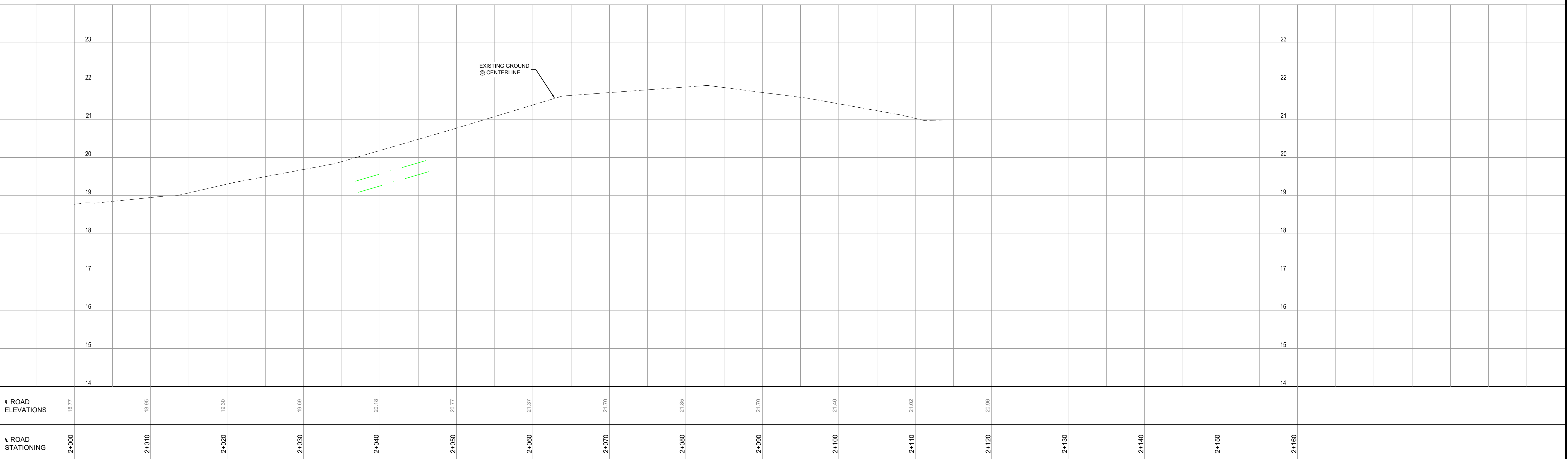
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LARCH ROAD ACTIVE TRANSPORTATION IMPROVEMENTS
DETAILED DESIGN
LARCH ROAD REMOVALS PLAN
STA 5+180 TO 5+530

| | |
|----------------|---------------|
| Drawing No. | C102 |
| Project Number | 2231-46302-02 |
| Rev. | PD |



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 - ALL PAINT MARKINGS TO BE REVIEWED AND APPROVED PRIOR TO PLACEMENT.
 - ERADICATE EXISTING ROAD MARKINGS AS REQUIRED.
 - RELOCATED SIGNS TO COME WITH NEW CONCRETE BASE & POST. OLD POSTS & BASE TO BE DISPOSED OF OFF SITE.
- LEGEND:**
- KEY DESCRIPTION
- ASPHALT 50mm
 - GRADE TO SUIT, 100mm THICK GROWING MEDIUM, HYDRO SEED DISTURBED AREAS
- PAVEMENT MARKINGS:**
- ALL PAINT LINES TO BE THERMOPLASTIC UNLESS NOTED OTHERWISE
- CENTER LINE - 100mm SINGLE SOLID YELLOW PAINT LINE
 - STOP BAR - 600mm SOLID WHITE PAINT LINE
 - BROKEN LINE - 100mm BROKEN (1.0m SPACING) WHITE PAINT LINES
 - PARALLEL CROSSWALKS - 300mm SOLID WHITE PAINT LINES
 - ZEBRA CROSSWALKS - 600mm SOLID WHITE PAINT LINES 1.2m O.C.
 - FOG LINE / PARKING LINES - 100mm SOLID WHITE PAINT LINES
 - ELEPHANT FEET - 400mm x 400mm (400mm SPACING) SOLID WHITE PAINT SQUARES



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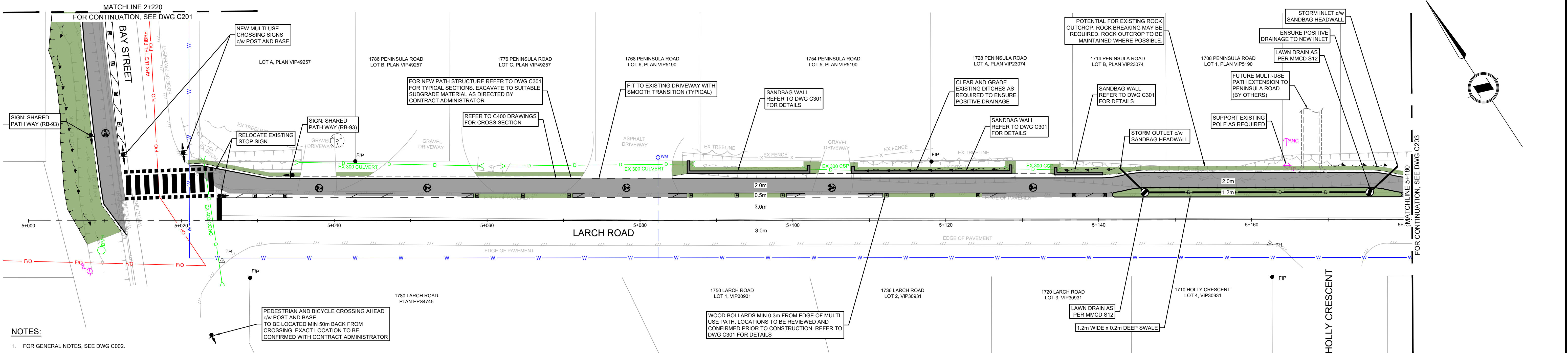
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C201

LARCH ROAD ACTIVE TRANSPORTATION IMPROVEMENTS
DETAILED DESIGN
BAY STREET PLAN & PROFILE
STA 2+000 TO 2+160

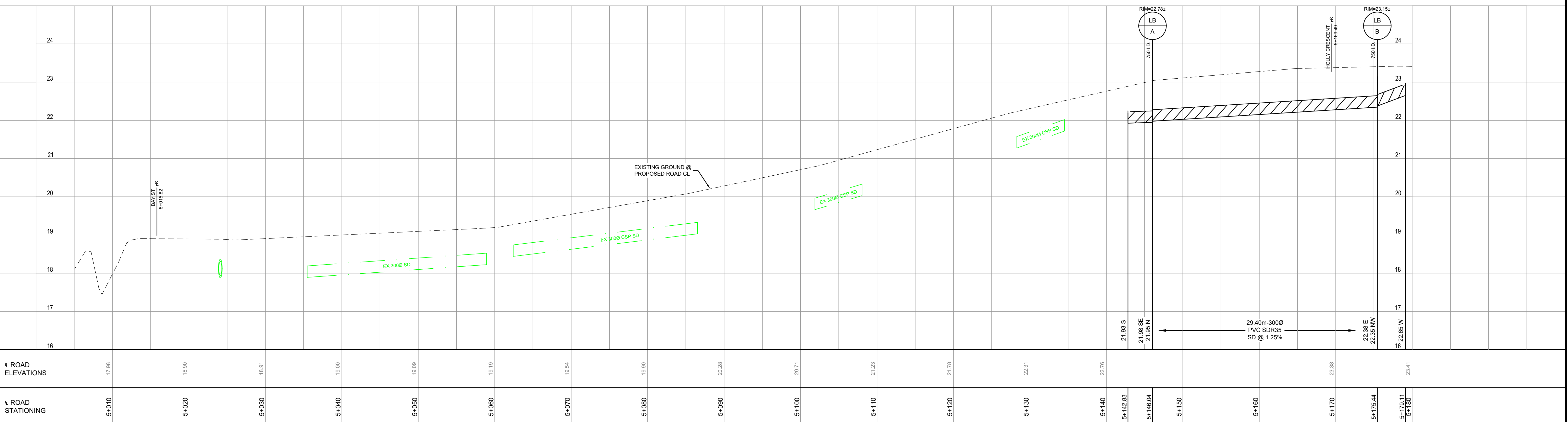
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| Drawing No. | |
| C201 | |
| Project Number | Rev. |
| 2231-46302-02 | PD |



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 - STOP BAR - 600mm SOLID WHITE PAINT LINE
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 - FOG LINE / PARKING LINES - 100mm SOLID WHITE PAINT LINES
 - ELEPHANT FEET - 400mm x 400mm (400mm SPACING) SOLID WHITE PAINT SQUARES

- LEGEND:**
- | KEY | DESCRIPTION |
|----------|---|
| [Symbol] | ASPHALT 50mm |
| [Symbol] | GRADE TO SUIT, 100mm THICK GROWING MEDIUM, HYDRO SEED DISTURBED AREAS |



| Rev | Date | Description | Drawn | Design | App'd |
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100% DESIGN
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0 1:250 10

ORIGINAL DWG SIZE: ANSI D (22" x 34")

McElhanney

Suite 1
1351 Estevan Road
Nanaimo BC
Canada V9S 3Y3
Tel 250 716 3336

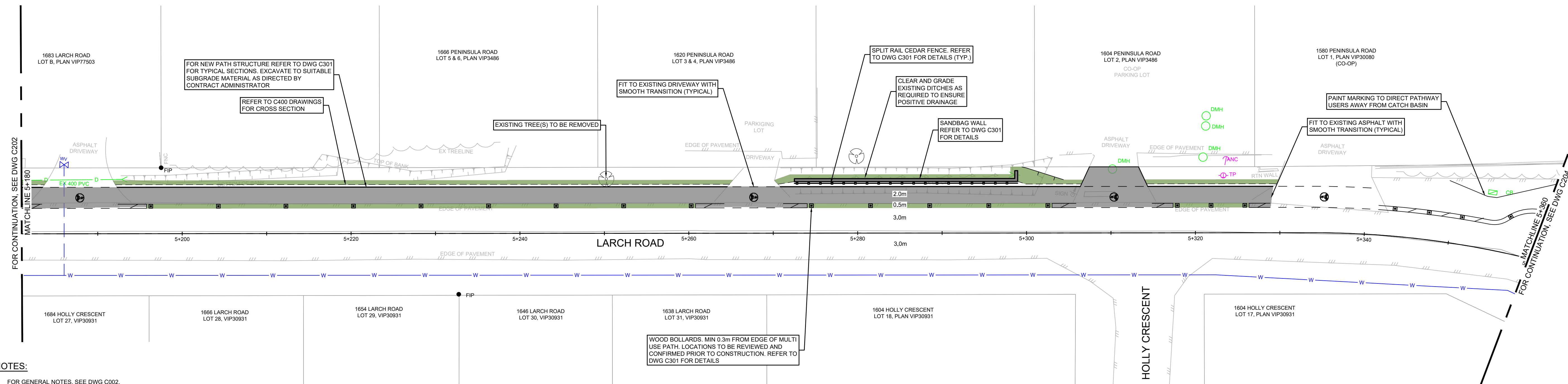
PERMIT TO PRACTICE
McElhanney Ltd.
PERMIT NUMBER: 1003299
Engineers and Geoscientists of BC

Approved Sealed

DISTRICT OF UCLUELET
200 MAIN STREET, UCLUELET, BC, V0R 3A0

LARCH ROAD ACTIVE TRANSPORTATION IMPROVEMENTS
DETAILED DESIGN
LARCH ROAD PLAN & PROFILE
STA 5+000 TO 5+180

Drawing No. **C202**
Project Number 2231-46302-02
Rev. PD

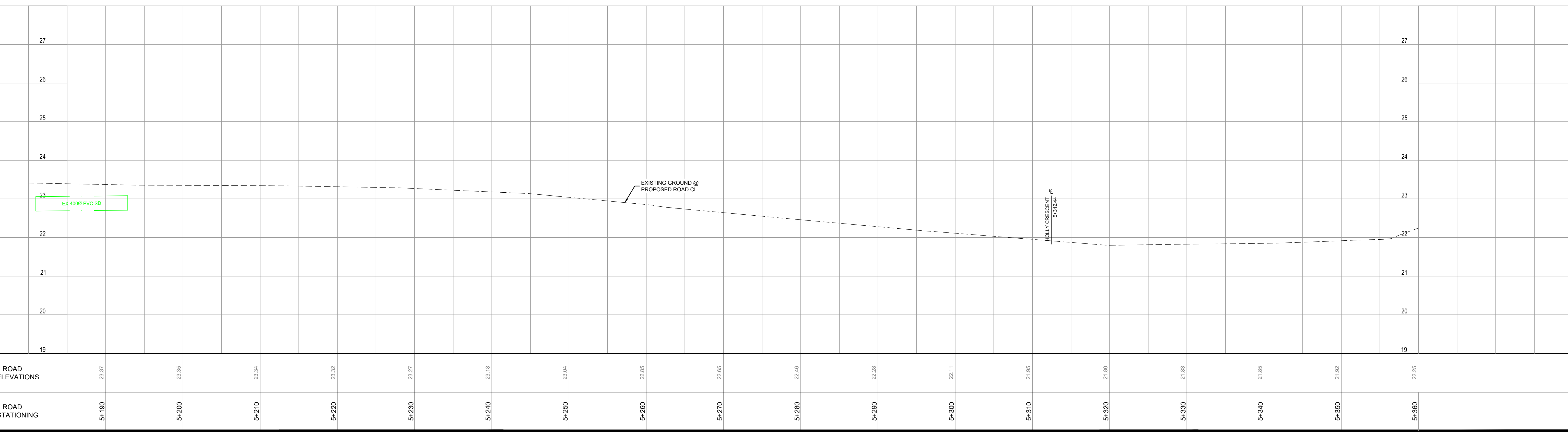


- NOTES:**
- FOR GENERAL NOTES, SEE DWG C002.
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 - ALL PAINT MARKINGS TO BE REVIEWED AND APPROVED PRIOR TO PLACEMENT.
 - ERADICATE EXISTING ROAD MARKINGS AS REQUIRED.
 - RELOCATED SIGNS TO COME WITH NEW CONCRETE BASE & POST. OLD POSTS & BASE TO BE DISPOSED OF OFF-SITE.

- PAVEMENT MARKINGS:**
- ALL PAINT LINES TO BE THERMOPLASTIC UNLESS NOTED OTHERWISE
- CENTER LINE - 100mm SINGLE SOLID YELLOW PAINT LINE
 - STOP BAR - 600mm SOLID WHITE PAINT LINE
 - BROKEN LINE - 100mm BROKEN (1.0m SPACING) WHITE PAINT LINES
 - PARALLEL CROSSWALKS - 300mm SOLID WHITE PAINT LINES
 - ZEBRA CROSSWALKS - 600mm SOLID WHITE PAINT LINES 1.2m O.C.
 - FOG LINE / PARKING LINES - 100mm SOLID WHITE PAINT LINES
 - ELEPHANT FEET - 400mm x 400mm (400mm SPACING) SOLID WHITE PAINT SQUARES

LEGEND:

| KEY | DESCRIPTION |
|-----|---|
| | ASPHALT 50mm |
| | GRADE TO SUIT, 100mm THICK GROWING MEDIUM, HYDRO SEED DISTURBED AREAS |



| Rev | Date | Description | Drawn | Design | App'd |
|-----|------------|-------------------------------|-------|--------|-------|
| PD | 2023-06-08 | ISSUED FOR 100% DESIGN | JS | JS | SO |
| PC | 2023-03-10 | ISSUED FOR 95% DESIGN | KB | KB | SO |
| PB | 2022-09-16 | ISSUED FOR 70% DESIGN | KB | KB | SO |
| PA | 2022-06-27 | ISSUED FOR PRELIMINARY REVIEW | KB | KB | SO |

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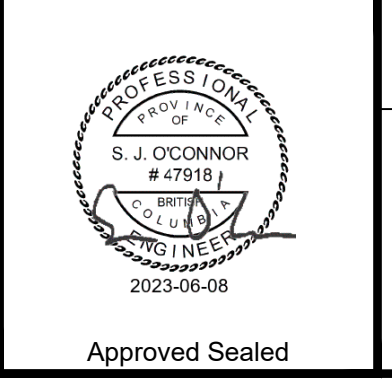
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ORIGINAL DWG SIZE: ANSI D (22" x 34")

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1351 Estevan Road
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Canada V9S 3Y3
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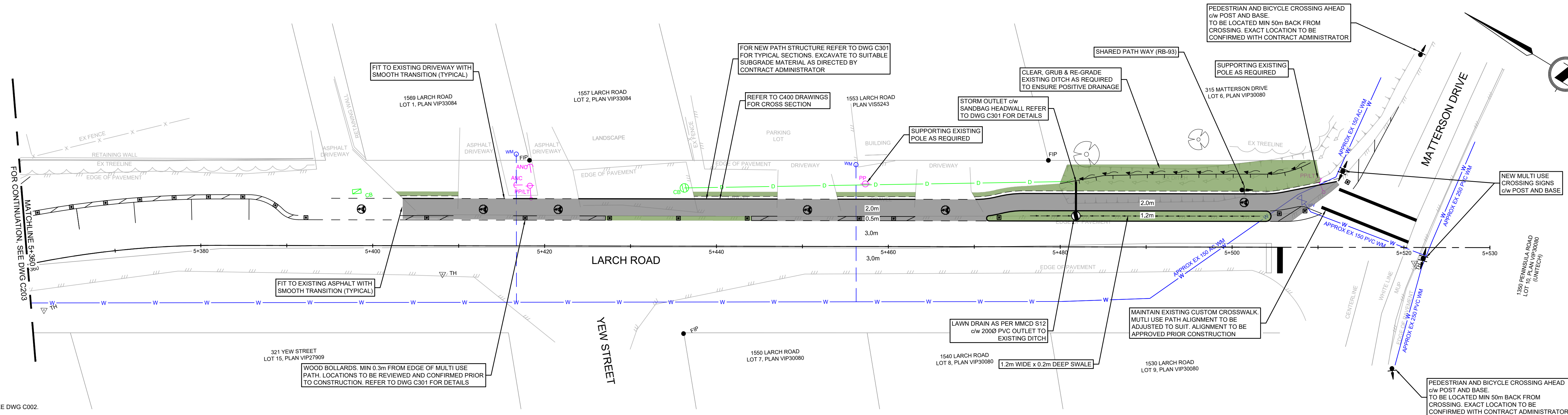
DISTRICT OF UCLUELET
200 MAIN STREET, UCLUELET, BC, V0R 3A0

LARCH ROAD ACTIVE TRANSPORTATION IMPROVEMENTS
DETAILED DESIGN
LARCH ROAD PLAN & PROFILE
STA 5+180 TO 5+360

Drawing No. **C203**

Project Number 2231-46302-02

Rev. PD

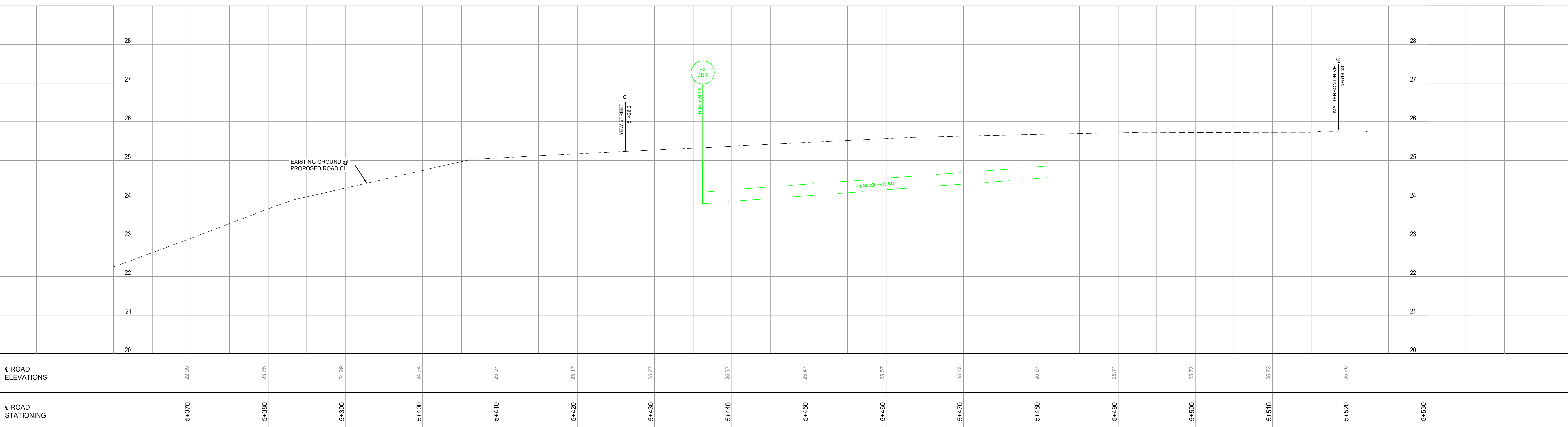


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 - FOG LINE / PARKING LINES - 100mm SOLID WHITE PAINT LINES
 - ELEPHANT FEET - 400mm x 400mm (400mm SPACING) SOLID WHITE PAINT SQUARES

LEGEND:

| KEY | DESCRIPTION |
|----------|---|
| [Symbol] | ASPHALT 50mm |
| [Symbol] | GRADE TO SUIT, 100mm THICK GROWING MEDIUM, HYDRO SEED DISTURBED AREAS |



| | | | | | | | | | | | | | | | | | |
|--------------------------|-------|-------|-------|-------|-------|-------|-------|-------|-------|-------|-------|-------|-------|-------|-------|-------|-------|
| € ROAD ELEVATIONS | 22.99 | 23.75 | 24.29 | 24.74 | 25.07 | 25.17 | 25.27 | 25.37 | 25.47 | 25.57 | 25.63 | 25.67 | 25.71 | 25.72 | 25.73 | 25.76 | 25.76 |
| € ROAD STATIONING | 5+370 | 5+380 | 5+390 | 5+400 | 5+410 | 5+420 | 5+430 | 5+440 | 5+450 | 5+460 | 5+470 | 5+480 | 5+490 | 5+500 | 5+510 | 5+520 | 5+530 |

100% DESIGN
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ORIGINAL DWG SIZE: ANSI D (22" x 34")

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DISTRICT OF UCLUELET
200 MAIN STREET, UCLUELET, BC, V0R 3A0

LARCH ROAD ACTIVE TRANSPORTATION IMPROVEMENTS
DETAILED DESIGN
LARCH ROAD PLAN & PROFILE
STA 5+360 TO 5+530

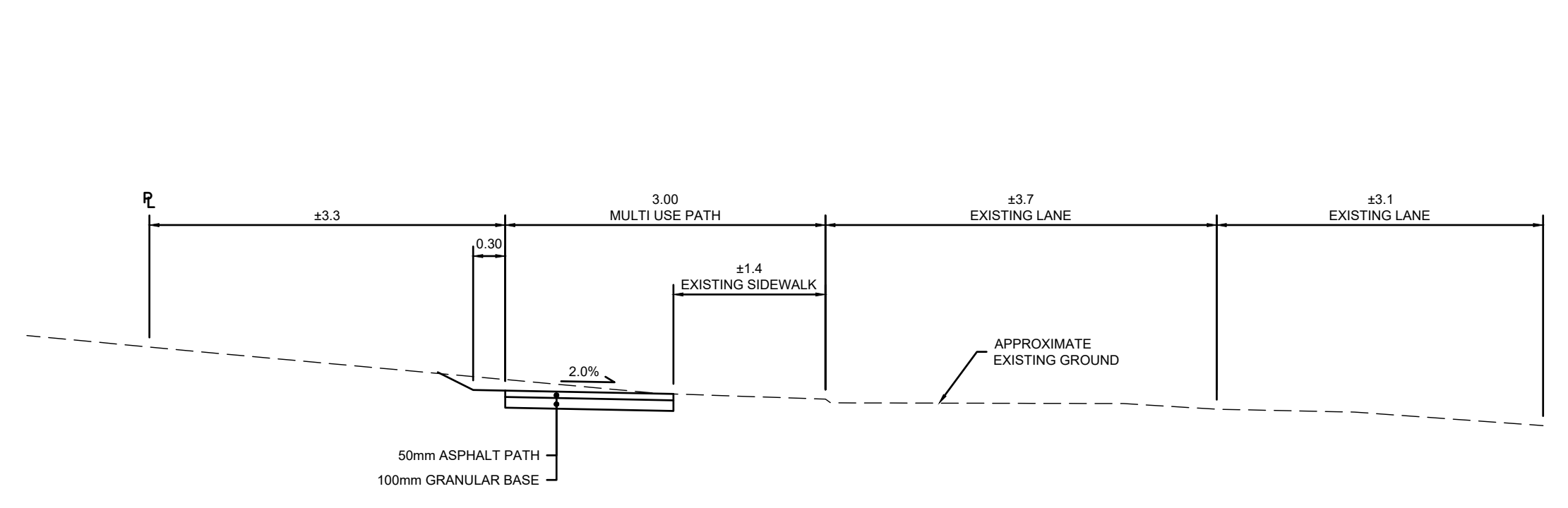
Drawing No.
C204

Project Number
2231-46302-02

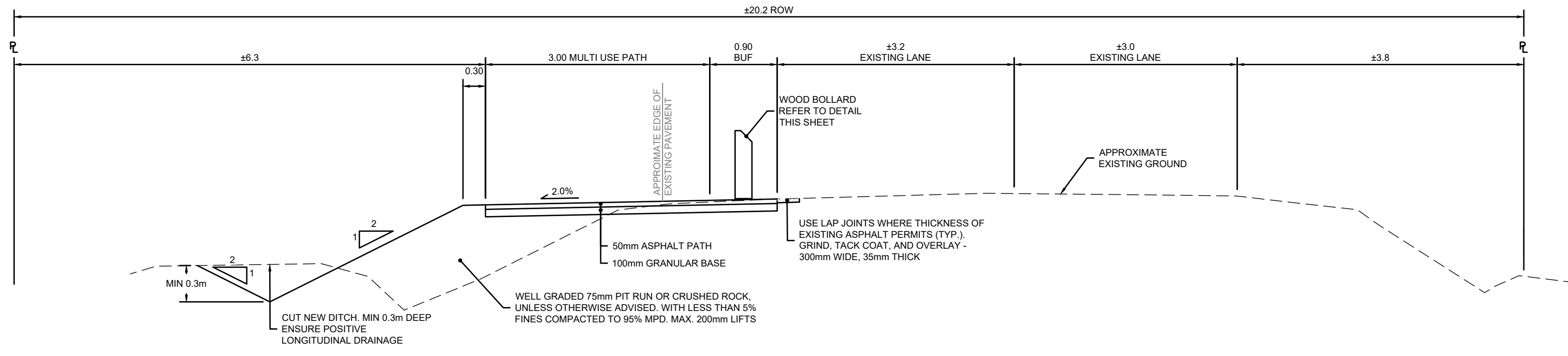
Rev.
PD

| Rev | Date | Description | Drawn | Design | App'd |
|-----|------------|-------------------------------|-------|--------|-------|
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| PB | 2022-09-16 | ISSUED FOR 70% DESIGN | KB | KB | SO |
| PA | 2022-06-27 | ISSUED FOR PRELIMINARY REVIEW | KB | KB | SO |

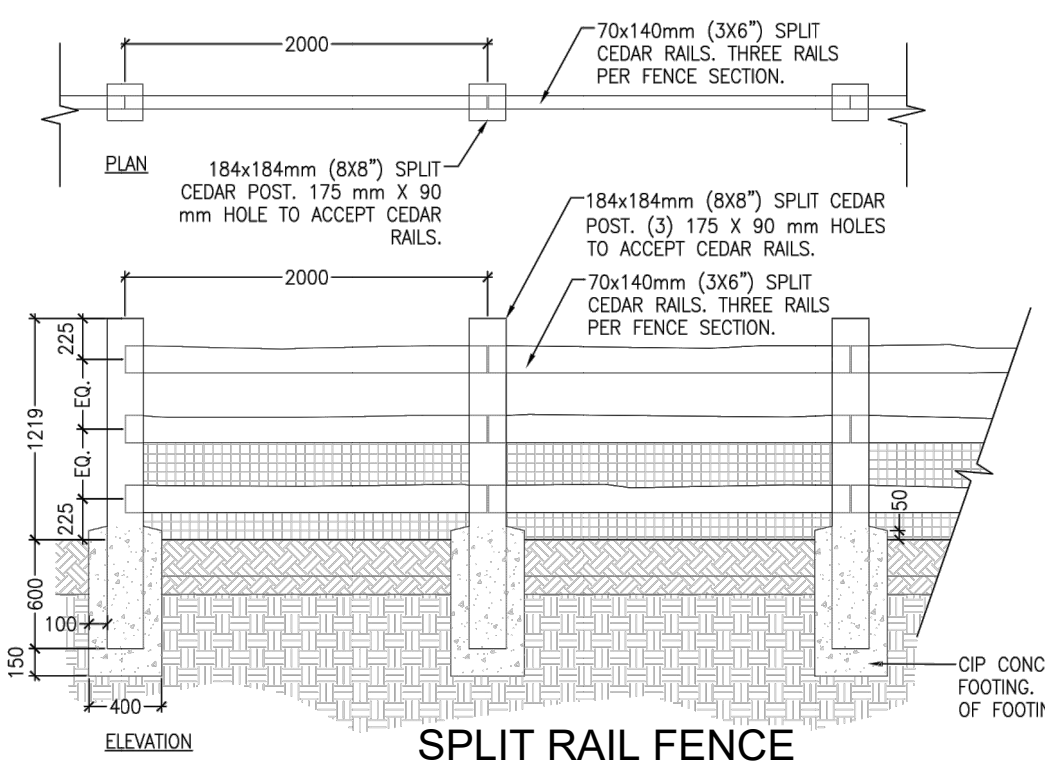
Larch Road Multi-Use Path Design, Costs, and Next Steps James MacInosh...
 McElhanney ANS D - 2019-04-01
 DATE: 2023-06-08 2:40 FILE: Z:\Projects\Active\6302-01 Dou - Peninsula Road Safety and Revitalization\10.0 Drawings\10.3 Sheets\6302-02-C-300-DETAILS.dwg
 Project Number: 2231-46302-02



BAY STREET - TYPICAL SECTION (2+090)
SCALE 1:50

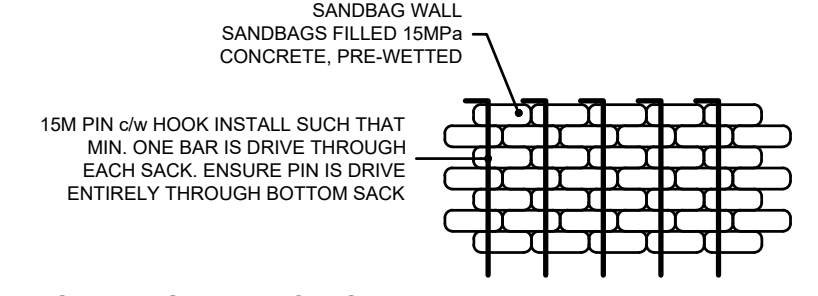


BAY STREET - TYPICAL SECTION (2+020)
SCALE 1:50



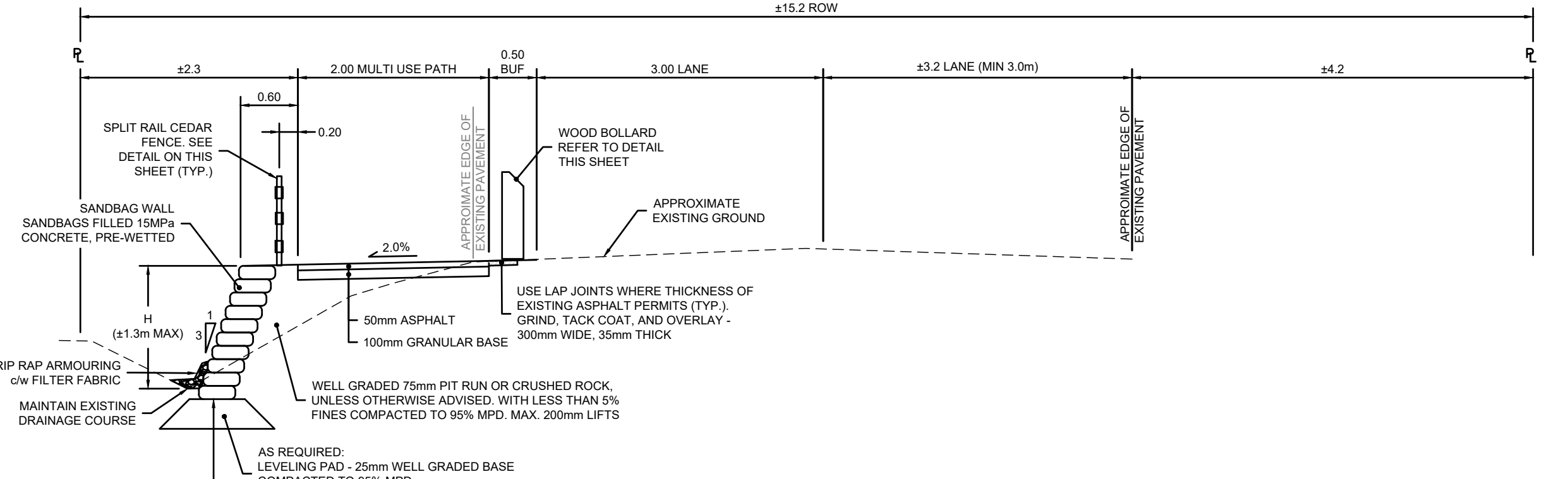
- NOTES:**
- 1). ALL WOOD TO BE SPLIT WESTERN RED CEDAR, OR YELLOW CEDAR, FREE FROM FUNGI, AND STRUCTURALLY SOUND.
 - 2). WOOD TO BE LOCALLY SOURCED.

SPLIT RAIL FENCE
SCALE NTS

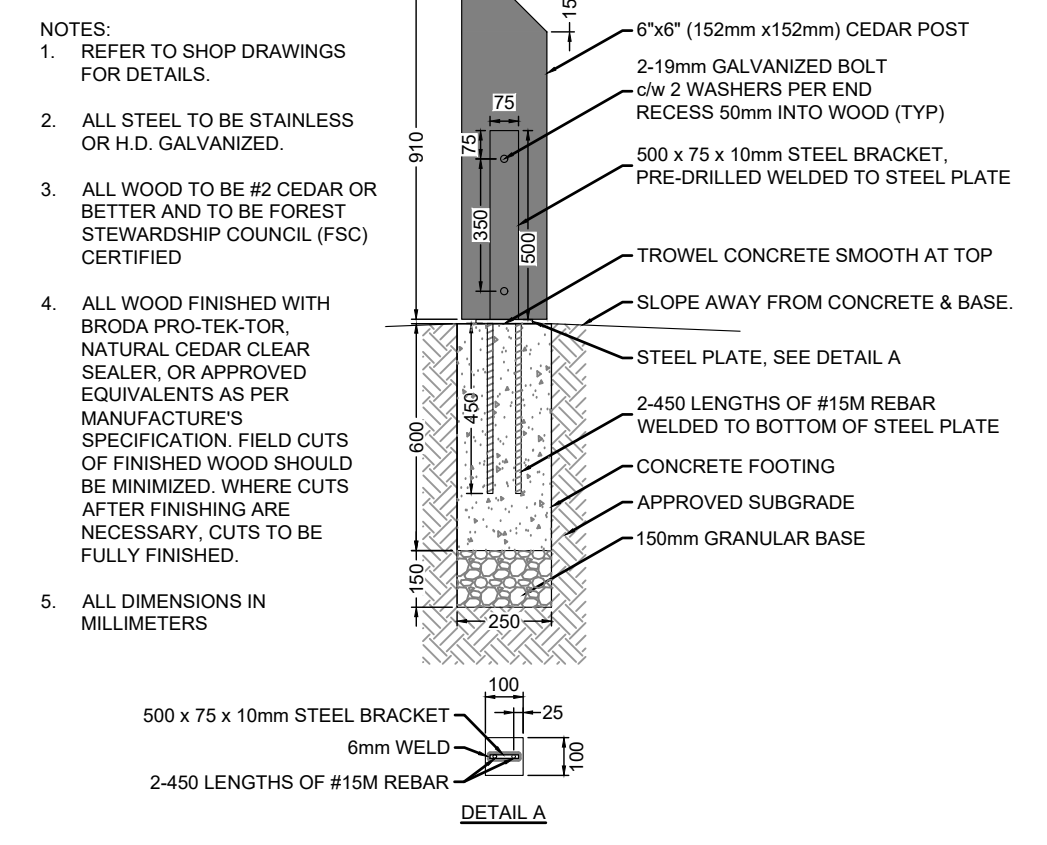


- SANDBAG WALL NOTES**
1. SACKS SHALL BE 0.25kg BURLAP WITH APPROXIMATE INSIDE DIMENSIONS OF 350 x 500 mm AS MEASURED WHEN THE SACK IS LAID FLAT.
 2. SANDBAG SACKS SHALL BE WETTED AND FILLED WITH WET PREMIXED CONCRETE AND FOLDED AT THE TOP TO RETAIN THE CONCRETE AT THE TIME OF PLACING.
 3. IMMEDIATELY AFTER BEING FILLED WITH CONCRETE, SACKS SHALL BE PLACED AND LIGHTLY TAMPED TO CONFORM WITH THE SLOPE, CULVER PIPE, AND ADJACENT SACKS IN PLACE.
 4. SACKED CONCRETE SHALL BE LAID IN COURSES SUCH THAT THE JOINTS IN SUCCEEDING COURSES ARE STAGGERED. COURSES SHALL BE A MINIMUM OF TEN PER VERTICAL METER. DIRT AND DEBRIS SHALL BE REMOVED FROM TOP OF SACKS BEFORE THE NEXT COURSE IS LAID THEREON.
 5. PRIOR TO SACKED CONCRETE SETTING, COURSES OF BAGS SHALL BE TIED BY DRIVING A 15M REINFORCING BAR VERTICALLY FROM TOP TO BOTTOM THROUGH EACH COURSE. TOP OF BAR SHALL BE BET OVER ON TOP.
 6. REINFORCING BARS SHALL BE 15m INTERMEDIATE GRADE STEEL CONFORMING TO CSA G 30.18, GRAD 40

SANDBAG WALL
SCALE NTS

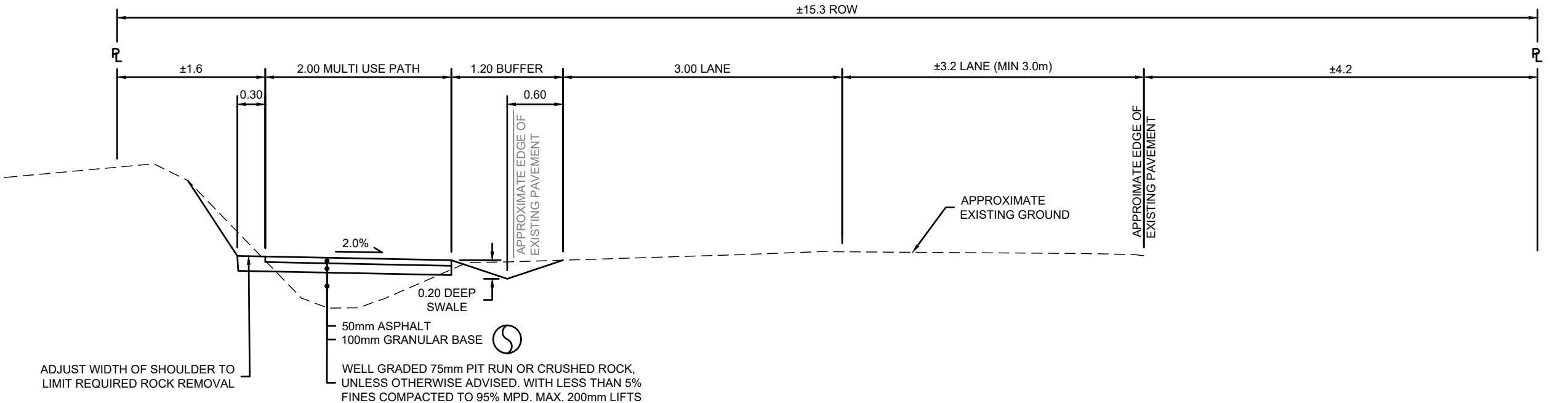


LARCH ROAD - TYPICAL SECTION (5+120)
SCALE 1:50

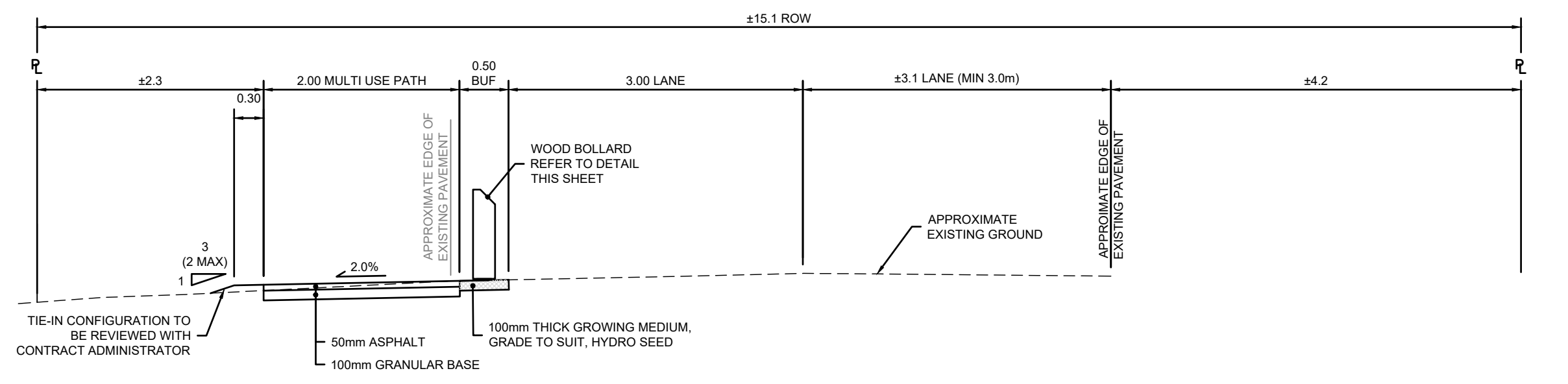


- NOTES:**
1. REFER TO SHOP DRAWINGS FOR DETAILS.
 2. ALL STEEL TO BE STAINLESS OR H.D. GALVANIZED.
 3. ALL WOOD TO BE #2 CEDAR OR BETTER AND TO BE FOREST STEWARDSHIP COUNCIL (FSC) CERTIFIED.
 4. ALL WOOD FINISHED WITH BRODA PRO-TEK-TOR, NATURAL CEDAR CLEAR SEALER, OR APPROVED EQUIVALENTS AS PER MANUFACTURER'S SPECIFICATION. FIELD CUTS OF FINISHED WOOD SHOULD BE MINIMIZED. WHERE CUTS AFTER FINISHING ARE NECESSARY, CUTS TO BE FULLY FINISHED.
 5. ALL DIMENSIONS IN MILLIMETERS

WOODEN BOLLARD
SCALE NTS



LARCH ROAD - TYPICAL SECTION (5+160)
SCALE 1:50



LARCH ROAD - TYPICAL SECTION (5+240)
SCALE 1:50

| Rev | Date | Description | Drawn | Design | App'd |
|-----|------------|-------------------------------|-------|--------|-------|
| PD | 2023-06-08 | ISSUED FOR 100% DESIGN | JS | JS | SO |
| PC | 2023-03-10 | ISSUED FOR 95% DESIGN | KB | KB | SO |
| PB | 2022-09-16 | ISSUED FOR 70% DESIGN | KB | KB | SO |
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ORIGINAL DWG SIZE: ANSI D (22" x 34")

McElhanney

Suite 1
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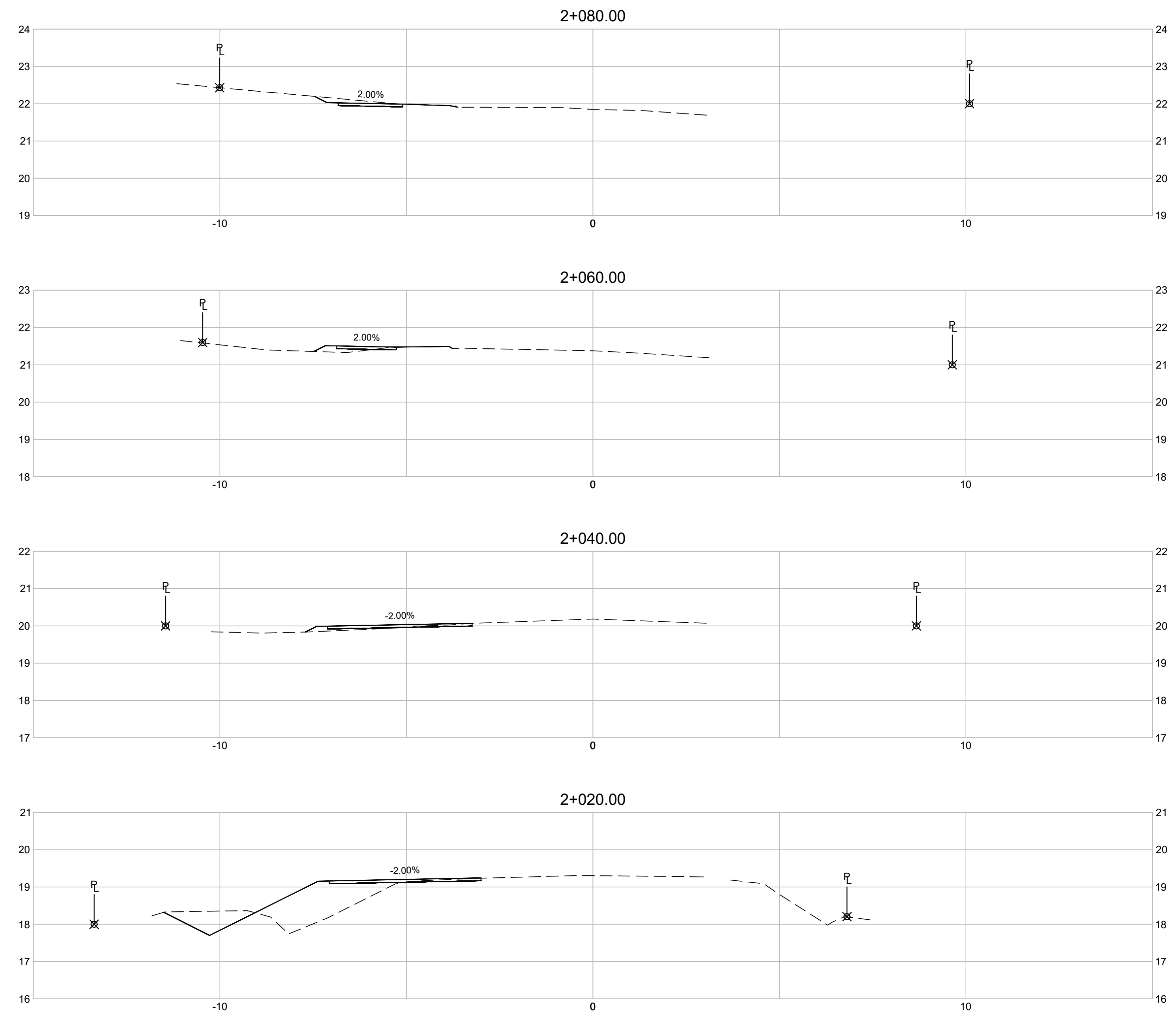
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DISTRICT OF UCLUELET
200 MAIN STREET, UCLUELET, BC, V0R 3A0

LARCH ROAD ACTIVE TRANSPORTATION IMPROVEMENTS
DETAILED DESIGN

DETAILS & TYPICAL SECTIONS

| | |
|----------------|---------------|
| Drawing No. | C301 |
| Project Number | 2231-46302-02 |
| Rev. | PD |



| Rev | Date | Description | Drawn | Design | App'd |
|-----|------------|-------------------------------|-------|--------|-------|
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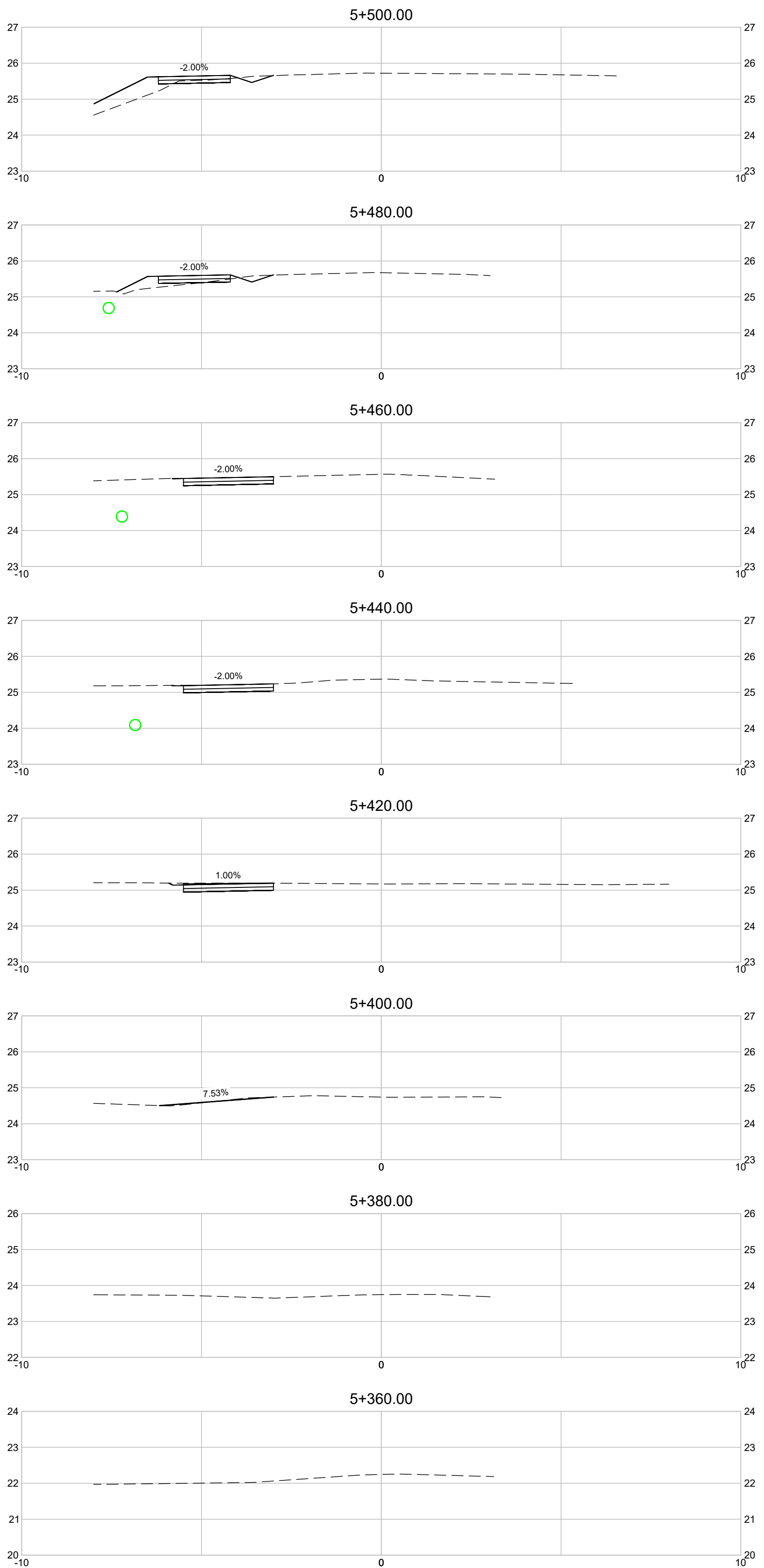
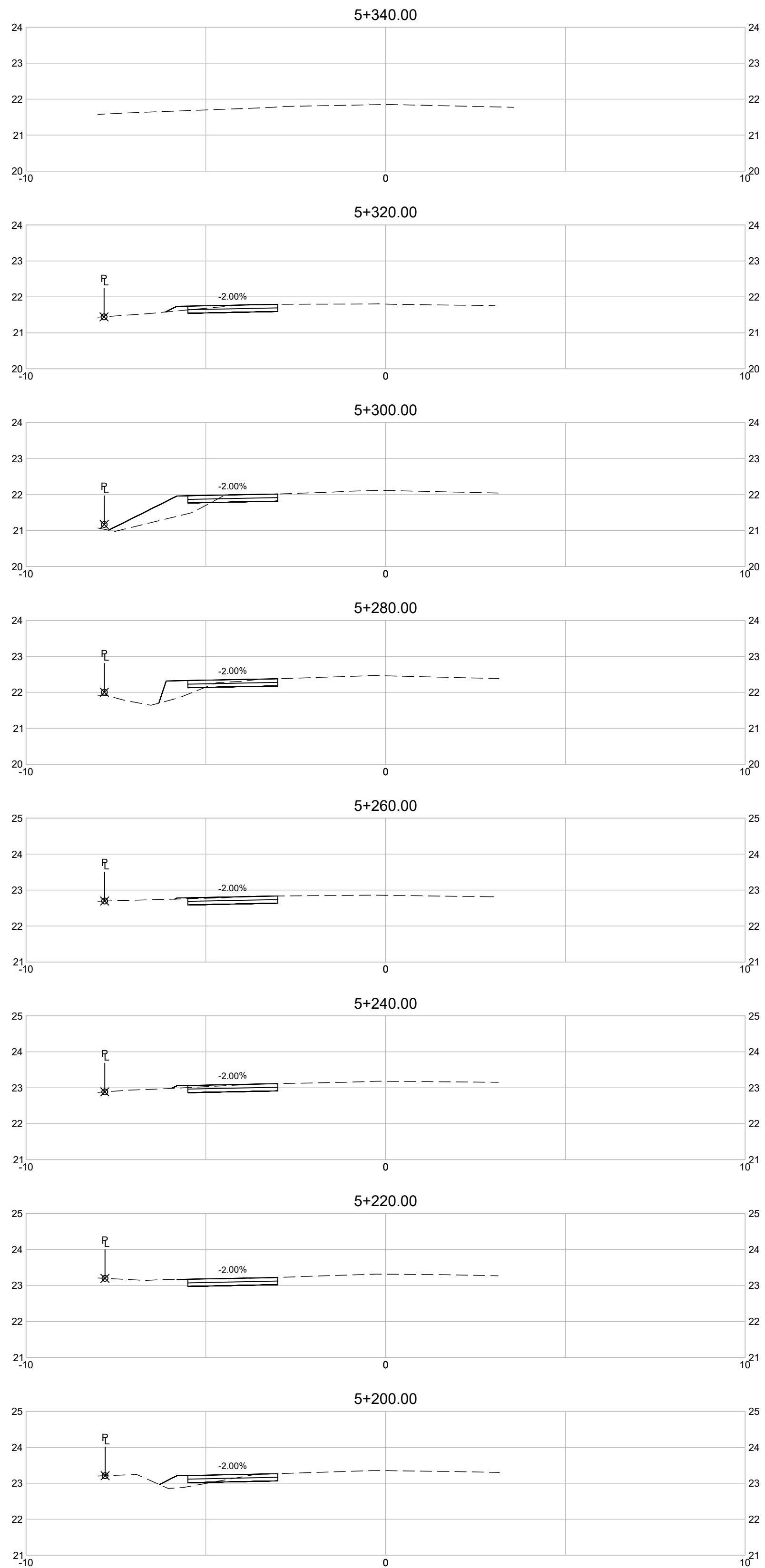
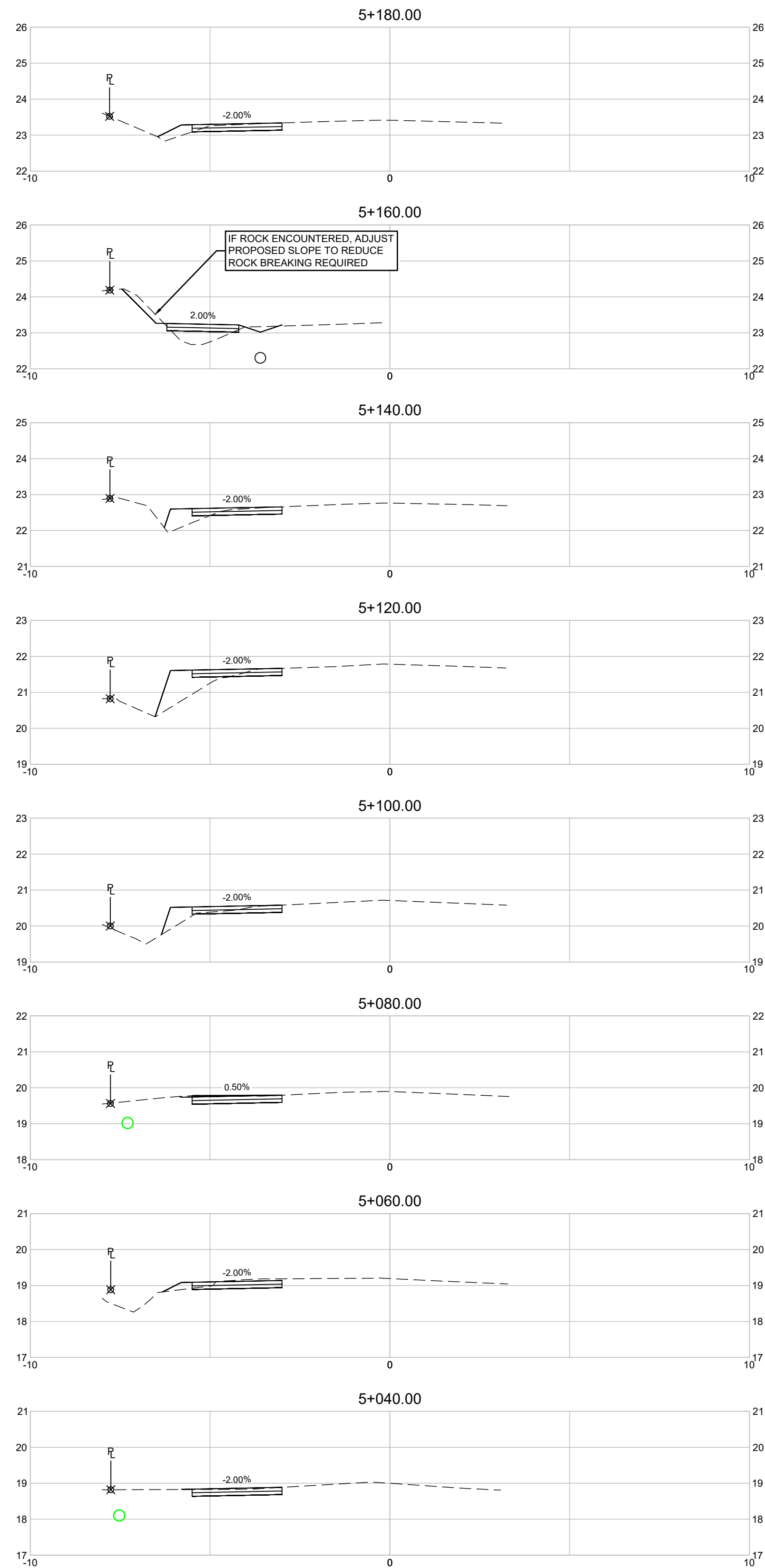


DISTRICT OF UCLUELET
200 MAIN STREET, UCLUELET, BC, V0R 3A0

LARCH ROAD ACTIVE TRANSPORTATION IMPROVEMENTS
DETAILED DESIGN

BAY STREET CROSS SECTIONS

| | |
|----------------|---------------|
| Drawing No. | C401 |
| Project Number | 2231-46302-02 |
| Rev. | PD |



| Rev | Date | Description | Drawn | Design | App'd |
|-----|------------|-------------------------------|-------|--------|-------|
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DISTRICT OF UCLUELET
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LARCH ROAD ACTIVE TRANSPORTATION IMPROVEMENTS
 DETAILED DESIGN
LARCH ROAD CROSS SECTIONS

| | |
|----------------|---------------|
| Drawing No. | C402 |
| Project Number | 2231-46302-02 |
| Rev. | PD |

UPDATED PROJECT SCHEDULE



District of Ucluelet
Larch Road Active Transportation Improvements

2231-46302-01
June 8, 2023

| Week: | | 5-Jun | 12-Jun | 19-Jun | 26-Jun | 3-Jul | 10-Jul | 17-Jul | 24-Jul | 31-Jul | 7-Aug | 14-Aug | 21-Aug | 28-Aug | 4-Sep | 11-Sep | 18-Sep | 25-Sep | 2-Oct | 9-Oct | 16-Oct | 23-Oct | 30-Oct | 6-Nov | 13-Nov | 20-Nov | 27-Nov | | |
|---|--|--------|--------|--------|--------|---------|--------|--------|--------|-----------|-------|--------|--------|--------|-------|--------|--------|--------|-------|-------|--------|--------|--------|-------|--------|--------|--------|---|--|
| | | Jun-23 | | | | July-23 | | | | August-23 | | | | Sep-23 | | | | Oct-23 | | | | Nov-23 | | | | | | | |
| TASK DESCRIPTION | | 0 | 0 | 1 | 2 | 3 | 4 | 5 | 6 | 7 | 8 | 9 | 10 | 11 | 12 | 13 | 14 | 15 | 16 | 17 | 18 | 19 | 20 | 21 | 22 | 23 | 24 | | |
| PHASE 3 - 95% DESIGN & PERMITTING | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| 3.1 | 95% Design Drawings & Specifications | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| 3.2 | Permit Application Submission(s) | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| 3.3 | Cost Estimate – Class 'A' | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| 3.4 | 100% Design Submission & Review | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| | Council Meeting - June 27, 4:00 PM Regular Meeting | | | | ★ | | | | | | | | | | | | | | | | | | | | | | | | |
| PHASE 4 - 100% DESIGN & TENDER DOCUMENTS | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| 4.1 | Tender Documents & Drawings (IFT) | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| 4.2 | Tender Call and Tender Period Services | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| 4.3 | Tender Report | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| PHASE 5 - CONSTRUCTION SERVICES | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| 5.1 | Council Meeting - Septemner 5, 4:00 PM Regular Meeting | | | | | | | | | | | | | | ★ | | | | | | | | | | | | | | |
| 5.2 | Contract Award | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| 5.3 | Notice to Proceed / Mobilization | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| 5.4 | Construction | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| 5.5 | Substantial Completion - Oct 30, 2023 | | | | | | | | | | | | | | | | | | | | | | | | | | | ★ | |

Larch Road Multi-Use Path Design, Costs, and Next Steps James MacIntosh,...



REPORT TO COUNCIL

Council Meeting: June 27, 2023

500 Matterson Drive, Ucluelet, BC V0R 3A0

FROM: JOSEPH ROTENBERG, MANAGER OF CORPORATE SERVICES

FILE No: 2240-065 BC MOWL

SUBJECT: FLOOD HAZARD DATA USE AND SHARING AGREEMENT

REPORT No: 23- 95

ATTACHMENT(S): NONE.

RECOMMENDATION(S):

THAT Council authorize the Mayor and Corporate Officer to execute an agreement with the Province of British Columbia known as the Flood Hazard Mapping Studies Data Use and Sharing Agreement.

BACKGROUND:

In 2020 the [District of Ucluelet Coastal Flood Mapping Final Report](#) (the “Report”) was published. This Report was assembled by Ebb Water Consulting and funded through the Union of BC Municipalities Emergency Preparedness Fund. It models tsunami and storm-induced flood hazards for the purpose of developing science-based hazard policy and mapping that would meet regulatory requirements of the Province of British Columbia.

The Minister of Water, Land and Resource Stewardship (the “Province”) recently requested that the District provide documents like the Report so they can be added to a public database.

Ebb Water has authorized the District to share the Report with the Province.

ANALYSIS OF OPTIONS:

| | | | |
|----------|--|---------------------|--|
| A | Enter into the Agreement | <u>Pros</u> | <ul style="list-style-type: none"> The Report would be published as part of the Province’s database and available to the public. |
| | | <u>Cons</u> | <ul style="list-style-type: none"> None identified at this time |
| | | <u>Implications</u> | <ul style="list-style-type: none"> There are no staffing or financial implications. |
| B | Do not provide authorization to enter into the agreement | <u>Pros</u> | <ul style="list-style-type: none"> None identified at this time |
| | | <u>Cons</u> | <ul style="list-style-type: none"> Report would not be published as part of the Province’s database. |
| | | <u>Implications</u> | <ul style="list-style-type: none"> May undermine the District’s ability to perform its contractual obligation under a funding agreement with the Province to provide this data. |

| | | |
|--|-------------------------|-------------------------|
| | <u>Suggested Motion</u> | No resolution required. |
|--|-------------------------|-------------------------|

NEXT STEPS:

- Sign contract
- Send Report to the Province

Respectfully submitted: Joseph Rotenberg, Manager of Corporate Services
 Duane Lawrence, CAO



REPORT TO COUNCIL

Council Meeting: June 27, 2023

500 Matterson Drive, Ucluelet, BC V0R 3A0

FROM: BRUCE GREIG, DIRECTOR OF COMMUNITY PLANNING **FILE NO:** 2450-20-114.896

SUBJECT: LOT 16 - Request to Modify Restrictive Covenant CA9460685 (May 16, 2021)
REPORT NO: 22- 93

ATTACHMENT(S): APPENDIX A – PROPOSED COVENANT MODIFICATION (MAY 16, 2023)
APPENDIX B – RESTRICTIVE COVENANT CA9460685

RECOMMENDATION:

THAT Council direct staff to work with the owners of Lot 16 to provide a draft covenant modification to include a timeline and assurance in the form of land and/or monetary commitments to ensure the construction of the proposed rental apartment building, consistent with the intent of the 2021 rezoning approval.

BACKGROUND:

As a pre-condition to adoption of *Zoning Amendment Bylaw No. 1284, 2021*, the Owners of Lot 16 Marine Drive (Lot 16, District Lot 281, Clayoquot District, Plan VIP76214 Except part in plans VIP80735, VIP83067 and VIP86140) agreed to register a section 219 restrictive covenant on the title of the property, to ensure that the development would proceed as proposed - and as was presented to the community during the rezoning process. A copy of the registered section 219 covenant charge CA9460685 is attached as **Appendix "A"** for reference.

The owners of Lot 16 offered a number of community amenities during the rezoning, including advancing off-site infrastructure upgrades, providing park land dedication above the required minimum, donating one of the single-family lots to the District and providing \$1,000 per unit as a cash contribution to the municipality. The other significant benefit proposed with the Lot 16 development was housing. The new zoning increased the allowable density and permits a mix of townhouses, small-lot single-family and a rental apartment building site. Arguably the greatest community amenity offered was the 48 units of market rental housing. The rental building was proposed to be constructed as the first phase of the development. Significantly, the restrictive covenant on the title of Lot 16 commits the owners to 1.) obtain a building permit for the rental building before any single-family lots are sold; 2.) substantially complete construction of the rental building before any single-family lots are occupied; and, 3.) construct the new "road A" between Marine Drive and Victoria Road with the initial subdivision of the land.

Subsequently:

- The developer has completed the installation of off-site water main upgrades.
- The developer has completed approximately 80% of the off-site sewer force main construction.
- Interest rates have increase significantly since the initial development application.
- Construction costs have increased significantly since the initial development proposal.
- The developer is in discussion with BC Housing to determine if there is an alternative path forward for the financing the rental building construction.

The developer has indicated that it is not currently feasible to construct the rental building at the current mortgage rates without reducing the amount of borrowing required. Because the total development is restricted until the rental building is constructed as the first phase, the owners are requesting changes to the restrictive covenant.

Initially, on May 16, 2023, the owners submitted a proposed covenant modification which would simply remove the restrictions which guarantee the full road construction and the rental building be constructed as the first phase (see **Appendix “B”**). In discussions with the developers, staff have emphasized that to provide an equivalent assurance that the community benefit of rental housing is delivered as was originally proposed, some type of timeline and tangible guarantee would need to be included with a change of the covenant.

On June 20, 2023, the owners confirmed details of their request to modify the covenant. In a nutshell, the request is to remove the current restriction to enable a first subdivision phase that would split the property into 3 parcels: the apartment lot, the townhouse lot and the remainder lot of the future single-family subdivision. Their intent is to construct the first portion of the services and road “A” to the townhouse lot to enable its separate sale. This part of their proposal is basically what was presented in the draft covenant modification in Appendix B. In addition, the owners have now stated that they will commit to the following with respect to the timing of the rental apartment building:

1. within 4 years the owners will obtain a building permit for the apartment site - if not they will place \$500,000 in a trust account to the District;
2. following that, if within 3 years the owners have not passed inspection on the completed foundation for the apartment building, the \$500,000 held in trust would be transferred to the District along with ownership of the apartment parcel.
3. if the developer achieves completion of the foundation within the timeframe above then the funds held in trust would be released back to the owners for the continued financing to complete the construction project.

In essence, this would commit to have the apartment construction substantially underway within 7 years.

This proposal is a change from the original, in response to changing circumstances beyond the developers’ control. Re-working the draft covenant modification would be necessary before this could be finally approved. Staff seek Council input on whether the new proposal from the owners of Lot 16 adequately meets the intent of the original proposal, and reasonably aligns with community expectations.

The 4-year timeframe for obtaining a building permit would enable the developers to continue exploring different financing and ownership models for the apartment building, and if necessary modify the building design to suit. Staff note that initial discussions with BC Housing raised the possibility that alternative financing streams may be possible, tied to affordability/rental restrictions. Staff acknowledge that applying for those types of funding and grant streams take time.

The staff recommendation above would set the developers and staff on a path to iron out the details of the covenant modification, with the details to come back before Council for approval at a future meeting.

ANALYSIS OF OPTIONS

| | | | |
|---|--|-------------|--|
| A | Approve in principle the modification of the covenant with a commitment of land and/or funds to assure the development of the rental building. | <u>Pros</u> | <ul style="list-style-type: none"> • Development would continue with the completion of servicing and roads • Allows the developer to sell lots prior to the development of the rental building. • New lots add to supply of land for sale and development in the District. • Adds diversity in parcel sizes for sale and development in town. • Supports further discussion between the developer and BC Housing to determine if an affordable housing option could be funded: possibility that additional affordable rental housing is created. • Sale of lots increases available capital for the developer, increasing the possibility of the rental building being constructed. • Sale of lot 2 (townhouse lot) may increase the possibility that lot will be developed sooner – potentially adding to multi-family housing supply in the community. • If the developer does not meet their obligations, the District may receive compensation in land and/or funds which could go towards the development of the rental building. • Increased likelihood that the rental building would be completed sooner if there is land and/or money held in trust. |
| | | <u>Cons</u> | <ul style="list-style-type: none"> • Rental building is not constructed in advance of the sale of the initial group of new lots. • Delay of needed market rental units (although at this point construction is uncertain). • The availability of lots does not itself provide new housing; no guarantee that the newly created lots will be sold and developed in the near term to address the housing challenges. |

| | | | |
|---|---|--|--|
| | | <ul style="list-style-type: none"> Individual owners of the new lots will need to undertake construction which is a slow(er) process than a developer-lead building program (note that the developer never intended to build out the new lots) Conditions will not <i>guarantee</i> the rental building will proceed; developer could still sell all the other lots and forfeit the funds and apartment lot. The construction costs of the rental building would exceed land and/or funding that would be received by the District if the developer defaults on the new covenant; additional funding and/or partners would be necessary- to complete construction of a rental apartment building. | |
| | <u>Implications</u> | <ul style="list-style-type: none"> Provides some reassurance to Council and the community that the rental building will eventually be delivered. Staff time will be spent on reviewing the details of the covenant modification. | |
| B | Reject the request to modify the covenant. | <u>Pros</u> | <ul style="list-style-type: none"> Retains the agreement as originally discussed with the developer. Ensures a rental building would be built prior to the sale of any other lot within the development area. Developer may continue with the development in accordance with the covenant. |
| | | <u>Cons</u> | <ul style="list-style-type: none"> Developer may cease development until such time as interest rates support the development of the apartment building; development could be mothballed indefinitely. Developer may cease operations and divest itself of the entire property. District may need to work with a new developer which would likely request changes to the covenant. Does not improve the housing supply in the community if the developer ceases all activities on Lot 16. |
| | | <u>Implications</u> | <ul style="list-style-type: none"> Development may stall or fail. |
| | | <u>Suggested Motion</u> | THAT Council maintain the restrictive covenant charge CA9460685 on the title of the Lot 16 property as previously agreed by the owner. |
| C | Signal support for modifying the covenant with additional conditions identified by Council. | <u>Pros</u> | <ul style="list-style-type: none"> Clarifies the direction for the developer and staff. Ensures the agreement aligns with Council's expectations. Modifying the covenant should have similar benefits to Option A. |
| | | <u>Cons</u> | <ul style="list-style-type: none"> Negative impacts will likely be similar to Option A although may have additional impacts depending on the direction of Council |
| | | <u>Implications</u> | <ul style="list-style-type: none"> Staff would work with the owners to incorporate Council's conditions into the draft covenant modification, which would be brought back for Council approval. |
| | | <u>Suggested Motion</u> | THAT Council direct staff to work with the owners of Lot 16 to provide a draft covenant modification that would include a timeline and assurance in the form of land and/or monetary commitments to ensure the construction of the proposed rental apartment building, consistent with the intent of the 2021 rezoning approval, and including [<i>insert conditions or specifics to be identified by Council</i>]. |

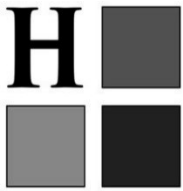
POLICY OR LEGISLATIVE IMPACTS:

If modification of the covenant is entertained to allow a “plan B” approach, Council should consider whether the intent of the original rezoning commitments is being met. If changes to the covenant are considered substantial Council should consider whether holding a public hearing is necessary – to enable community input on the altered approach to the development of Lot 16 – to ensure the rezoning bylaw is still valid having had adequate opportunity for public input on Council’s decision.

NEXT STEPS

- If directed by Council, staff would work with the owners and the municipal solicitors to draft a covenant modification document for Council approval at a future meeting.

Respectfully submitted: **Bruce Greig, Director of Community Planning**
 Duane Lawrence, Chief Administrative Officer



HEATH LAW LLP
BARRISTERS & SOLICITORS

Wendy M. Clifford*
Michael W. Brown*
Rick Killough*
Kathleen A. Sugiyama*
Nathan W. Seaward
Nicole M. Unrau

Chuck Blararu*
D. Douglas Torrie*
Jason P. Koshman*
Ian T. Gove*
Beau C.M. Blararu
Jack Freedman**

Brian J. Senini*
Peter M. MacNeil*
R. Dean Oliphant*
Geoffrey Boddy
Enrique Montes

*Denotes a Law Corporation

**Denotes Articling Student

Our File No. 54508-2
Reply to: Brian J. Senini
Email: bsenini@nanaimolaw.com

May 16, 2023
Via Email: bgreig@ucluelet.ca

DISTRICT OF UCLUELET
200 Main Street
Ucluelet, BC V0R 3A0

Attention: Bruce Greig, Director of Community Planning

Dear Sir:

**RE: LOT 16 MARINE DRIVE – COVENANT CHARGE CA9460685
OWNER: 0985470 B.C. LTD.**

I advise that I have been retained by the principals of the registered owner of Lot 16, Marine Drive to assist them with their request to modify the above-noted Covenant and for the approval of their Development Variance Permit Application.

As the principals advised at their recent meeting with you, the current real estate market and financing conditions make the development of the Apartment Site financially unviable at this time without a Modification of the Covenant to facilitate necessary changes in the timing of the proposed development of this property.

In particular, they require preliminary approval for an initial 3 lot subdivision of the Land to create Lot B for sale to a third party who wishes to commence construction of a multiple residential building on new Lot B.

The sale proceeds from the sale of Lot B will enable the owner to continue with completion of the on-site and off-site works and services for development of this property.

The owner also needs your assistance in obtaining the approval of their Development Variance Permit Application to modify the subdivision road standards.

Thank you for your time and attention to these matters.

Yours truly,

HEATH LAW LLP

Per *Brian Senini*

BRIAN J. SENINI
BJS/mb



1. Application

**Michele Buick, Legal Assistant
HEATH LAW LLP
200-1808 Bowen Road
Nanaimo BC V9S 5W4
250-824-2080**

File No. 54508-2
Tel: (250) 753-2202
Type: Modification of Covenant CA9460685

2. Description of Land

| PID/Plan Number | Legal Description |
|--------------------|--|
| 025-812-823 | LOT 16 DISTRICT LOT 281 CLAYOQUOT DISTRICT PLAN VIP76214 EXCEPT PART IN PLANS VIP80735, VIP83067 AND VIP86140 |

3. Nature of Interest

| Type | Number | Additional Information |
|---------------------|------------------|------------------------|
| MODIFICATION | CA9460685 | |

4. Terms

Part 2 of this instrument consists of:
(b) Express Charge Terms Annexed as Part 2

5. Transferor(s)

0985470 B.C. LTD., NO.BC0985470

6. Transferee(s)

**DISTRICT OF UCLUELET
200 MAIN STREET
UCLUELET BC V0R 3A0**

7. Additional or Modified Terms



8. Execution(s)

This instrument creates, assigns, modifies, enlarges or governs the priority of the interest(s) described in Item 3 and the Transferor(s) and every other signatory agree to be bound by this instrument, and acknowledge(s) receipt of a true copy of the filed standard charge terms, if any.

Witnessing Officer Signature

Execution Date

Transferor / Transferee / Party Signature(s)

BRIAN J. SENINI
Barrister & Solicitor
200 - 1808 BOWEN ROAD
NANAIMO BC V9S 5W4

YYYY-MM-DD

0985470 B.C. LTD.
By their Authorized Signatory

LANCE MCNABB

Officer Certification

Your signature constitutes a representation that you are a solicitor, notary public or other person authorized by the *Evidence Act*, R.S.B.C. 1996, c.124, to take affidavits for use in British Columbia and certifies the matters set out in Part 5 of the *Land Title Act* as they pertain to the execution of this instrument.

Witnessing Officer Signature

Execution Date

Transferor / Transferee / Party Signature(s)

YYYY-MM-DD

DISTRICT OF UCLUELET
By their Authorized Signatory

Name:

Name:

Officer Certification

Your signature constitutes a representation that you are a solicitor, notary public or other person authorized by the *Evidence Act*, R.S.B.C. 1996, c.124, to take affidavits for use in British Columbia and certifies the matters set out in Part 5 of the *Land Title Act* as they pertain to the execution of this instrument.

Electronic Signature

Your electronic signature is a representation that you are a designate authorized to certify this document under section 168.4 of the *Land Title Act*, RSBC 1996 c.250, that you certify this document under section 168.41(4) of the act, and that an execution copy, or a true copy of that execution copy, is in your possession.

TERMS OF INSTRUMENT – PART 2

MODIFICATION OF COVENANT

(Section 219 *Land Title Act*)

THIS MODIFICATION OF COVENANT dated for reference the 16th day of May, 2023 is:

BETWEEN:

0985470 B.C. LTD.
2240 JEFFS ROAD
NANAIMO, BC
V9S 5P7

(the “Grantor”)

AND:

DISTRICT OF UCLUELET
Box 999
200 Main Street
Ucluelet BC V0R 3A0

(the “District”)

WHEREAS:

- A. The Grantor is the registered Grantor of the Land located at Lot 16 Marine Drive in Ucluelet, British Columbia and legally described as:

LOT 16 DISTRICT LOT 281 CLAYOQUOT DISTRICT PLAN VIP76214 EXCEPT PART
IN PLANS VIP80735, VIP83067 AND VIP86140
PID: 025-812-823

(the “Land”);

- B. The District is a municipality duly incorporated under the laws of the Province of British Columbia (hereinafter called the “District”);

- C. On November 9, 2021, the Council for the District adopted Zoning Amendment Bylaw No. 1284, 2021 which rezoned parts of the Land as R-1, parts as R-3 and parts as R-6 as illustrated on the plan attached hereto and marked as Schedule A.
- D. In support of the application of the Grantor to rezone the Land, a Covenant was granted in favour of the District and registered against the title to the Land under Charge No. CA9460685 (the "Covenant");
- E. The Grantor has commenced construction of the off-site works and services required to facilitate the proposed development of the Land; and
- F. The Grantor and the District have agreed to modify the terms of the Covenant as provided for herein.

WITNESS THAT for and in consideration of the sum of TWO DOLLARS (\$2.00) paid by the District to the Grantor and for other good and valuable consideration (the receipt and sufficiency of which are acknowledged by the parties), the parties hereto covenant and agree with each other as follows:

- 1. Section 3 of the Covenant is deleted and replaced by the following Section 3:

"3. The Land must not be altered and the Grantor must not start the construction of any buildings or structures on the Land unless the Grantor has first completed registration of a 3 lot subdivision of the Land into new Lots A, B and C (the "Subdivision Plan") on the following essential terms and conditions:

(1) Lot A shall include that part of the Land zoned R-3 illustrated as the "Apartment Site" on Schedule A, Lot B shall include that part of the Land zoned R-3 and illustrated as the "Townhome Site" on Schedule A and Lot C shall include that part of the Land zoned R-1 and R-6 as illustrated on Schedule A.

(2) This Subdivision Plan shall also include the dedication as park land of those parts of the Land illustrated as:

(a) a 10-metre wide corridor immediately adjacent to the eastern boundary of the Land, generally as shown hatched and labeled "10m Greenbelt Park Dedication" on Schedule A;

(b) at least 1,300 square metres on the Western side of the Land, generally as shown hatched and marked "1300 m² park

dedication” on Schedule A, with the final boundaries of the area to be approved by the Manager; and

(c) at least 280 square metres for use as a children’s play area, the location and configuration of which shall be to the satisfaction of the Manager.

(3) The Subdivision Plan shall be concurrently registered with a Covenant under Section 219 of the *Land Title Act* preserving as greenspace a 10-metre wide area of the Land immediately adjacent to Marine Drive as generally as shown labelled “10m Greenspace Covenant Area” on Schedule A (the “Covenant Area”), the terms of which covenant must ensure retention of existing natural vegetation and, without limiting the requirement to retain vegetation, must prohibit any part of the Covenant Area from being used or developed as a driveway or to provide any other form of vehicle access to the Land.

(4) The Subdivision Plan shall also be concurrently registered with a Covenant under Section 219 of the *Land Title Act* requiring the Grantor to reserve those parts of the Land illustrated as “Proposed Road” on Schedule A to be reserved for public road dedication concurrent with the construction of the works and services for the further subdivision of Lot C into single family residential building lots.

(5) The Subdivision Plan shall also be concurrently registered with a No-Build Covenant under Section 219 of the *Land Title Act* charging the title of new Lot A, which Covenant will prohibit any development of Lot A pending the registration of the Housing Agreement Notice.

(6) The Subdivision Plan shall also be concurrently registered with a No-Build Covenant under Section 219 of the *Land Title Act* charging the title of new Lot B, which Covenant will require the Grantor to complete construction of an access roadway between Victoria Road and Lot C to the satisfaction of the District through that part of the Land illustrated as “Road Connection” on Schedule A.

2. Section 4 of the Covenant is deleted and replaced by the following Section 4:

“4. Lot A, Lot B and Lot C shall not be further developed without having satisfied the following additional terms and conditions:

(1) Concurrent with the issuance of a building permit for the construction of multiple residential dwelling units on Lot B, the Grantor shall pay the sum of \$1,000.00 to the District for each dwelling unit to be constructed on Lot B.

(2) the subdivision of Lot C shall include the dedication of a highway connecting Marine Drive to Victoria Drive, in a location and configuration satisfactory to the Manager in his or her sole discretion, and the Grantor shall construct a road within that dedicated highway, to the standards of the District (unless varied by Development Variance Permit or Development Permit issued by the District).

(3) any further subdivision of Lot C shall include the transfer of one single family residential building lot from the Grantor to the District.

(4) concurrent with the approval of a subdivision of Lot C creating single family residential building lots, the Grantor shall pay to the District the sum of \$1,000.00 for every other lot created by this plan of subdivision.

3. Except as hereby expressly modified, the Covenant is hereby ratified and confirmed by the Grantor and the District to the effect and with the intent that the Covenant and this Modification shall read and be construed as one document.

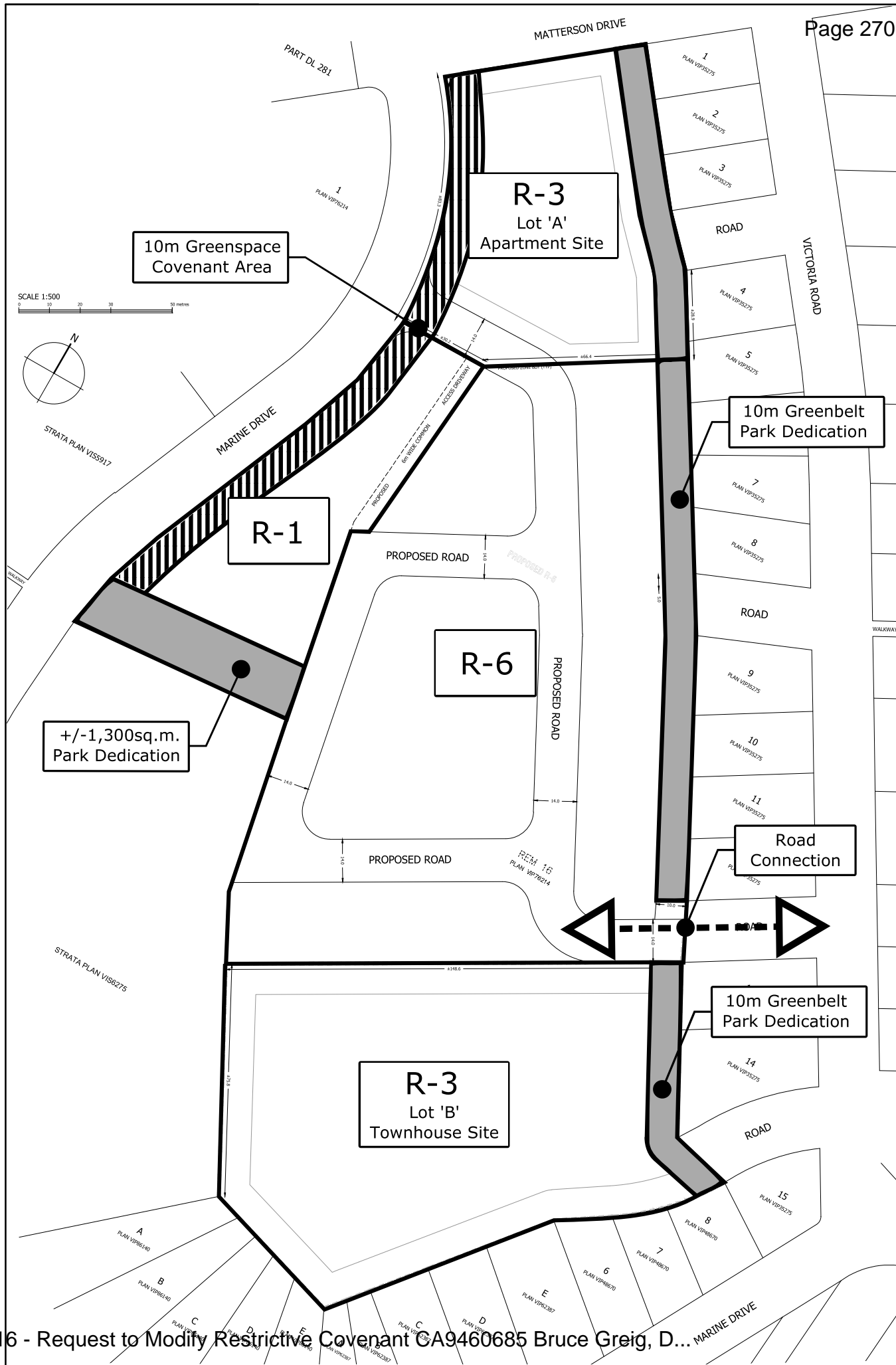
4. No alteration or amendment of the Covenant or this Modification shall have effect unless the same is in writing and duly executed by the parties to be charged.

5. This Modification shall enure to the benefit of and be binding upon the parties and their respective successors and permitted assigns.

6. All terms used in this Modification which are defined in the Covenant will have the meaning ascribed to such terms in a Covenant unless defined in this Modification or the context otherwise requires.

7. In the event of any conflict between the terms and conditions of the Covenant and the terms and conditions of the Modification, the terms and conditions of the Modification will prevail.

IN WITNESS WHEREOF, the parties hereto have executed and delivered this Agreement on the Form C – Part 1 attached hereto.





1. Application

**Michele Buick, Legal Assistant
 HEATH LAW LLP
 200-1808 Bowen Road
 Nanaimo BC V9S 5W4
 250-824-2080**

File No. 54508-2
 Tel: (250) 753-2202
 Type: Covenant

2. Description of Land

| PID/Plan Number | Legal Description |
|--------------------|--|
| 025-812-823 | LOT 16 DISTRICT LOT 281 CLAYOQUOT DISTRICT PLAN VIP76214 EXCEPT PART IN PLANS VIP80735, VIP83067 AND VIP86140 |

3. Nature of Interest

| Type | Number | Additional Information |
|-----------------|--------|-----------------------------------|
| COVENANT | | Section 219 Land Title Act |

4. Terms

Part 2 of this instrument consists of:
(b) Express Charge Terms Annexed as Part 2

5. Transferor(s)

0985470 B.C. LTD., NO.BC0985470

6. Transferee(s)

**DISTRICT OF UCLUELET
 200 MAIN STREET
 UCLUELET BC V0R 3A0**

7. Additional or Modified Terms



8. Execution(s)

This instrument creates, assigns, modifies, enlarges, discharges or governs the priority of the interest(s) described in Item 3 and the Transferor(s) and every other signatory agree to be bound by this instrument, and acknowledge(s) receipt of a true copy of the filed standard charge terms, if any.

Witnessing Officer Signature

BRIAN J. SENINI
Barrister & Solicitor
200 - 1808 BOWEN ROAD
NANAIMO BC V9S 5W4

Execution Date

YYYY-MM-DD

2021-10-21

Transferor Signature(s)

0985470 B.C. LTD.
By their Authorized Signatory

LANCE MCNABB

Officer Certification

Your signature constitutes a representation that you are a solicitor, notary public or other person authorized by the *Evidence Act*, R.S.B.C. 1996, c.124, to take affidavits for use in British Columbia and certifies the matters set out in Part 5 of the *Land Title Act* as they pertain to the execution of this instrument.

Witnessing Officer Signature

JOSEPH ROTENBERG
Commissioner for Taking Affidavits
for British Columbia
200 MAIN STREET
UCLUELET BC V0R 3A0

Execution Date

YYYY-MM-DD

2021-10-26

Transferor Signature(s)

DISTRICT OF UCLUELET
By their Authorized Signatory

Name: MAYCO NOEL

Name: DUANE LAWRENCE

Officer Certification

Your signature constitutes a representation that you are a solicitor, notary public or other person authorized by the *Evidence Act*, R.S.B.C. 1996, c.124, to take affidavits for use in British Columbia and certifies the matters set out in Part 5 of the *Land Title Act* as they pertain to the execution of this instrument.

| | |
|--|---|
| <p>Electronic Signature</p> <p>Your electronic signature is a representation that you are a designate authorized to certify this document under section 168.4 of the <i>Land Title Act</i>, RSBC 1996 c.250, that you certify this document under section 168.41(4) of the act, and that an execution copy, or a true copy of that execution copy, is in your possession.</p> | <p>Brian James Senini IAT7J9</p> <p>Digitally signed by Brian James Senini IAT7J9 Date: 2021-10-27 09:16:32 -07:00</p> |
|--|---|

TERMS OF INSTRUMENT – PART 2

COVENANT (Section 219 *Land Title Act*)

THIS COVENANT dated for reference the 19th day of October, 2021 is

BETWEEN:

0985470 B.C. LTD.
2240 JEFFS ROAD
NANAIMO, BC
V9S 5P7

(the “Grantor”)

AND:

DISTRICT OF UCLUELET
Box 999
200 Main Street
Ucluelet BC V0R 3A0

(the “District”)

WHEREAS:

- A. The Grantor is the registered owner of land located at Marine Drive and Matterson Drive in Ucluelet, British Columbia and more particularly described as:

LOT 16 DISTRICT LOT 281 CLAYOQUOT DISTRICT PLAN VIP76214 EXCEPT PART
IN PLANS VIP80735, VIP83067 AND VIP86140
PID: 025-812-823

(the “Land”);

- B. Section 219 of the *Land Title Act* permits the registration of a covenant of a negative or positive nature in favour of the District, in respect of the use of land or buildings, or the building on land;
- C. The Grantor has applied to the District for a rezoning of the Land to permit residential development of the Land, and in connection with the Grantor’s application for rezoning the Grantor has offered grant this Covenant to the District; and

- D. The Grantor wishes to grant this Covenant to the District to confirm the proposed development will be generally in accordance with the plans provided in support of the Grantor's rezoning application, and that it will not subdivide or develop the Land except on the terms and conditions agreed to by the parties and set out in this Covenant.

THIS COVENANT is evidence that in consideration of the payment of TWO DOLLARS (\$2.00) by the District to the Grantor, and other good and valuable consideration (the receipt and sufficiency of which are acknowledged by the parties), the Grantor covenants and agrees with the District, in accordance with section 219 of the *Land Title Act*, as follows:

Definitions

2. In this Agreement:
- (a) "Development Plan" means the plan attached to this agreement as Schedule A;
 - (b) "Housing Agreement" means an agreement in the form authorized by the District's Housing Agreement Bylaw No. 1297;
 - (c) "Lot A" means the area labelled "Lot A (Apartment Site)" on the Development Plan, and includes a separate legal parcel created by subdivision of the Land and having boundaries generally in accordance with that area;
 - (d) "Lot B" means the area labelled "Lot B (Townhouse Site)" on the Development Plan, and includes a separate legal parcel created by subdivision of the Land and having boundaries generally in accordance with that area;
 - (e) "Manager" means the Corporate Officer appointed under Section 148 of the Community Charter; and
 - (f) a reference to the Land, as defined in recital "A", includes any lot, block, parcel or other area into which the Land may be subdivided.

Restrictions on Subdivision, Use and Development of the Land

3. The Land must not be altered and the Owner must not start the construction of any buildings or structures on the Land unless the Owner has first:
- (a) Dedicated as Park the following areas of the Land:
 - (i) a 10-metre wide corridor immediately adjacent to the eastern boundary of the Land, generally as shown hatched and labeled "10m Greenbelt Park Dedication" on the Development Plan;

- (ii) at least 1,300 square metres on the Western side of the Land, generally as shown hatched and marked “1300 m² park dedication” on the Development Plan, with the final boundaries of the area to be approved by the Manager;
 - (iii) at least 280 square metres for use as a children’s play area, the location and configuration of which shall be to the satisfaction of the Manager; and,
 - (b) Registered as a charge on the title to the Land a covenant under s. 219 of the *Land Title Act* preserving as greenspace a 10-metre wide area of the Land (the “Covenant Area”) immediately adjacent to Marine Drive, the terms of which covenant must ensure retention of existing natural vegetation and, without limiting the requirement to retain vegetation, must prohibit any part of the Covenant Area from being used or developed as a driveway or to provide any other form of vehicle access to the Land.
- 4. Except to dedicate land as Park under section 2 of this Covenant, the Land must not be subdivided unless:
 - (a) the subdivision creates a parcel having boundaries generally in accordance with, and the Housing Agreement is registered as a notice and, if required by the Manager, a charge on title to Lot A, and a covenant prohibiting any further subdivision of or any building on Lot A is registered as a charge on title;
 - (b) before or together with the deposit of a subdivision plan that creates any parcel intended for a single-family dwelling unit, the Owner transfers ownership to the District, in fee simple, of at least one such parcel, and pays \$1,000 to the District for every other such parcel created by the plan;
 - (c) together with the deposit of a subdivision plan that creates any parcel intended for a single-family dwelling unit, the owner registers a covenant on title to every parcel that is not transferred to the District under s. 4(b) of this Agreement:
 - (i) prohibiting the separate sale of those parcels until the Owner of Lot A has received a building permit for the construction of a Rental Apartment Building on Lot A;
 - (ii) prohibiting residential use or occupancy of those parcels until the Owner of Lot A has substantially completed construction of a Rental Apartment Building on Lot A;
 - (d) before or together with the deposit of any subdivision plan that creates a parcel intended for multi-unit residential buildings, the Owner registers a charge on title

to that parcel prohibiting the construction of any such building unless the owner pays \$1,000 to the District for each dwelling unit to be constructed on the parcel; and,

- (e) the subdivision plan dedicates a highway connecting Marine Drive to Victoria Drive, in a location and configuration satisfactory to the Manager in his or her sole discretion, and the Owner constructs a road within that dedicated highway, to the District's standards (unless varied by Development Variance Permit or Development Permit issued by the District).
5. Vehicle access to and from the area of the Land labelled "Lot B (Townhouse Site)" on the Development Plan may only be provided in the location and configuration shown as "Road Connection" on the Development Plan.

Amendments to Development Plan

6. The Grantor may request, and the Manager may, in his or her sole discretion approve, minor deviations from the Development Plan, provided that any such requests or approvals must be made in writing.

Discharge

7. If the District does not adopt the bylaw necessary for the rezoning mentioned in recital C by November 30, 2021, this agreement shall be of not further force and effect and the District shall, at the Grantors request, sign a discharge of this Covenant and return it to the Grantor for registration at the Grantor's expense.
8. The District further agrees that if the Grantor:
- (a) completes the development of the land in accordance with the Development Plan, and in accordance with the terms of this Agreement, including without limitation by the registration of the further covenants and notices required by this agreement; and,
 - (b) delivers to the District a registrable discharge of this Covenant (but no others) from the title to the Land,

the District will execute the discharge, and return the executed discharge to the Grantor, and the Grantor may apply to register it in the Victoria Land Title Office.

Subject to Bylaws

9. This Covenant does not relieve the Grantor in any way from complying with all applicable bylaws of the District or other enactments applicable to the Land.

Inspections

10. The District and any of its officers and employees may enter on the Land at all reasonable times, to inspect the Land for the purpose of ascertaining compliance with this Covenant.

Amendment

11. This Covenant may be altered or amended only by an agreement in writing signed by the parties.

No Public Law Duty

12. Whenever in this Covenant the District is required or entitled to exercise any discretion in the granting of consent or approval, or is entitled to make any determination, take any action or exercise any contractual right or remedy, the District may do so in accordance with the contractual provisions of this Covenant only and will not be bound by any public law duty, whether arising from the principles of procedural fairness or the rules of natural justice or otherwise.

No Obligations on District

13. The rights given to the District by this Covenant are permissive only and nothing in this Covenant:
 - (a) imposes any duty of care or other legal duty of any kind on the District to the Grantor or to anyone else;
 - (b) obliges the District to enforce this Covenant, which is a policy matter within the sole discretion of the District; or
 - (c) obliges the District to perform any act, or to incur any expense for any of the purposes set out in this Covenant.

No Effect on Laws or Powers

14. This Covenant does not,
 - (a) affect or limit the discretion, rights or powers of the District under any enactment or at common law, including in relation to the use or subdivision of the Land;

- (b) affect or limit any law or enactment relating to the use or subdivision of the Land;
or
- (c) relieve the Grantor from complying with any law or enactment, including in relation to the use or subdivision of the Land.

District's Right to Equitable Relief

- 15. The Grantor agree that the District is entitled to obtain an order for specific performance or a prohibitory or mandatory injunction in respect of any breach by the Grantor of this Covenant.

Covenant Runs With the Land

- 16. Every obligation and covenant of the Grantor in this Covenant constitutes both a contractual obligation and a covenant granted under section 219 of the *Land Title Act* in respect of the Land and this Covenant burdens the Land and runs with it and binds the successors in title to the Land. For certainty, unless expressly stated otherwise, the term "Grantor" refers to the current and each future owner of the Land. This Covenant burdens and charges all of the Land and any parcel into which it is subdivided by any means and any parcel into which the Land is consolidated.

Registration

- 17. The Grantor agrees to do everything necessary, at the Grantor's expense, to ensure that this Covenant is registered against title to the Land with priority over all financial charges, liens and encumbrances registered, or the registration of which is pending, at the time of application for registration of this Covenant.

Waiver

- 18. An alleged waiver by the District of any breach of this Covenant by the Grantor is effective only if it is an express waiver in writing of the breach in respect of which the waiver is asserted. A waiver by the District of a breach by the Grantor of this Covenant does not operate as a waiver of any other breach of this Covenant.

Notice

- 19. Any notice to be given pursuant to this Covenant must be in writing and must be delivered personally or sent by prepaid mail. The addresses of the parties for the purpose of notice are the addresses on the first page of this Covenant and in the case of any subsequent owner, the address will be the address shown on the title to the Land in the Land Title Office.

If notice is delivered personally, it may be left at the relevant address in the same manner as ordinary mail is left by Canada Post and is to be deemed given when delivered. If notice is sent by mail, it is to be deemed given 3 days after mailing by deposit at a Canada Post mailing point or office. In the case of any strike or other event causing disruption of ordinary Canada Post operations, a party giving notice for the purposes of this Covenant must do so by delivery as provided in this section.

Either party may at any time give notice in writing to the other of any change of address and from and after the receipt of notice the new address is deemed to be the address of such party for giving notice.

Enurement

20. This Covenant binds the parties to it and their respective corporate successors, heirs, executors, administrators and personal representatives.

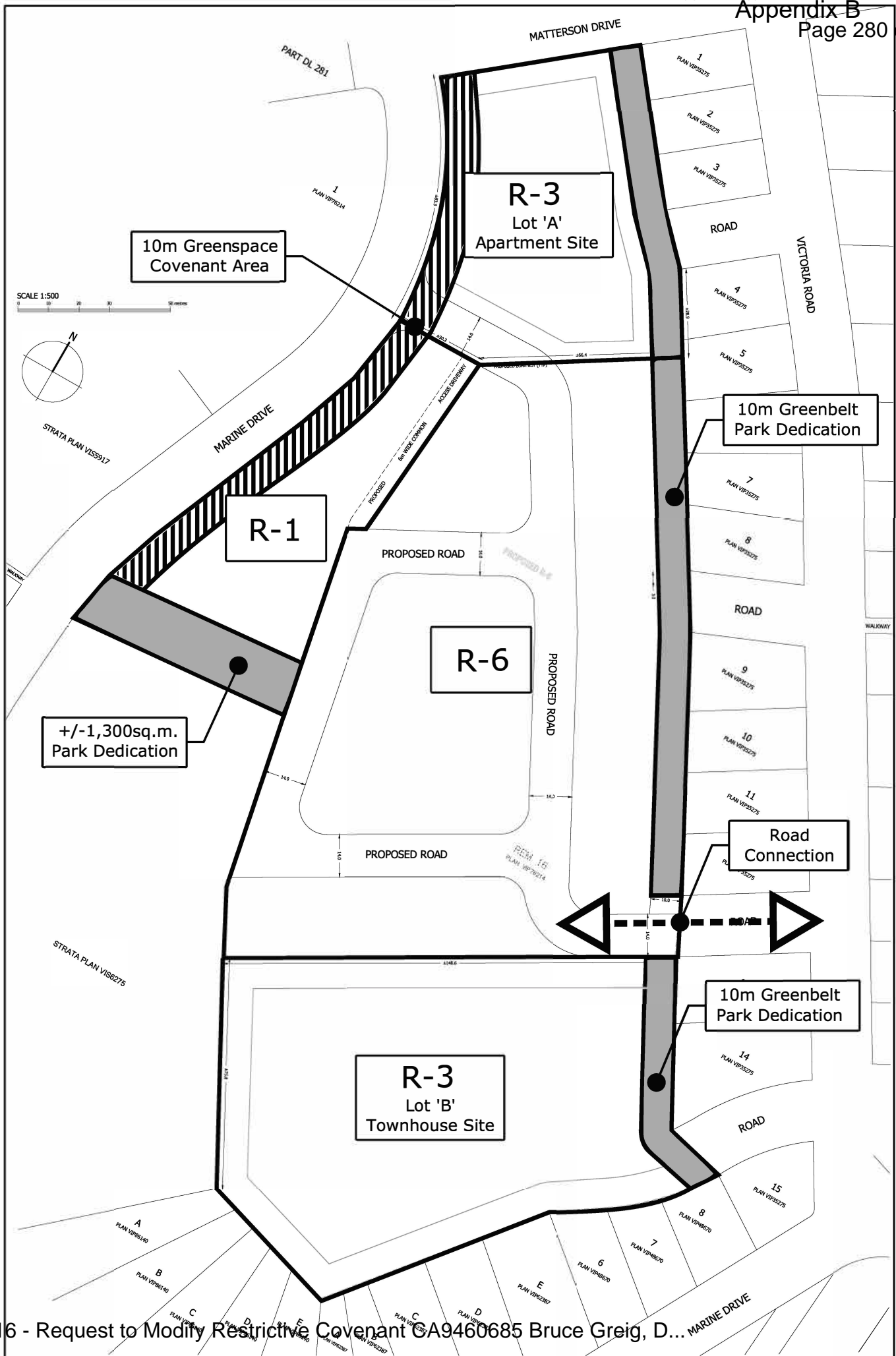
Joint and Several

21. If at any time more than one person (as defined in the *Interpretation Act* (British Columbia) owns the Land, each of those persons will be jointly and severally liable for all of the obligations of the Grantor under this Covenant.

Further Acts

22. The Grantor must do everything reasonably necessary to give effect to the intent of this Covenant, including execution of further instruments.

As evidence of their agreement to be bound by the terms of this instrument, the parties hereto have executed the Land Title Office Form C which is attached hereto and forms part of this Covenant.





REPORT TO COUNCIL

Council Meeting: June 27, 2023

500 Matterson Drive, Ucluelet, BC V0R 3A0

FROM: DUANE LAWRENCE, CAO **FILE No:** 0390-20

SUBJECT: UBCM MINISTER MEETINGS **REPORT No:** 23- 99

ATTACHMENT(S): UBCM Meeting Requests

RECOMMENDATION(S):

THAT Council direct staff to submit ministerial meeting requests to the Ministry of Health regarding increased specialist care in rural municipalities and increased resident physician care to service increased visitor populations and the Ministry of Forests regarding tabular stumpage rates for the 2023 Union of British Columbia Municipalities conference.

BACKGROUND:

The Union of British Columbia Municipalities hosts an annual conference in September each year. The 2023 conference is planned for September 18 -22, at the Vancouver Conference Centre.

During the conference there is an opportunity for municipalities to request meetings with the various provincial ministry Staff or Minister to discuss key issues or concerns. Council directed staff at the June 8, 2023 regular meeting to prepare a submission to the ministry of health. Mayor McEwen requested an additional meeting request with the ministry of forests regarding maintaining the current tabular stumpage rates for community forests.

ANALYSIS OF OPTIONS

Staff have prepared meeting requests submissions in accordance with the UBCM ministry meeting request requirements which are attached to this report for Councils review. Council should also advise staff on whom will be attending the meetings.

| | | | |
|----------|--|-------------|--|
| A | Direct staff to submit the meeting requests. | <u>Pros</u> | <ul style="list-style-type: none"> • Allows staff to make meeting requests • Allows Council an opportunity to engage with Ministers directly on key areas of concern |
| | | <u>Cons</u> | <ul style="list-style-type: none"> • None identified |

| | | | |
|--|---|-------------------------|--|
| | | <u>Implications</u> | <ul style="list-style-type: none"> Staff resources to develop a brief notes in preparation for the meetings |
| | Do not submit meeting requests at this time | <u>Pros</u> | <ul style="list-style-type: none"> Council has time to submit requests at a time when key issues are identified. |
| | | <u>Cons</u> | <ul style="list-style-type: none"> If items of import are identified, they will need to be identified prior to the meeting request deadline when identified |
| | | <u>Implications</u> | <ul style="list-style-type: none"> There are staffing or financial implications with not submitting meeting requests |
| | | <u>Suggested Motion</u> | No motion is required |

NEXT STEPS

- Place meeting request
- Develop briefing notes

Respectfully submitted: Duane Lawrence, CAO

Meeting Request

Ministry of Health – Honourable Adrian Dix

Attendees

C. Anderson, M. McEwen, C. Hoar

MLA Osborne (invitation to attend)

Topic #1**Background (700 characters)**

Rural municipalities struggle with supporting their aging population and those with complex medical needs through their full health cycle due to a lack of access to specialists. This results in community members being forced to move to urban centers when they would prefer to stay in their community.

It is understood that fully outfitting rural communities with diagnostic equipment, specialist and support personnel is not practical. Regardless, the lack of support puts an inordinate burden on seniors and persons with complex medical needs resulting in the need to travel significant distances at their own costs or permanently relocate from their traditional homes to an urban centre.

Request (300 characters)

That the Ministry develop a rotation system where specialists attend rural communities on a regular rotation to provide in diagnostics, assessments and needed supports which would result in the reduction and/or delay in the number residents forced to relocate to an urban centre due to health challenges.

Topic #2**Background (700 characters)**

Ucluelet and other destination tourist communities see a seasonal increase in population that dwarfs their permanent population. Ucluelet, with a permanent population of 2061 residents, support over 6000 people throughout the summer while medical supports are based on the permanent population.

Seasonal workers and tourists have medical needs in addition to our permanent population although the medical support personnel remains the same throughout the year. This puts an inordinate amount of pressure on local health care workers and reduces the overall care provided to everyone.

Request (300 characters)

That the Ministry implement a seasonal resident physician program that increases the number of health care professionals required to maintain an appropriate level of care for the total season population of permanent residents, visitors and seasonal workers.

Meeting Request

Ministry of Forests

Attendees

M. McEwen, C. Kennington,

MLA Osborne (invitation to attend)

Topic #1

Background (700 characters)

Rural communities have invested in the development of community forests (CF) in an effort to sustainably manage local forests for the full range of values they can provide. Revenue from CFs assist in providing programs and infrastructure improvements. The biodiversity, recreation, educational and other values contribute significantly to the well-being of our communities. The existing tabular stumpage rate (TSR) system helps to ensure that CF continue to be a viable and supportive mechanism for communities. Changes to the TSR policy that result in increased rates or additional administrative burden for CF tenures will undermine capacity to provide these important socio-economic benefits.

Request (300 characters)

That the Ministry of Forests maintain the tabular rate system and keep or streamline the cutting permit administration process for community forests.



STAFF REPORT TO COUNCIL

Council Meeting: June 27, 2023
500 Matterson Drive, Ucluelet, BC V0R 3A0

FROM: DUANE LAWRENCE, CAO/FINANCE OFFICER

FILE NO: 1880-20 SOFI

SUBJECT: 2022 STATEMENT OF FINANCIAL INFORMATION REPORT

REPORT NO: 23-100

ATTACHMENT(S): APPENDIX A - 2022 STATEMENT OF FINANCIAL INFORMATION

RECOMMENDATION(S):

THAT Council approve the District of Ucluelet 2022 Statement of Financial Information as attached to the June 27, 2023 Staff Report Number 23-XX.

PURPOSE:

The purpose of this report is for Council to approve the 2022 Statement of Financial Information (SOFI) report as attached.

BACKGROUND:

Section 2 of the *Financial Information Act* requires a SOFI be prepared by a municipality and schedule 1, section 9(2) *Financial Information Regulation* requires that the SOFI be approved by its Council and by the officer assigned responsibility for financial administration under the *Community Charter*. The SOFI must be made available to the public by June 30th each year.

The SOFI report must include the following:

- Audited financial statements;
- Schedule of remuneration and expenses for all Councilor's;
- Schedule of remuneration and expenses for each employee that exceeds \$75,000;
- Schedule of suppliers of goods and services;
- Statement of payments of grants; and,
- A signature of approval.

NEXT STEPS:

Once approved and signed, the SOFI report will be released to the public.

Respectfully submitted:

DUANE LAWRENCE, CAO/FINANCE OFFICER

Admin Support

From: sharongregson <sharongregson4@gmail.com>
Sent: June 4, 2023 8:59 PM
To: Info Ucluelet; Marilyn McEwen (Ucluelet Mayor)
Subject: Urgent - UBCM Child Care Resolution

[External]

Sharon Gregson
 Coalition of Child Care Advocates of BC
 2772 East Broadway
 Vancouver, BC V5M 1Y8

Mayor Marilyn McEwen
 The District of Ucluelet
 200 Main Street
 Ucluelet, BC V0R 3A0

Subject: Urgent - UBCM Child Care Resolution

To Honourable Mayor Marilyn McEwen and Council,

The Coalition of Child Care Advocates of BC is a longstanding, non-profit organization dedicated to the creation of a high-quality, affordable, accessible child care system in BC. We appreciate that your Council shares this vision to support families with young children, and the local economy in your community.

In recent years there has been measurable progress toward a quality child care system in BC with historic provincial and federal investments. New publicly-funded affordability measures for families including \$10aDay sites, wage enhancements for educators, and more licensed programs are making a positive difference.

However, local and Indigenous governments and nonprofit organizations across BC are still facing significant child care challenges, with demand for licensed child care outstripping supply, and a severe shortage of early childhood educators.

One of the major obstacles facing local governments when they want to expand child care in their communities is the grant-based application process required to access provincial capital funding. The current process places a major burden on applicants, usually local government staff working with non-profit agencies, requiring them to coordinate all aspects of design, development, and implementation. Significant technical expertise and organizational capacity are also necessary to complete the online applications, which often does not exist at the local level or pulls resources away from other municipal duties.

To address this urgent issue, we request that your Council adopt the resolution shared below, as originally supported by the Regional District of Nanaimo, or a similar resolution. Once adopted we hope the resolution will be forwarded to your local area association and on to the 2023 UBCM Convention.

This resolution urges the Ministry of Education and Child Care to provide multi-year funding to local and Indigenous governments and non-profit organizations to enhance their organizational capacity to coordinate the current grant applications process.

The resolution further requests the Ministry of Education and Child Care to replace the current grant-based application process with a systematic expansion of universal child care that upholds UNDRIP obligations and supports the involvement of, but does not rely on, local and Indigenous governments and nonprofit organizations to coordinate design and implementation.

Evidence-based research makes clear that such a systemic approach will lead to a more equitable and accessible child care system across British Columbia.

Thank you for your attention to this matter, and for recognizing that child care is a priority for healthy communities. Please reach out should any clarification be required.

Yours sincerely,



Sharon Gregson
 Spokesperson \$10aDay

Coalition of Child Care Advocates of BC

(Interested in further supporting child care advocacy in BC? Sign the [\\$10aDay Child Care Petition here](#) or join the [Coalition of Child Care Advocates of BC here.](#))

Sample Resolution

WHEREAS the Ministry of Education and Child Care is responsible for B.C.'s \$10/day child care program, and ChildCareBC's growing system of universal child care has been life-changing for families, with demand far outstripping supply; AND WHEREAS the current grant-based process to expand universal child care relies on grant applicants to coordinate all aspects of design and implementation, and local and Indigenous governments and nonprofit organizations often lack the resources to successfully manage this process in accordance with UBCM-funded child care needs assessments and action plans:

THEREFORE BE IT RESOLVED that while the Province continues to rely on individual grant applicants to plan and develop child care expansion, that instead, the Province provide multi-year funding to local and Indigenous governments and nonprofit organizations to support resources to coordinate this process:

AND BE IT FURTHER RESOLVED that UBCM urge the Ministry of Education and Child Care to replace the current grant-based application process with a systematic expansion of universal child care that upholds UNDRIP obligations and supports the involvement of, but does not rely on, local and Indigenous governments and nonprofit organizations to coordinate design and implementation.

TO:

adminservices@valemount.ca
otorgerson@valemount.ca

COPY BELOW:

Sharon Gregson
Coalition of Child Care Advocates of BC
2772 East Broadway
Vancouver, BC V5M 1Y8

Owen Torgerson
The Village of Valemount
735 Cranberry Lake Road
Valemount, BC V0E 2Z0

Subject: Urgent - UBCM Child Care Resolution

To Honourable Owen Torgerson and Council,

The Coalition of Child Care Advocates of BC is a longstanding, non-profit organization dedicated to the creation of a high-quality, affordable, accessible child care system in BC. We appreciate that your Council shares this vision to support families with young children, and the local economy in your community.

In recent years there has been measurable progress toward a quality child care system in BC with historic provincial and federal investments. New publicly-funded affordability measures for families including \$10aDay sites, wage enhancements for educators, and more licensed programs are making a positive difference.

However, local and Indigenous governments and nonprofit organizations across BC are still facing significant child care challenges, with demand for licensed child care outstripping supply, and a severe shortage of early childhood educators.

One of the major obstacles facing local governments when they want to expand child care in their communities is the grant-based application process required to access provincial capital funding. The current process places a major burden on applicants, usually local government staff working with non-profit agencies, requiring them to coordinate all aspects of design, development, and implementation. Significant technical expertise and organizational capacity are also necessary to complete the online applications, which often does not exist at the local level or pulls resources away from other municipal duties.

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Thank you for your attention to this matter, and for recognizing that child care is a priority for healthy communities. Please reach out should any clarification be required.

Yours sincerely,



Sharon Gregson
Spokesperson \$10aDay
Coalition of Child Care Advocates of BC

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Via email: HOUS.minister@gov.bc.ca

June 21, 2023

The Honourable Ravi Kahlon
 Ministry of Housing
 PO Box 9844 Stn Prov Govt
 Victoria, BC V8W 9T2

Dear Honourable Kahlon:

Re: Province of British Columbia's Home for People Action Plan

At its Regular Council meeting held June 19, 2023, the District of North Saanich Council approved the following resolution:

"That the Mayor be authorized to send a letter to the Minister of Housing, with copies to the MLA for Saanich North and the Islands and all members of the Union of British Columbia Municipalities, regarding the recently announced action plan "Homes for People" and request that the Minister take into consideration the following:

- 1. The diversity and size of communities throughout the province and their unique housing needs;*
- 2. The differences between rural and urban communities and their availability of infrastructure; and,*
- 3. The significant impact on existing local infrastructure capacity to service increased development and density.*

And that the Minister be further advised that the District of North Saanich is concerned that broad legislative changes may curtail the local planning authority vested in local governments and expressed in their Official Community Plans and Zoning bylaws, for which significant public input has been received and accounted for in these important planning policy instruments."

A good portion of North Saanich is in the Agricultural Land Reserve (ALR); as such, we have concerns regarding the potential conflict between residential and agricultural land use. We have struggled with this very issue in recent years as have other communities surrounded with rural areas and have experienced development pressure.

Respectfully, we request you consider that there are other communities, just as unique as ours, for which a province-wide, "one-size-fits-all", approach to increasing housing supply may not be in their best interest and may result in communities that no longer resemble the ones that people chose to live in. If the Province targeted support to communities either better suited or desirous of increased density, British Columbians would have the ability to choose the housing type and the community that is the best fit for them.

We thank you for your thoughtful consideration of our concerns on this very important initiative.

Sincerely,

A handwritten signature in black ink, appearing to read "Peter Jones". The signature is written in a cursive style with a large initial "P".

Peter Jones
Mayor

cc: Adam Olsen, MLA for Saanich North and the Islands
Members of the Union of BC Municipalities