



**REGULAR MEETING OF COUNCIL  
Thursday, October 6, 2022 @ 4:00 PM  
Ucluelet Community Centre  
500 Matterson Drive, Ucluelet**

**AGENDA**

	Page
1. CALL TO ORDER	
1.1 ACKNOWLEDGEMENT OF THE YUULU?I?ATH Council would like to acknowledge the Yuulu?i?ath, on whose traditional territories the District of Ucluelet operates.	
1.2 NOTICE OF VIDEO RECORDING Audience members and delegates are advised that this proceeding is being video recorded and broadcast on YouTube and Zoom, which may store data on foreign servers.	
2. LATE ITEMS	
3. APPROVAL OF THE AGENDA	
4. ADOPTION OF MINUTES	
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5.1 Public Input	
6. UNFINISHED BUSINESS	
7. BYLAWS	
7.1 Permissive Tax Exemption Bylaw No. 1318, 2022 <i>Donna Monteith, Chief Financial Officer</i> <a href="#">RTC -Bylaw No. 1318</a> <a href="#">Appendix A - Permissive Tax Exemption Bylaw 1318, 2022</a>	19 - 24
8. REPORTS	
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- 8.2 Development Permit for a Resort Condo Development at 1003 Peninsula Road 49 - 114  
*John Towgood, Municipal Planner*

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[Appendix A - Application](#)

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- 8.3 Development Permit for Food Truck Cluster at 1708 Peninsula Road 115 - 135  
*Monica Whitney-Brown, Assistant Planner*

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[Appendix A - Development Permit Application](#)

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- 8.4 Contract Authorization - Village Green Construction 137 - 144  
*James MacIntosh, Director of Engineering Services*

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9. NOTICE OF MOTION

10. INFORMATION ITEMS

- 10.1 Resolution Tracker 145 - 154  
*Joseph Rotenberg, Manager of Corporate Services*

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- 10.2 British Columbia Youth Parliament, 94th Parliament 155  
*Ambrose Yung, Registrar, Youth Parliament of BC Alumni Society*

[2022-09-26 Youth Parliament](#)

- 10.3 Honouring Caregivers in British Columbia 157  
*Mitzi Dean, Minister of Children and Family Development*

[2022-09-27 Letter from Minister of Children and Families October Foster Month](#)

- 10.4 West Coast transit service 159 - 160  
*Laura McDonald, President, Tofino Chamber of Commerce*

[2022-09-21 - TLBCC to Min. Fleming re BC Transit service](#)

11. MAYOR'S ANNOUNCEMENTS AND COUNCIL COMMITTEE REPORTS

- 11.1 Councillor Marilyn McEwen  
*Deputy Mayor January 1 - March 15, 2022*

- 11.2 Councillor Lara Kemps

*Deputy Mayor March 16 - May 31, 2022*

11.3 Councillor Jennifer Hoar  
*Deputy Mayor June 1 - August 15, 2022*

11.4 Councillor Rachelle Cole  
*Deputy Mayor August 16 - October 31, 2022*

11.5 Mayor Noël

12. QUESTION PERIOD

13. CLOSED SESSION

13.1 Procedural Motion to Move In-Camera

*THAT the meeting be closed to the public in order to address agenda items under Section 90(1)(c) of the Community Charter.*

- 90(1)(c) labour relations or other employee relations.

14. ADJOURNMENT







### 3.1 September 6, 2022, Special Council Agenda.

2022.2058.SPECIAL *It was moved and seconded **THAT** Council approve the September 6, 2022, Special Council Meeting agenda as amended.*

CARRIED.

## 4. ADOPTION OF MINUTES

### 4.1 August 2, 2022, Special Council Minutes

2022.2059.SPECIAL *It was moved and seconded **THAT** Council adopt the August 2, 2022, Special Council Meeting Minutes as presented.*

CARRIED.

### 4.2 August 16, 2022, Regular Council Meeting

2022.2060.SPECIAL *It was moved and seconded **THAT** Council adopt the August 16, 2022, Regular Council Meeting Agenda as presented.*

CARRIED.

## 5. BYLAWS

### 5.1 Bed & Breakfast and Accessory Residential Dwelling Units Amendments to the Ucluelet Zoning Bylaw. *Bruce Greig, Director of Community Planning*

Mr. Greig presented his report.

Council discussed the proposed Bylaw and sought clarification from Staff. Several Council members proposed revisions to the Bylaw.

2022.2061.SPECIAL *It was moved and seconded **THAT** Council direct staff to bring the District of Ucluelet Zoning Amendment Bylaw No. 1310, 2022 to the November 29, 2022, regular meeting of Council for consideration.*

DEFEATED.

2022.2062.SPECIAL *It was moved and seconded **THAT** Council amend District of Ucluelet Zoning Amendment Bylaw No. 1310, 2022, by deleting sections 404.3(1) through 404.3(4).*

CARRIED.

2022.2063.SPECIAL *It was moved and seconded **THAT** Council give third reading of District of Ucluelet Zoning Amendment Bylaw No. 1310, 2022, as amended.*

CARRIED.

2022.2064.SPECIAL *It was moved and seconded **THAT** Council adopt District of Ucluelet Zoning Amendment Bylaw No. 1310, 2022.*

CARRIED.

2022.2065.SPECIAL *It was moved and seconded **THAT** Council recess for five minutes.*

CARRIED.

Council recessed at 6:58 PM.

**5.2 District of Ucluelet Permissive Tax Exemption Bylaw No. 1318, 2022**

***Donna Monteith, Chief Financial Officer***

Ms. Monteith presented her report.

2022.2066.SPECIAL *It was moved and seconded **THAT** Council approve Option A, to give District of Ucluelet Permissive Tax Exemption Bylaw No. 1318, 2022 first, second, and third reading.*

CARRIED.

**5.3 Fees and Charges Amendment Bylaw - Adoption**

***Donna Monteith, Chief Financial Officer***

Ms. Monteith presented this report.

Council provided an opportunity for the public to provide input on Bylaw No. 1316, 2022. There was no public input.

2022.2067.SPECIAL *It was moved and seconded **THAT** Council adopt District of Ucluelet Fees and Charges Amendment Bylaw No. 1316, 2022.*

CARRIED.

**5.4 Amendments to the Ucluelet Business Regulation and Licensing Bylaw**

***Bruce Greig, Director of Community Planning***

Mr. Greig presented this report.

Council provided an opportunity for the public to provide input on Bylaw No. 1313, 2022. There was no public input.

2022.2068.SPECIAL *It was moved and seconded **THAT** Council adopt District of Ucluelet Business Regulation and Licensing Bylaw Amendment Bylaw No. 1313, 2022.*

CARRIED.

**5.5 Municipal and Regional District Tax Bylaw No. 1314, 2022 - Adoption**

***Joseph Rotenberg, Manager of Corporate Services***

Mr. Rotenberg presented this report.

2022.2069.SPECIAL *It was moved and seconded **THAT** Council adopt District of Ucluelet Municipal and Regional District Tax Bylaw No. 1314, 2022.*

CARRIED.

## 6. REPORTS

### 6.1 Appointment of a New Deputy Chief Election Officer for the 2022 General Local Election *Joseph Rotenberg, Manager of Corporate Services*

Mr. Rotenberg presented this report.

2022.2070.SPECIAL *It was moved and seconded THAT Council:*

*appoint Abigail Fortune as a District of Ucluelet Deputy Chief Election Officer, effective September 6, 2022; and*

*rescind Paula Mason's appointment as District of Ucluelet Deputy Chief Election Officer, effective September 16, 2022.*

CARRIED.

### 6.2 Instructor Insurance *Abby Fortune, Director of Parks and Recreation*

Ms. Fortune presented this report.

2022.2071.SPECIAL *It was moved and seconded:*

*THAT Council approve the provision of general liability insurance for contract activity instructors who form the Ucluelet Activity Instructors Group, through the Municipal Insurance Association's Associate Member Program; and,*

*THAT Council authorize the Director of Parks & Recreation, on behalf of the District of Ucluelet, to enter into Service Provider Agreements with individual recreation instructors for the provision of general liability insurance through the District's liability insurance held with the Municipal Insurance Association of British Columbia.*

CARRIED.

## 7. CORRESPONDENCE

### 7.1 Reconsideration of 272 Main St DVP and DVB *Lucio Picciano, Architect, AIBC*

Council discussed the letter and request to reconsider. Council took no further action.

### 7.2 Invitation to Coastal Marine Strategy Information Session for AVICC

## 8. ADJOURNMENT

The meet was adjourned at 7:26 PM.

**CERTIFIED CORRECT:** Minutes of the Special Council Meeting held on Tuesday, September 6, 2022 at 5:30 pm in the Ucluelet Community Centre, 500 Matterson Road, Ucluelet, BC.

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Mayco Noël, Mayor

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Duane Lawrence, Corporate Officer



**DISTRICT OF UCLUELET**  
**MINUTES OF THE REGULAR COUNCIL MEETING**  
**HELD IN THE UCLUELET COMMUNITY CENTRE, 500 MATTERSON DRIVE**  
**Tuesday, September 20, 2022 at 4:00 PM**

Present:      **Chair:**            Mayor Noël  
                   **Council:**        Councillors Hoar, Kemps, and McEwen  
                   **Staff:**            Bruce Greig, Director of Community Planning  
                                  James MacIntosh, Director of Engineering Services  
                                  Abby Fortune, Director of Parks and Recreation  
                                  Joseph Rotenberg, Manager of Corporate Services  
                                  John Towgood, Municipal Planner  
                                  Monica Whitney-Brown, Planning Assistant

Regrets:        Councillor Cole

**1. CALL TO ORDER**

The meeting was called to order at 4:00 PM on September 20, 2022.

**1.1 ACKNOWLEDGEMENT OF THE YUULUʔIŁʔATH**

**Council acknowledged the Yuuluʔiłʔath, on whose traditional territories the District of Ucluelet operates.**

**1.2 NOTICE OF VIDEO RECORDING**

**Audience members and delegates were advised that the proceeding was being video recorded and broadcast on YouTube and Zoom, which may store data on foreign servers.**

**2. LATE ITEMS**

There were no late items.

**3. APPROVAL OF THE AGENDA**

**3.1 September 20, 2022, Regular Meeting Agenda**

2022.2168.REGULAR    *It was moved and seconded **THAT** Council approve the September 20, 2022, Regular Meeting Agenda as presented.*

CARRIED.

**4. PUBLIC INPUT & DELEGATIONS**

4.1 Public Input

**Imperial Lane**

Dave McIntosh, 1515 Imperial Lane, noted his letter to Council about traffic and safety issues on Imperial Lane. He recommended improved signage be installed.

#### 4.2 Delegations

**Joshua Charleson, Coastal Restoration Society**  
***Re: Report on CRS coastal cleanups in and around the District of Ucluelet***

Council received a delegation from Joshua Charleson of Coastal Restoration Society about coastal cleanups in and around the District of Ucluelet.

### 5. UNFINISHED BUSINESS

There was no unfinished business.

### 6. BYLAWS

#### 6.1 Fireworks Bylaw No. 1302, 2022 - Adoption ***Rick Geddes, Fire Chief***

Joseph Rotenberg, Manager of Corporate Services, presented this report on behalf of Chief Geddes.

2022.2169.REGULAR *It was moved and seconded **THAT** Council adopt District of Ucluelet Fireworks Regulation Bylaw No. 1302, 2022.*

CARRIED.

#### 6.2 Zoning Amendment Application Pacific Rim Charters & Guest Lodge (354 Forbes Road) ***Bruce Greig, Director of Community Planning***

2022.2170.REGULAR *It was moved and seconded **THAT** Council give third reading of District of Ucluelet Zoning Bylaw Amendment Bylaw No. 1303, 2022.*

CARRIED.

2022.2171.REGULAR *It was moved and seconded **THAT** Council adopt District of Ucluelet Zoning Bylaw Amendment Bylaw No. 1303, 2022.*

CARRIED.

2022.2172.REGULAR *It was moved and seconded **THAT** Council adopt Ucluelet Housing Agreement Bylaw No. 1249, 2019.*

CARRIED.

#### 6.3 Reserves Establishment Bylaw - Adoption ***Donna Monteith, Chief Financial Officer***

2022.2173.REGULAR *It was moved and seconded **THAT** Council adopt Reserves Establishment Bylaw No. 1317, 2022.*



CARRIED.

## 7. REPORTS

### 7.1 Development Variance Permit 22-05 *Monica Whitney-Brown, Planning Assistant*

Bruce Greig, Director of Community Planning provided a general overview of Environment Development Permits and fielded Council questions.

Ms. Whitney-Brown presented the report.

Council invited the applicant to speak. The applicant did not speak.

Council invited members of the public to comment on Development Variance Permit 22-05. The Manager of Corporate Services read an email from Ed Chernis, 947 Amphitrite Place, in opposition to the proposed Development Variance Permit. He cited concerns with approving the variance after the construction had already occurred.

2022.2174.REGULAR *It was moved and seconded **THAT** Council, authorize the Director of Community Planning to execute and issue Development Variance Permit DVP22-05 to allow the construction of a deck with a minimum exterior side yard setback of 2.08 meters from the lot line whereas section R-4.6.1 of District of Ucluelet Zoning Bylaw No. 1160, 2013 requires 2.5 meters.*

CARRIED.

### 7.2 Environmental Development Permit for 772 Marine Drive *Monica Whitney-Brown, Planning Assistant*

Ms. Whitney-Brown presented this report.

The applicant was invited to speak but did not present.

2022.2175.REGULAR *It was moved and seconded **THAT** Council authorize the Director of Community Planning to execute and issue Environmental Development Permit DP22-07 for the property at 772 Marine Drive to allow the construction of a single-family dwelling on a lot designated as Terrestrial and Riparian development permit areas.*

CARRIED.

### 7.3 Environmental Development Permit for 1251 Sunset Point Road *Monica Whitney-Brown, Planning Assistant*

Ms. Whitney-Brown presented this report.

The applicant was invited to speak but did not present.

2022.2176.REGULAR *It was moved and seconded **THAT** Council authorize the Director of Community Planning to execute and issue Environmental Development Permit DP22-06 for the property at 1251 Sunset Point Road to allow the construction of a single-family dwelling on a lot designated within a Marine Shoreline development permit area.*

CARRIED.

**7.4 Contract Authorization - Amphitrite House Construction**  
**James MacIntosh, Director of Engineering Services**

Mr. MacIntosh presented his report and fielded Council questions.

2022.2177.REGULAR *It was moved and seconded **THAT** Council authorize the Mayor and the Corporate Officer to execute a \$1,000,000 contract between the District of Ucluelet and Saltwater Building Co for the supply of materials and labour to reconstruct the Amphitrite house and grounds.*

CARRIED.

**7.5 Resort Development Strategy Final Draft**  
**Abigail K. Fortune, Director of Parks & Recreation**

Ms. Fortune presented this report.

2022.2178.REGULAR *It was moved and seconded **THAT** Council approve the submission of Ucluelet's Resort Development Strategy 2022 – 2025 to the Ministry of Tourism, Arts, Culture and Sport for ministerial approval.*

CARRIED.

**8. NOTICE OF MOTION**

There were no notices of motion.

**9. CORRESPONDENCE**

**9.1 Imperial Lane Safety Concerns**  
**Marg Vedova**

Council discussed Correspondence items 9.1 and 9.2 which are related to safety concerns associated with Imperial Lane. James MacIntosh, Director of Engineering Services, fielded Council questions and outlined the short-term, mid-term and long-term plans to improve Imperial Lane. He noted that additional signage is included in the short-term plan.

Council also noted the need for pre-established roots for truck traffic in Ucluelet.

**9.2 Imperial Lane Safety Concerns**  
**David McIntosh**

**9.3 Resolution EB42 - New Provincial Mandate and Funding for 9-1-1**

***BC Crisis Line Network***

- 9.4 Proclaim Your Support for Circular Economy Month in Canada!**  
*Jennifer Helman, Technical and Special Projects Coordinator, Recycling Council of British Columbia*
- 9.5 Please stand up for wild salmon at UBCM 2022!**  
*Robert Zurowski*
- 9.6 Expanded polystyrene has no place in the ocean!**  
*Mandala Smulders*
- This is one of 40 letters received with the same content but sent by different writers.
- 9.7 REMINDER: Heritage Conservation Act Transformation Project - Stakeholder**  
*HCA Transformation Project Team, Ministry of Forests*

**10. INFORMATION ITEMS**

- 10.1 Tourism Plan for Ucluelet Final Draft Presentation**  
*Abby Fortune, Director of Parks & Recreation*

Ms. Fortune presented her report and Dan Wilson, Contractor from Whistler Centre for Sustainability, provided an extensive outline of the final draft of the Tourism Master Plan.

Ms. Fortune and Mr. Wilson fielded Council questions on the Plan and proposed committee.

- 10.2 North Island College's BUILD 2026 and Working Together Dashboard Reports**  
*Lisa Domae, President and CEO, North Island College*
- 10.3 Forest Enhancement Society**  
*Jim Snetsinger, Board Chair, Forest Enhancement Society of BC*

**11. MAYOR'S ANNOUNCEMENTS AND COUNCIL COMMITTEE REPORTS**

- 11.1 Councillor Marilyn McEwen**  
*Deputy Mayor January 1 - March 15, 2022*

September 6: Attended Harbour Authority Meeting and Special Council Meeting

September 12 - 16: Attended UBCM Conference. Councillor McEwen outlined provided highlights from the Conference.

- 11.2 Councillor Lara Kemps**  
*Deputy Mayor March 16 - May 31, 2022*

September 6: Attended Harbour Authority Meeting and Special Council Meeting

September 12 - 16: Attended UBCM Conference

September 17: Attended the 3rd Annual Dustin Riley Soap Box Derby

October 16: Will attend the Edge 2 Edge Marathon. 600 runners have registered to date.

### **11.3 Councillor Jennifer Hoar**

***Deputy Mayor June 1 - August 15, 2022***

September 6: Attended Harbour Authority Meeting and Special Council Meeting

September 12 - 16: Attended UBCM Conference. Provided a brief overview of inspiring quotes from the conference. October 1: Cops for Cancer Tour de Rock will hold an event at the Ucluelet Co-Op. Donations will be received at this event.

### **11.4 Councillor Rachelle Cole**

***Deputy Mayor August 16 - October 31, 2022***

### **11.5 Mayor Noël**

September 6: Attended Harbour Authority Meeting and Special Council Meeting

September 12 - 16: Attended UBCM Conference  
September 17: Attended the 3rd Annual Dustin Riley Soap Box Derby

## **12. QUESTION PERIOD**

The Clerk noted that there was an issue with the podium mic during the public input and delegation section of the Agenda. As a result, the speakers could not be heard online.

## **13. CLOSED SESSION**

*There was no closed session.*

## **14. ADJOURNMENT**

The meeting was adjourned at 5:35 PM.

**CERTIFIED CORRECT:** Minutes of the Regular Council Meeting held on Tuesday, September 20, 2022 at 4:00 pm in the Ucluelet Community Centre 500 Matterson Road, Ucluelet, BC.

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Duane Lawrence, Corporate Officer

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Mayco Noël, Mayor





## REPORT TO COUNCIL

Council Meeting: Oct 6, 2022

500 Matterson Drive, Ucluelet, BC V0R 3A0

**FROM:** DONNA MONTEITH, CHIEF FINANCIAL OFFICER **FILE NO:** 3900-25

**SUBJECT:** PERMISSIVE TAX EXEMPTION BYLAW NO. 1318, 2022 **REPORT NO:** 22- 145

**ATTACHMENT(S):** APPENDIX A – PERMISSIVE TAX EXEMPTION BYLAW NO. 1318, 2022

### RECOMMENDATION(S):

THAT Council adopt District of Ucluelet Permissive Tax Exemption Bylaw No. 1318, 2022.

### BACKGROUND:

[Community Charter Section 224](#) gives local governments the authority to exempt eligible properties from property taxation for a specified period of time not to exceed ten years. At the September 6, 2022 special meeting, Council gave first three readings to Permissive Tax Exemption Bylaw No. 1318, 2022. The bylaw would be in effect for the 2023 and 2024 tax years.

### ANALYSIS OF OPTIONS

Council has given the first three readings of the proposed Permissive Tax Exemption Bylaw No. 1318, 2022. Notice of this bylaw, in accordance with [Community Charter Section 227](#) was provided in the Westerly newspaper September 14 and 21<sup>st</sup>, 2022, as well as via the Districts' website and bulletin boards.

After Council provides an opportunity for public input, Council will be in a position to adopt the Bylaw.

A	Council adopt Permissive Tax Exemption Bylaw No. 1318, 2022	<u>Pros</u>	<ul style="list-style-type: none"> <li>Organizations within the District of Ucluelet continue to be supported</li> </ul>
		<u>Cons</u>	<ul style="list-style-type: none"> <li>Exact value of property tax exemptions is unknown</li> </ul>
		<u>Implications</u>	<ul style="list-style-type: none"> <li>Estimated permissive tax exemptions are already within the 2023 financial plan</li> </ul>
B	Council does not adopt the bylaw	<u>Pros</u>	<ul style="list-style-type: none"> <li>The District would collect approximately \$46,000 in municipal taxes in 2023</li> </ul>
		<u>Cons</u>	<ul style="list-style-type: none"> <li>Organizations would be subject to property taxes effective 2023</li> </ul>
		<u>Implications</u>	<ul style="list-style-type: none"> <li>It is recommended that organizations be given more time to plan to pay municipal property taxes</li> </ul>

	<u>Suggested Motion</u>	No resolution is necessary
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**POLICY OR LEGISLATIVE IMPACTS:**

[Community Charter section 224-227](#) provides information on permissive tax exemptions

**NEXT STEPS**

- Provide bylaw to BC Assessment by October 31, 2022

**Respectfully submitted:** Donna Monteith, Chief Financial Officer  
Duane Lawrence, CAO



## Appendix A

2022 Permissive Tax Exemptions

<b>Organization Name</b>	<b>2022 Municipal Taxes</b>	<b>2023 Est Municipal Taxes</b>	<b>2024 Est Municipal Taxes</b>
Food Bank on the Edge	\$ 1,208.28	\$ 1,268.69	\$ 1,332.12
Westcoast Community Resources Centre	\$ 1,642.65	\$ 1,724.79	\$ 1,811.03
Westcoast Community Resources Centre	\$ 1,584.59	\$ 1,663.82	\$ 1,747.01
Nuu-Chah-Nulth First Nations	\$ 559.20	\$ 587.16	\$ 616.52
Ministry of Child and Family Development	\$ 559.20	\$ 587.16	\$ 616.52
Vancouver Island Regional Library	\$ 3,782.60	\$ 3,971.73	\$ 4,170.32
Ucluelet Daycare Society	\$ 1,472.03	\$ 1,545.64	\$ 1,622.92
Army & Navy Airforce Veterans - Ucluelet Unit #293	\$ 2,964.40	\$ 3,112.62	\$ 3,268.25
Ucluelet Aquarium Society	\$ 23,975.77	\$ 25,174.56	\$ 26,433.29
KUU-US Crisis Line Society	\$ 1,601.68	\$ 1,681.77	\$ 1,765.85
<b>Total Municipal Property Tax Exemption</b>	<b>\$ 39,350.41</b>	<b>\$ 41,317.93</b>	<b>\$ 43,383.82</b>



**DISTRICT OF UCLUELET**

**Bylaw No. 1318, 2022**

A bylaw to exempt from taxation certain lands and/or improvements

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**WHEREAS** the *Community Charter* provides for the exemption from taxation certain land, improvements or both;

**AND WHEREAS** it is deemed expedient to exempt from said taxation certain properties within the District of Ucluelet.

**NOW THEREFORE** the Council of the District of Ucluelet in open meeting assembled enacts as follows:

1. This bylaw may be cited for all purposes as the “District of Ucluelet Permissive Tax Exemption Bylaw No 1318, 2022.”
2. The following described properties are hereby exempted from taxation for a period of two years (2023-2024), as per section 224 of the *Community Charter*:

Exemption for Organizations Using Municipal Property

- a) Food Bank on the Edge - 160 Sea Plane Base Road - Roll No. 181.061 being that portion of Lot 3, Plan VIP20323, District Lot 284, Clayoquot Land District, PID 003-534-618, that is used and owned by the Food Bank on the Edge;
- b) Westcoast Community Resources Centre – 500 Matterson Drive - Roll No. 114.960 being that portion of Lot A, Plan VIP56963, District Lot 281, Clayoquot Land District that is used by the Westcoast Community Resources Centre
- c) Nuu-Chah-Nulth Tribal Council - 500 Matterson Drive - Roll No. 114.960 being that portion of Lot A, Plan VIP56963, District Lot 281, Clayoquot Land District that is used by the Nuu-Chah-Nulth First Nations;
- d) Ministry of Child and Family Development – 500 Matterson Drive - Roll No. 114.960 being that portion of Lot A, Plan VIP56963, District Lot 281, Clayoquot Land District that is used by the Ministry of Child and Family Development;
- e) Vancouver Island Regional Library – 500 Matterson Drive - Roll No. 114.960 being that portion of Lot A, Plan VIP56963, District Lot 281, Clayoquot Land District that is used by the Vancouver Island Regional Library;
- f) Ucluelet Daycare Society – 500 Matterson Drive - Roll No. 114.960 being that portion of Lot A, Plan VIP56963, District Lot 281, Clayoquot Land District that is used by the Ucluelet Daycare Society;

Exemption for Recreational Properties

The land and improvements classified by the BC Assessment Authority as Class 8 Recreational/Non Profit and excluding the land and improvements classified by the BC Assessment Authority as Class 6.

- g) Army, Navy & Air Force Veterans Ucluelet Unit #293 - Roll No. 165.000, being Lot 1, Plan VIP5190, District Lot 282, Clayoquot Land District, PID 005-951-992, 1708 Peninsula Road;

Exemption for Residential Properties

- h) KUU-IS Crisis Line Society - Roll No. 6001, being that portion of Lot 1, Plan VIP9200, Section 21, Clayoquot Land District, PID 005-569-206, 1395 Helen Road;
- i) Westcoast Community Resources Society - Roll No 127994, being Lot 2, Block A, Plan VIP29119 District Lot 282, Clayoquot Land District; PID 001-423-975, 1800 Bay Street;

Exemption for Aquarium

- j) Ucluelet Aquarium Society - Roll No. 152.020 being a Portion of District Lot 1689, and DL2191 Clayoquot Land District, 180 Main Street, for aquarium purposes, license 113490.

**READ A FIRST TIME** this 6<sup>th</sup> day of, **September 2022**.

**READ A SECOND TIME** this 6<sup>th</sup> day of, **September 2022**.

**READ A THIRD TIME** this 6<sup>th</sup> day of, **September 2022**.

**ADOPTED** this     day of                 **2022** .

**CERTIFIED CORRECT:** District of Ucluelet Permissive Tax Exemption Bylaw No. 1318, 2022.

\_\_\_\_\_  
 Mayor  
 Mayco Noel

\_\_\_\_\_  
 Corporate Officer  
 Duane Lawrence

**THE CORPORATE SEAL** of the District of Ucluelet was hereto affixed in the presence of:

\_\_\_\_\_  
 Corporate Officer  
 Duane Lawrence



## REPORT TO COUNCIL

Council Meeting: October 6, 2022

500 Matterson Drive, Ucluelet, BC V0R 3A0

**FROM:** JOSEPH ROTENBERG, MANAGER OF CORPORATE SERVICES

**FILE NO:** 8800-20 UEDC REPORTS

**SUBJECT:** UCLUELET ECONOMIC DEVELOPMENT CORPORATION – ANNUAL REPORTS

**REPORT NO:** 22-148

**ATTACHMENT(S):**

- APPENDIX A – NOTICE OF CHANGE OF ADDRESS
- APPENDIX B – DIRECTOR’S RESOLUTION, EFFECTIVE DATE SEPTEMBER 14, 2022
- APPENDIX C – 2021 ANNUAL REPORT
- APPENDIX D – SHAREHOLDER’S RESOLUTION, EFFECTIVE DATE JUNE 29, 2021
- APPENDIX E – DIRECTORS’ RESOLUTIONS, EFFECTIVE DATE JUNE 29, 2021
- APPENDIX F – 2020 FINANCIAL STATEMENT
- APPENDIX G – 2022 ANNUAL REPORT
- APPENDIX H – SHAREHOLDER’S RESOLUTION, EFFECTIVE DATE JUNE 29, 2022
- APPENDIX I – DIRECTORS’ RESOLUTIONS, EFFECTIVE DATE JUNE 29, 2022
- APPENDIX K – 2021 FINANCIAL STATEMENT

### RECOMMENDATION(S):

**THAT** Council:

- a. approve the Ucluelet Economic Development Corporation Director’s Resolution with the effective date of September 14, 2022 and attached as Appendix B;
- b. approve the Ucluelet Economic Development Corporation Shareholders’ Resolution with the effective date June 29, 2021, attached to this report as Appendix D;
- c. approve the two Ucluelet Economic Development Corporation Director’s Resolutions with the effective date June 29, 2021, attached to this report as Appendix E;
- d. approve the Ucluelet Economic Development Corporation Director’s Shareholders’ resolution with the effective date June 29, 2022, attached to this report as Appendix H;
- e. approve the two Ucluelet Economic Development Corporation Director’s Resolutions with the effective date June 29, 2022, attached to this report as Appendix I;
- f. direct Staff to take the necessary steps to file the Ucluelet Economic Development Corporation Notice of Change of Address, 2021 Annual Report and 2022 Annual Report with BC Registries and Online Services, attached to this report as Appendix A, C, and G, respectively.

### BACKGROUND:

The Ucluelet Economic Development Corporation (UEDC) was established in 2000 as a District-owned corporation to be used as a vehicle for economic development. The District is the sole UEDC shareholder.

As an external corporation, it was able to enter into partnerships and joint ventures aimed at diversifying the economy after downturns in fishing and forestry in the 1990s.

In general, the expenses related to supporting economic development were modest over the last twenty years. Recent budget allocations have been made only to maintain the UEDC as a legal corporation. The average annual budgets for the corporation since 2000 have ranged from \$0-\$50,000.

From 2019 to date, the UEDC has been inactive. The UEDC currently holds less than \$5,000 in an account with CIBC. Staff are not aware of any other assets or any outstanding UEDC liabilities.

The UEDC Annual reports for 2021 and 2022 have not been filed. To bring the UEDC back into good standing, these filings should be made and director approval is required. Likewise, the UEDC's annual Shareholder's Resolutions and Director's Resolutions for 2021 and 2022 have not been made. It is recommended that these resolutions be adopted at this time.

Once the new Council members have taken office, Staff will introduce the process of updating the Directors and Officers.

The UEDC's records and registered office is currently located at Myron Plett Law Corporation dba Raincoast Law. Staff were notified that this law firm is closing. As a result, Staff are recommending that the Records and Registered office be transferred to the District of Ucluelet office until another appropriate law firm can be identified. A Director's Resolution is required to do this.

#### ANALYSIS OF OPTIONS

<b>A</b>	Adopt 2021 and 2022 annual resolutions  &  Adopt resolution to relocate records and registered office	<u>Pros</u>	<ul style="list-style-type: none"> <li>• UEDC would be brought into good standing.</li> <li>• Records and Registered Office would be relocated to the District of Ucluelet Office until new solicitor is retained.</li> </ul>
		<u>Cons</u>	<ul style="list-style-type: none"> <li>• New Council will have to revisit the issue and vote on new Directors and Officers for the corporation.</li> </ul>
		<u>Implications</u>	<ul style="list-style-type: none"> <li>• Staff time will be required to reintroduce this issue to the new Council and appoint new Directors and Officers.</li> <li>• Legal costs associated with filing annual reports and change of Records and Registered Office.</li> </ul>
<b>B</b>	Adopt 2021 annual resolution and resolution to relocate records and registered office	<u>Pros</u>	<ul style="list-style-type: none"> <li>• 2021 annual report would be filed, and Records and Registered office would be relocated.</li> </ul>
		<u>Cons</u>	<ul style="list-style-type: none"> <li>• Corporation would not be brought into good standing.</li> <li>• Timing issues with retroactively appointing Directors that were not on Council at the time of the effective appointment date.</li> <li>• Timing issues with the motion to Relocate the Records and registered office.</li> </ul>
		<u>Implications</u>	<ul style="list-style-type: none"> <li>• Staff time will be required to reintroduce this issue to the new Council to appoint new Directors and Officers.</li> </ul>

		<ul style="list-style-type: none"> <li>• Legal costs associated with filing annual reports and notice of change of Records and Registered Office.</li> </ul>
	<p><u>Suggested Motion</u></p>	<p>THAT Council:</p> <ol style="list-style-type: none"> <li>approve the Ucluelet Economic Development Corporation Director’s resolution with the effective date of September 14, 2022 and attached as Appendix B;</li> <li>approve the Ucluelet Economic Development Corporation Shareholders’ Resolution with the effective date June 29, 2021, attached to this report as Appendix D;</li> <li>approve the two Ucluelet Economic Development Corporation Director’s Resolutions with the effective date June 29, 2021, attached to this report as Appendix E; and,</li> <li>direct Staff to take the necessary steps to file the Ucluelet Economic Development Corporation Notice of Change of Address, and 2021 Annual Report with BC Registries and Online Services, attached to this report as Appendix A and C, respectively.</li> </ol>

**POLICY OR LEGISLATIVE IMPACTS:**

The recommendation will lead to the UEDC being brought into good standing and the Records and Registered Office being transferred to the District of Ucluelet Office at 200 Main Street.

**NEXT STEPS:**

- Coordinate execution of resolutions;
- File Notices and Reports;
- Pay any outstanding dues to Myron Plett Law Corporation;
- Transfer minute book to DoU office;
- Retain new Solicitor for the UEDC; and
- Bring back resolution required to transfer minute book to new Solicitor and update UEDC Directors and Officers to Council members.

Respectfully submitted:

JOSEPH ROTENBERG, MANAGER OF CORPORATE SERVICES







**BC Registries  
and Online Services**

**NOTICE OF CHANGE OF ADDRESS**

**FORM 2 - BC COMPANY**

*Sections 35 & 36 Business Corporations Act*

Telephone: 1 877 526-1526  
www.bcregistryservices.gov.bc.ca

Mailing Address: PO Box 9431 Stn Prov Govt  
Victoria BC V8W 9V3

Courier: 200-940 Blanshard Street  
Victoria BC V8W 3E6

**DO NOT MAIL THIS FORM** to BC Registry Services unless you are instructed to do so by registry staff. The Regulation under the *Business Corporations Act* requires the electronic version of this form to be filed on the internet at www.corporateonline.gov.bc.ca.

**Filing Fee for paper filing: \$20.00**

If you are instructed by registry staff to mail this form to the Corporate Registry, submit this form with a cheque or money order made payable to the Minister of Finance, or provide the registry with authorization to debit the fee from your BC OnLine Deposit Account. Please pay in Canadian dollars or in the equivalent amount of US funds.

*Freedom of Information and Protection of Privacy Act (FOIPPA):* Personal information provided on this form is collected, used and disclosed under the authority of the *FOIPPA and the Societies Act* for the purposes of assessment. Questions regarding the collection, use and disclosure of personal information can be directed to the Manager of Registries Operations at 1 877 526-1526.  
PO Box 9431 Stn Prov Govt, Victoria BC V8W 9V3

**★ PLEASE ENTER THE COMPANY EMAIL ADDRESS FOR CORRESPONDENCE**

jrotenberg@ucluelet.ca

**A INCORPORATION NUMBER OF COMPANY**

BC0609897

**B NAME OF COMPANY**

Ucluelet Economic Development Corporation

**C REGISTERED OFFICE ADDRESSES**

Set out the delivery address and mailing address of the registered office proposed for the company.

DELIVERY ADDRESS - (PO Box is not accepted. Postal code is required.)

200 Main Street PO Box 999

CITY

Ucluelet

Prov.  
BC

POSTAL CODE

V0R 3A0

MAILING ADDRESS

200 Main Street PO Box 999

CITY

Ucluelet

Prov.  
BC

POSTAL CODE

V0R 3A0

**D RECORDS OFFICE ADDRESSES**

Set out the delivery address and mailing address of the records office proposed for the company.

DELIVERY ADDRESS - (PO Box is not accepted. Postal code is required.)

200 Main Street PO Box 999

CITY

Ucluelet

Prov.  
BC

POSTAL CODE

V0R 3A0

MAILING ADDRESS

200 Main Street PO Box 999

CITY

Ucluelet

Prov.  
BC

POSTAL CODE

V0R 3A0

**E CERTIFIED CORRECT - I have read this form and found it to be correct.**

**Note: It is an offence to make a false or misleading statement in respect of a material fact in a record submitted to the Corporate Registry for filing. See section 427 of the Business Corporations Act.**

NAME OF AUTHORIZED SIGNING AUTHORITY  
FOR THE COMPANY

SIGNATURE OF AUTHORIZED SIGNING  
AUTHORITY FOR THE COMPANY

DATE SIGNED  
YYYY / MM / DD

X

**F DELIVERY METHOD - Choose one delivery method for the company's documents.**

Company Email

By Mail to new Registered Office Mailing Address



OF

UCLUELET ECONOMIC DEVELOPMENT CORPORATION

(the "Company")

RESOLVED THAT:

- The Registered Office and the Records Office of the Company be changed to:

**Registered Office:**

<b>Mailing Address:</b>	200 Main Street PO Box 999 Ucluelet, BC V0R 3A0
<b>Delivery Address:</b>	200 Main Street PO Box 999 Ucluelet, BC V0R 3A0

**Records Office:**

<b>Mailing Address:</b>	200 Main Street PO Box 999 Ucluelet, BC V0R 3A0
<b>Delivery Address:</b>	200 Main Street PO Box 999 Ucluelet, BC V0R 3A0

- Myron Plett Law Corporation cease to act as solicitors for the Company and as the agent for maintaining the Company's Registered and Records Offices.

Effective date: September 14, 2022

\_\_\_\_\_  
Marilyn McEwen

\_\_\_\_\_  
Mayco Noel

\_\_\_\_\_  
Jennifer Hoar

\_\_\_\_\_  
Rachelle Cole

\_\_\_\_\_  
Lara Kemps





BC Registries  
and Online Services

ANNUAL REPORT

FORM 6 – BC COMPANY

Section 51 Business Corporations Act

Telephone: 1 877 526-1526  
www.bcregistryservices.gov.bc.ca

**DO NOT MAIL THIS FORM** to BC Registry Services unless you are instructed to do so by registry staff. The Regulation under the Business Corporations Act requires the electronic version of this form to be filed on the Internet at www.corporateonline.gov.bc.ca

**Filing Fee for paper filing:** \$43.39

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Please pay in Canadian dollars or in the equivalent amount of US funds.

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PO Box 9431 Stn Prov Govt, Victoria BC V8W 9V3

**A INCORPORATION NUMBER OF COMPANY**

BC0609897

**B NAME OF COMPANY**

Ucluelet Economic Development Corporation

**C DATE OF RECOGNITION**

YYYY/MM/DD

2000/06/29

**D DATE OF ANNUAL REPORT**

YYYY/MM/DD

2021/06/29

**E PERSONS WHO HAVE BEEN APPOINTED AS OFFICERS**

**OFFICER NAME(S) AND ADDRESS(ES)** – Enter the full name, delivery address, mailing address (if different) and office held of each of the company's officers, if any. The officer may select to provide either (a) the delivery address and, if different, the mailing address for the office at which the individual can usually be served with records between 9 a.m. and 4 p.m. on business days or (b) the delivery address and, if different, the mailing address of the individual's residence. The delivery address must not be a post office box. Attach an additional sheet if more space is required.

**Note:** Listing officer appointments on the annual report is **optional**. If you choose to include officer information, you cannot file any change to this information until you file the annual report for next year.

FIRST NAME Mayco	MIDDLE NAME	LAST NAME Noel			
DELIVERY ADDRESS 1302 Victoria Road PO Box 786	CITY Ucluelet	PROV/STATE British Columbia	COUNTRY Canada	POSTAL CODE/ZIP CODE V0R 3A0	
MAILING ADDRESS 1302 Victoria Road PO Box 786	CITY Ucluelet	PROV/STATE British Columbia	COUNTRY Canada	POSTAL CODE/ZIP CODE V0R 3A0	
OFFICE(S) HELD (e.g. president, secretary, vice president) President					

FIRST NAME Marilyn	MIDDLE NAME	LAST NAME McEwen			
DELIVERY ADDRESS 131 Garden Street PO Box 541	CITY Ucluelet	PROV/STATE British Columbia	COUNTRY Canada	POSTAL CODE/ZIP CODE V0R 3A0	
MAILING ADDRESS 131 Garden Street PO Box 541	CITY Ucluelet	PROV/STATE British Columbia	COUNTRY Canada	POSTAL CODE/ZIP CODE V0R 3A0	
OFFICE(S) HELD (e.g. president, secretary, vice president) Secretary					

**F COMPANY CHANGES**

A company must file with the registrar a notice of any change to the information shown in the Corporate Register. Please visit our website at www.bcregistryservices.gov.bc.ca or phone 1 877 526-1526 for information on how to file these notices.

**G CERTIFIED CORRECT - I have read this form and found it to be correct.**

**Note:** It is an offence to make a false or misleading statement in respect of a material fact in a record submitted to the Corporate Registry for filing. See section 427 of the Business Corporations Act.

NAME OF APPLICANT	SIGNATURE OF APPLICANT	DATE SIGNED YYYY / MM / DD
	X	



**SHAREHOLDER'S RESOLUTIONS**  
**OF**  
**UCLUELET ECONOMIC DEVELOPMENT CORPORATION**  
**(the "Company")**

**RESOLVED THAT:**

1. The financial statements as approved by the directors for the Company's last financial year, be approved.
2. The appointment of an auditor for the Company for the next financial year be waived as provided in section 203 (2) of the *Business Corporations Act*.
3. All lawful contracts, acts, proceedings, appointments and payments, made by the directors of the Company during the last Annual Reference Period, and which have previously been disclosed to the shareholders, are approved, ratified and confirmed.
4. The following persons be elected as directors of the Company for the next Annual Reference Period or until their successors are elected or appointed.

Marilyn McEwen  
Mayco Noel  
Jennifer Hoar  
Rachelle Cole  
Lara Kemps

5. The annual general meeting of the Company for the year 2021 will be deemed to have been held on the date of these resolutions and the date of these resolutions be confirmed as the Annual Reference Date for the Company.

Effective date: June 29, 2021

District of Ucluelet

---







**DIRECTORS' RESOLUTION**  
**OF**  
**UCLUELET ECONOMIC DEVELOPMENT CORPORATION**  
**(the "Company")**

RESOLVED THAT:

The financial statements of the Company for the last completed financial year be approved for submission to the shareholders and that any one director of the Company be authorized to sign the financial statements as evidence of such approval.

Effective date: June 29, 2021

\_\_\_\_\_  
Marilyn McEwen

\_\_\_\_\_  
Mayco Noel

\_\_\_\_\_  
Jennifer Hoar

\_\_\_\_\_  
Rachelle Cole

\_\_\_\_\_  
Lara Kemps

**Ucluelet Economic Development Corporation****Statement of Earnings (Unaudited)**

Year Ended December 31, 2020

---

**Revenue**

Revenue \$ 0

---

\$ 0**Expenses**

Bank Charges \$ 116

Other \$ 0

---

\$ 116**Net Earnings**

---

\$ (116)

---



Chief Financial Officer

**Ucluelet Economic Development Corporation****Statement of Financial Position (Unaudited)**

As at December 31, 2020

---

**Financial Assets**

Cash and Cash Equivalents \$ 4,699

---

\$ 4,699**Liabilities**

Accounts Payable \$ 0

Other Liabilities \$ 0

---

\$ 0**Net Financial Assets**

---

\$ 4,699**Accumulated Surplus**

---

\$ 4,699

---

Chief Financial Officer



BC Registries  
and Online Services

**ANNUAL REPORT**

**FORM 6 – BC COMPANY**

Section 51 *Business Corporations Act*

Telephone: 1 877 526-1526  
www.bcregistryservices.gov.bc.ca

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PO Box 9431 Stn Prov Govt, Victoria BC V8W 9V3

**A INCORPORATION NUMBER OF COMPANY**

BC0609897

**B NAME OF COMPANY**

Ucluelet Economic Development Corporation

**C DATE OF RECOGNITION**

YYYY/MM/DD

2000/06/29

**D DATE OF ANNUAL REPORT**

YYYY/MM/DD

2022/06/29

**E PERSONS WHO HAVE BEEN APPOINTED AS OFFICERS**

**OFFICER NAME(S) AND ADDRESS(ES)** – Enter the full name, delivery address, mailing address (if different) and office held of each of the company's officers, if any. The officer may select to provide either (a) the delivery address and, if different, the mailing address for the office at which the individual can usually be served with records between 9 a.m. and 4 p.m. on business days or (b) the delivery address and, if different, the mailing address of the individual's residence. The delivery address must not be a post office box. Attach an additional sheet if more space is required.

**Note:** Listing officer appointments on the annual report is **optional**. If you choose to include officer information, you cannot file any change to this information until you file the annual report for next year.

FIRST NAME	MIDDLE NAME	LAST NAME			
Mayco		Noel			
DELIVERY ADDRESS		CITY	PROV/STATE	COUNTRY	POSTAL CODE/ZIP CODE
1302 Victoria Road PO Box 786		Ucluelet	British Col	Canada	V0R 3A0
MAILING ADDRESS		CITY	PROV/STATE	COUNTRY	POSTAL CODE/ZIP CODE
1302 Victoria Road PO Box 786		Ucluelet	British Col	Canada	V0R 3A0
OFFICE(S) HELD (e.g. president, secretary, vice president)					
President					

FIRST NAME	MIDDLE NAME	LAST NAME			
Marilyn		McEwen			
DELIVERY ADDRESS		CITY	PROV/STATE	COUNTRY	POSTAL CODE/ZIP CODE
131 Garden Street PO Box 541		Ucluelet	British Col	Canada	V0R 3A0
MAILING ADDRESS		CITY	PROV/STATE	COUNTRY	POSTAL CODE/ZIP CODE
131 Garden Street PO Box 541		Ucluelet	British Col	Canada	V0R 3A0
OFFICE(S) HELD (e.g. president, secretary, vice president)					
Secretary					

**F COMPANY CHANGES**

A company must file with the registrar a notice of any change to the information shown in the Corporate Register. Please visit our website at www.bcregistryservices.gov.bc.ca or phone 1 877 526-1526 for information on how to file these notices.

**G CERTIFIED CORRECT - I have read this form and found it to be correct.**

**Note:** It is an offence to make a false or misleading statement in respect of a material fact in a record submitted to the Corporate Registry for filing. See section 427 of the Business Corporations Act.

NAME OF APPLICANT

SIGNATURE OF APPLICANT

DATE SIGNED

YYYY / MM / DD

X



**SHAREHOLDER'S RESOLUTIONS**  
**OF**  
**UCLUELET ECONOMIC DEVELOPMENT CORPORATION**  
**(the "Company")**

**RESOLVED THAT:**

1. The financial statements as approved by the directors for the Company's last financial year, be approved.
2. The appointment of an auditor for the Company for the next financial year be waived as provided in section 203 (2) of the *Business Corporations Act*.
3. All lawful contracts, acts, proceedings, appointments and payments, made by the directors of the Company during the last Annual Reference Period, and which have previously been disclosed to the shareholders, are approved, ratified and confirmed.
4. The following persons be elected as directors of the Company for the next Annual Reference Period or until their successors are elected or appointed.

Marilyn McEwen  
Mayco Noel  
Jennifer Hoar  
Rachelle Cole  
Lara Kemps

5. The annual general meeting of the Company for the year 2022 will be deemed to have been held on the date of these resolutions and the date of these resolutions be confirmed as the Annual Reference Date for the Company.

Effective date: June 29, 2022

District of Ucluelet

---





**DIRECTORS' RESOLUTION**  
**OF**  
**UCLUELET ECONOMIC DEVELOPMENT CORPORATION**  
**(the "Company")**

RESOLVED THAT:

1. The following officers of the Company be appointed for the next Annual Reference Period, or until their successors are appointed:

Mayco Noel	President
------------	-----------

Marilyn McEwen	Secretary
----------------	-----------

Effective date: June 29, 2022

\_\_\_\_\_  
Marilyn McEwen

\_\_\_\_\_  
Mayco Noel

\_\_\_\_\_  
Jennifer Hoar

\_\_\_\_\_  
Rachelle Cole

\_\_\_\_\_  
Lara Kemps

**DIRECTORS' RESOLUTION**  
**OF**  
**UCLUELET ECONOMIC DEVELOPMENT CORPORATION**  
**(the "Company")**

RESOLVED THAT:

The financial statements of the Company for the last completed financial year be approved for submission to the shareholders and that any one director of the Company be authorized to sign the financial statements as evidence of such approval.

Effective date: June 29, 2022

\_\_\_\_\_  
Marilyn McEwen

\_\_\_\_\_  
Mayco Noel

\_\_\_\_\_  
Jennifer Hoar

\_\_\_\_\_  
Rachelle Cole

\_\_\_\_\_  
Lara Kemps

**Ucluelet Economic Development Corporation****Statement of Financial Position (Unaudited)**

As at December 31, 2021

---

**Financial Assets**

Cash and Cash Equivalents \$ 4,603

---

\$ 4,603**Liabilities**

Accounts Payable \$ 0

Other Liabilities \$ 0

---

\$ 0**Net Financial Assets** \$ 4,603

---

**Accumulated Surplus** \$ 4,603

---

Chief Financial Officer

**Ucluelet Economic Development Corporation****Statement of Earnings (Unaudited)**

Year Ended December 31, 2021

---

**Revenue**

Revenue \$ 0

---

\$ 0**Expenses**

Bank Charges \$ 96

Other \$ 0

---

\$ 96**Net Earnings** \$ (96)

---



---

Chief Financial Officer



## REPORT TO COUNCIL

Council Meeting: October 6, 2022  
500 Matterson Drive, Ucluelet, BC V0R 3A0

FROM: JOHN TOWGOOD, MUNICIPAL PLANNER

FILE NO: 3060-20 DP22-05

SUBJECT: DEVELOPMENT PERMIT FOR A RESORT CONDO DEVELOPMENT  
AT 1003 PENINSULA ROAD

REPORT NO: 22-146

ATTACHMENT(S): APPENDIX A – APPLICATION  
APPENDIX B – DEVELOPMENT PERMIT 22-05

### RECOMMENDATION(S):

THAT Council, with regard to the proposed Resort Condo development at 1003 Peninsula Road (Lot 6 Section 21 Clayoquot District Plan VIP67274; PID 024-167-533) approve the issuance of Development Permit 22-05 for three Duplex Resort Condo development and associated landscape and hardscape works.

### BACKGROUND:

This Development Permit application was received June 8, 2022, for a Resort Condo development at 1003 Peninsula Road (the “**subject property**”). The subject property is currently undeveloped with a large part of the front / central part of the property covered in fill pill deposited during the 1999 rerouting of that section of Peninsula Road. The property is located on Spring Cove and there is a 15m right of way for a public trail and a 25m green space extending back from the natural boundary.



Figure 1 – Subject Property

### Establishing objectives for the form and character of development in the resort region

Form and Character Development Permits are required for all commercial development and improvements in the District of Ucluelet. Key general form and character guidelines for this application are as follows:

***F1.** Building design, layout, finish and colour should be of a high quality that reflects traditional (e.g., fishing village) or contemporary West Coast architectural styles;*

***F2.** Larger development should be broken up into smaller components. The image of any new larger building should be as a grouping of smaller pieces. Break up building massing by articulated building faces, stepping back whole or partial upper floors, and landscaping to soften the building appearance and present a human-scale presence at the pedestrian level;*

***F11.** The following exterior materials are encouraged:*

- *Wooden posts and beams with visible fastenings;*
- *Wood siding, planks, board-and-batten, shakes or shingles;*
- *Corrugated or standing-seam sheet metal;*
- *Weathering steel (e.g., Core-ten), aluminum, galvanized, zinc, copper or other non-reflective architectural metal elements,*
- *Finished concrete;*
- *Cementitious composite siding (e.g., Hardi-plank) when detailed to avoid large areas of flat panels; and,*
- *Limited use of brick or local stone.*

### Building Form

The proposed development consists of three two storey duplexes built in the Peninsula Road fill pile. It is proposed that there will be little to no disturbance to the existing trees and ground cover outside that fill pile area (**Figure 2** and **3**).

The buildings have low slope roofs, are relatively square in massing and are modest in height at one and half stories. The buildings will be clad with a mix of cedar and metal with a standing seam metal roof with the trim and guard railings a mix of cedar and metal.

Considering the confined and unique shape of the subject property and the robust natural boundary setback, the buildings form, spacing, and materials are consistent with the OCP guidelines.

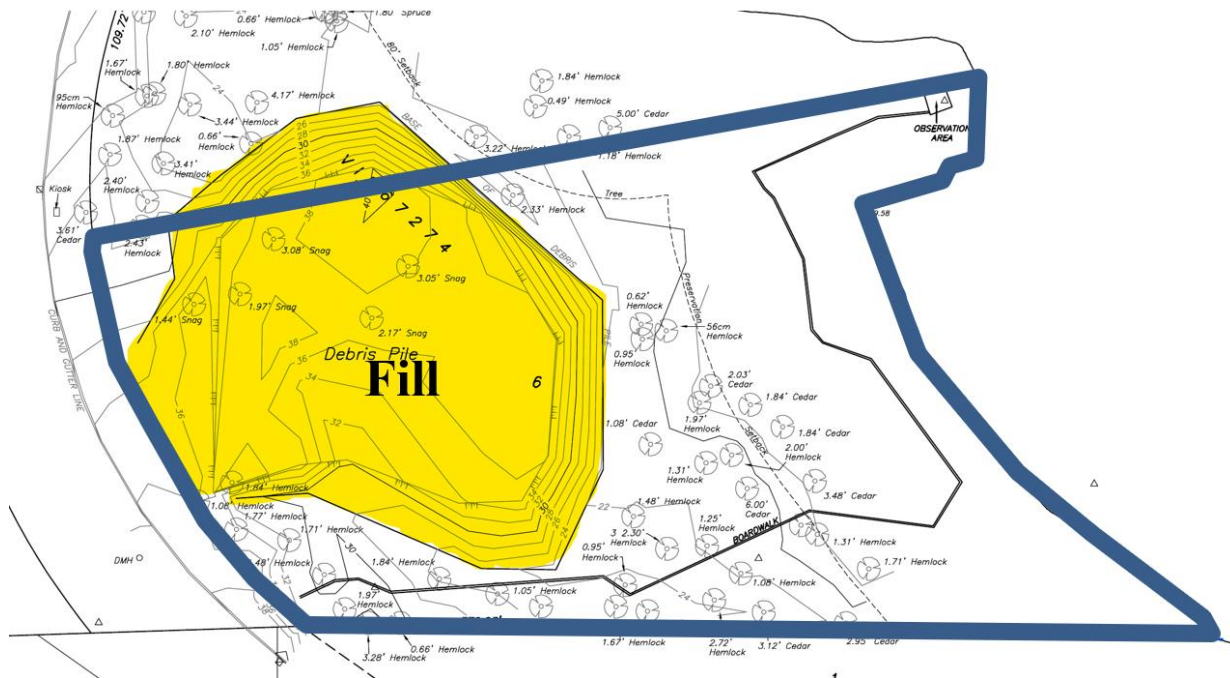


Figure 2 – Fill Pile Sketch



Figure 3 - Development Plan

Landscape and hardscape

The proposed development is not anticipating a major disturbance to the existing mature trees or ground cover outside of the fill area (light green hatch in **Figure 3**). In the fill area the applicant will retain and augment the existing vegetation not removed for the purposed buildings and roads. The frontage will have a mix of low native species vegetation and grass lawn. These areas must be kept low for the required vehicle exiting site lines.

Parking and vehicle access

The applicant is proposing a single point access that has been reviewed by a Professional Engineer who has stated that the site lines meet Transportation Association of Canada (TAC) requirements for sighting distances for this 30km/h section of Peninsula Road (See **Appendix A** for the Harold Engineering report). The applicant is proposing 6 gravel parking spaces and 3 guest spaces which is more than the zoning bylaw parking requirement. The applicant will be required to have 10' of paved connection apron to keep gravel from spilling out onto Peninsula Road.

Terrestrial (Mature Forest) (DPA V) and Marine Shorelines (DPA VII)

The subject property falls within the Official Community Plan's Terrestrial and Marine Shorelines Development Permit Areas. The applicant has engaged Calidris Ecological Services to complete an environmental assessment of the proposed development (see **Appendix-A**). The attached development permit includes conditions that will require the applicant to follow the recommendations listed in this report.

Archaeological

The subject property is close to a known archaeological site but the development itself does not overlap that site. The applicant has been in contact with the Ucluelet First Nation and the applicant has completed a Preliminary Field Reconnaissance for the proposed development. See **Appendix-A** for this report.

ZONING

The subject property falls within the CS-5 zone and from the information provided the proposed development is consistent with the applicable zoning regulations

COASTAL FLOODING REQUIREMENTS

On existing properties for the purposes of building and development permits for a use that is allowed by zoning, tsunami inundation is not a consideration while coastal flooding is.

The proposed buildings are shown to occupy lands that are approximately 7m +/- meters geodetic. The Flood Construction Level (**FCL**) for Coastal Flooding, as indicated in the Official Community Plan Map 4, indicates that the property would be subject 5.1m geodetic FCL (0.5% AEP, 1m RSLR, with 0.6m freeboard). Dependant on a geotechnical hazard assessment prepared by a professional engineer, the proposed development could be feasible as long as the floor systems of the proposed buildings are above 5.1m geodetic.

The applicant has not supplied a hazard assessment as part of this DP but one will be required as part of the building permit process. It is advised that the applicant pursue this work forthwith to fully understand the building requirements of the site.



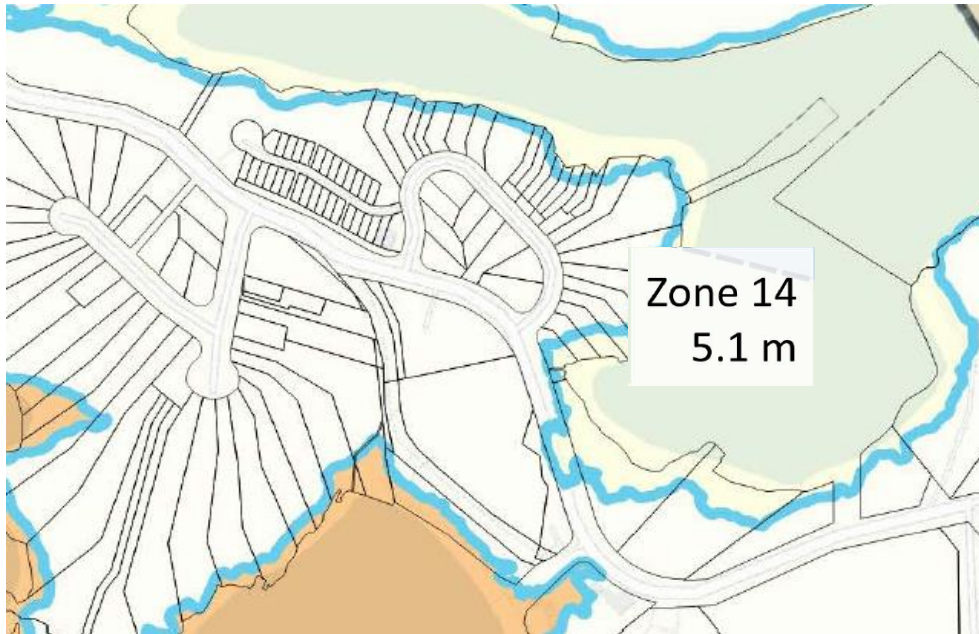


Figure 3 – Coast Flooding Map

### SERVICING

There is general service capacity fronting the property with the service connection being reviewed in detail at the building permit stage.

### FIRE SERVICES

The proposed development is directly accessible from Peninsula Road, the access road has the width to pull in a fire apparatus and the site has two fire hydrants within 50m. A detailed analysis for the fire protection of each building will be done at building permit.

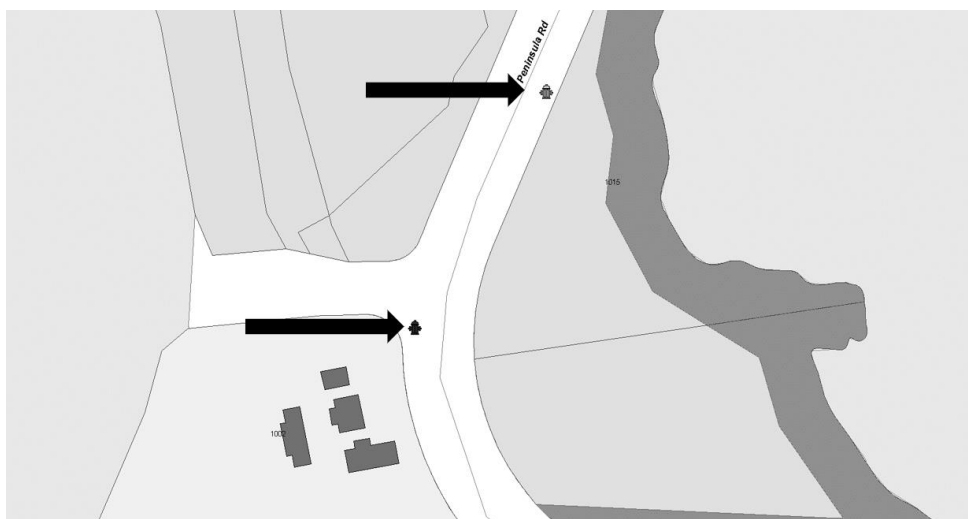


Figure 4 – Fire hydrant location

**ANALYSIS OF OPTIONS**

<b>A</b>	Approve issuance of DP22-05	<b><u>Pros</u></b>	<ul style="list-style-type: none"> <li>• The proposal is consistent with the DP guidelines.</li> </ul>
		<b><u>Cons</u></b>	<ul style="list-style-type: none"> <li>• There are no negative aspects to the approval of this application anticipated.</li> </ul>
		<b><u>Implications</u></b>	<ul style="list-style-type: none"> <li>• Approval will allow the application to proceed,</li> <li>• The district will receive a Development Cost Charges contribution for each unit, at building permit.</li> <li>• Staff time will be required to process this application.</li> </ul>
<b>B</b>	Reject the application and state which specific DP guidelines are not adequately met.	<b><u>Pros</u></b>	<ul style="list-style-type: none"> <li>• Unknown at this time</li> </ul>
		<b><u>Cons</u></b>	<ul style="list-style-type: none"> <li>• Unknown at this time</li> </ul>
		<b><u>Implications</u></b>	<ul style="list-style-type: none"> <li>• The application would not proceed.</li> <li>• The applicant would need to redesign and resubmit their application.</li> </ul>
		<b><u>Suggested Motion</u></b>	<p>THAT Council reject the application for DP22-05 at this time [and Council should state which specific DP guidelines are not adequately met by the current proposal].</p>

**POLICY OR LEGISLATIVE IMPACTS:**

- This application is compliant with the Official Community Plan and the Zoning Bylaw.

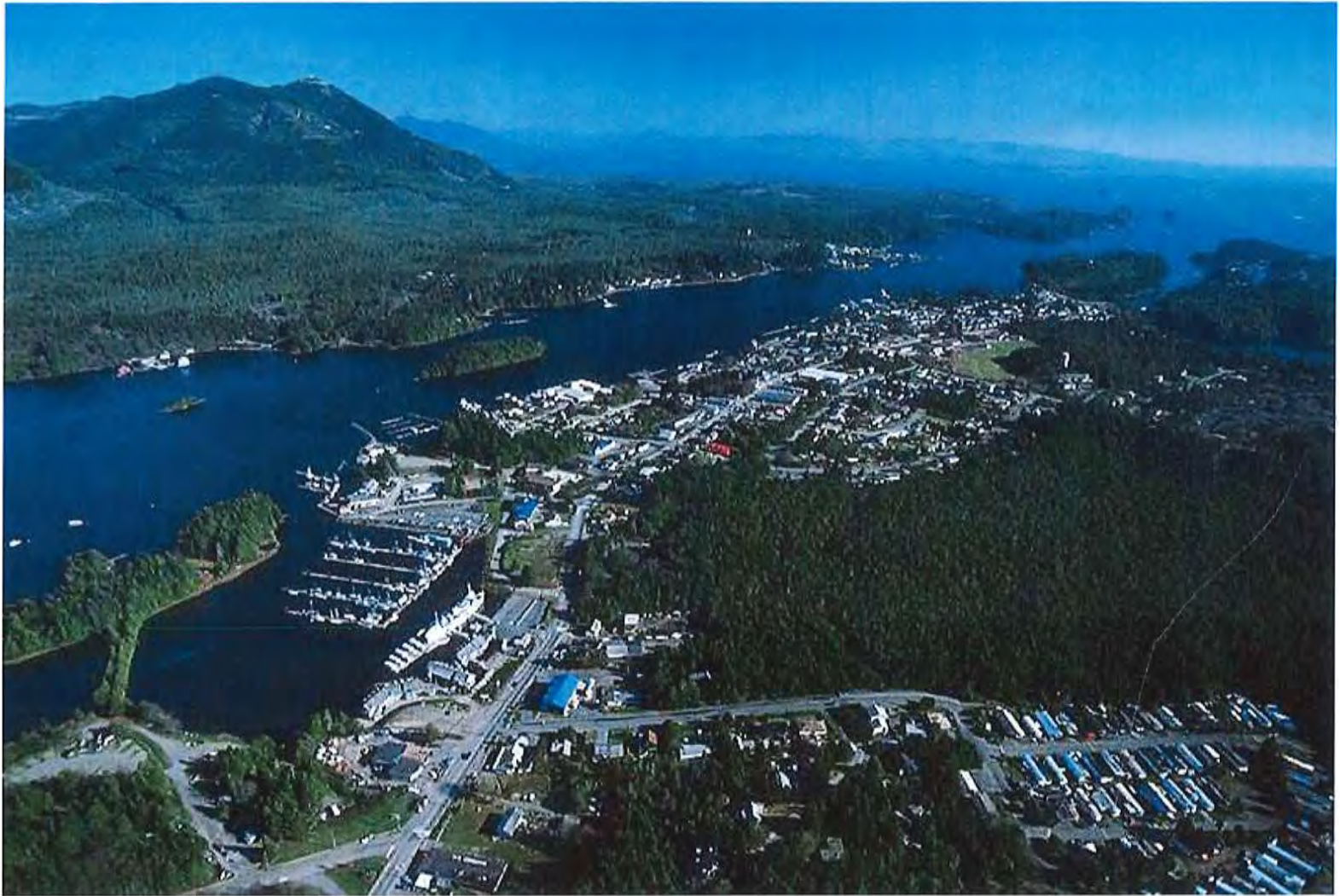
**NEXT STEPS**

- If this application is approved:
  - the attached DP will be signed by the Director of Community Planning, issued to the applicant, and then filed with the Land Title Office.
  - the applicant or subsequent owners of the subject property will be required to meet all conditions of the permit and any other conditions set out by Council for the proposed development.

**Respectfully submitted:**

JOHN TOWGOOD, MUNICIPAL PLANNER  
 BRUCE GREIG, DIRECTOR OF COMMUNITY PLANNING  
 DUANE LAWRENCE, CAO

**DELLA WEST**  
developments



## District of Ucluelet



Della West Development Application for 1003 Peninsula Rd.

May 9, 2022 – Revised Submission September 1, 2022

Development Permit for a Resort Condo Development at 1003 Peninsula Road...



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## Statement of Intent

### a) Summary

Della West Developments is submitting a development application for the lot located at 1003 Peninsula Rd. (the “Lot”) with legal description Lot 6 Plan VIP67274 Section 21 Land District 09 and PID 024-167-533. The Lot is zoned CS-5 – Tourist Commercial as defined by the District of Ucluelet Zoning Bylaw No. 1160, 2013 (Updated April 2021) and falls under the following Development Permit Areas (“DPA”s) as described in the Official Community Plan 2020 (“OCP”):

- Form and Character DPA IV – Multi-Family, Commercial & Mixed-Use
- Environmental DPA V – Terrestrial (Mature Forest)
- Hazardous Conditions DPA VIII – Steep Slopes

**Della West is proposing to build six (6) tourist accommodation units contained within three (3) duplex dwellings.**

### b) Site Background

The lot located at 1003 Peninsula Rd. is a vacant, waterfront lot on the western shore of Spring Cove. Wild Pacific Camp lies along the northern boundary of the lot, with Peninsula Rd. running to the lot’s west and Terrace Beach Resort across the road. The south and east portion of the lot include a developed portion of the Safe Harbor Trail.

The western portion of the lot is largely comprised of a ‘debris pile’, the boundary of which is denoted on the site plan in Appendix A. The debris pile consists of various fill materials (organics, gravel, sand, boulders etc.) and was transported to the site some 20+ years ago during excavation work at the Terrace Beach Resort site. Currently the debris pile flora include predominantly juvenile spruce and various shrubbery.

The eastern portion of the lot consists of mature, old growth forest.

Given that the land is vacant, short of being used as a debris dump site, the lot does not have any existing buildings or structures nor any previous works or services associated with it. The proposed development will add 3 duplex buildings with the intent of providing short term, tourist accommodation.





## c) Development Permit Area Compliance

The proposed development site falls under the following DPAs as described in the 2020 OCP:

### i. DPA IV – Form and Character – Multi-Family, Commercial & Mixed-Use

The 1003 Peninsula Rd. site is designated as a DPA for the regulation of form and character as it lies within the boundaries of the District of Ucluelet and is being developed for commercial use as a short term tourist accommodation site.

Of the thirty-two (32) general form and character guidelines (OCP pg. 112-115) the following are not applicable to this application:

F5,F7,F9,F19

All building design related guidelines (F1, F2, F3, F6, F8, F10, F11, F12, F13, F14, F15) were taken into consideration and applied to the duplex units within the application. Building materials include metal roofing that waterfalls into the siding, concrete foundations that extend to the walk-out basement exterior side walls and extensive cedar cladding and soffit on the visible front and rear facing elevations which include deep overhangs. (see Appendix F– Exterior Renderings)

Preferable rear parking as denoted by F4 is not feasible given the site elevations and preference to preserve the existing old growth forest. Parking stalls will be located along the north property line, encased in landscaping features and will all have electric vehicle (“EV”) plug in stations. (see Appendix A – Site Plan)

Style and type of signage has not yet been determined (either simple address sign or business sign); however, regardless of which is selected it will comply with F16, F17 and F18.

Exterior service/mechanical equipment (F20) as well as waste and recycling units (F29) shall be integrated and screened in the “Welcome and Services” structure located in the north-west corner of the lot. (see Appendix A – Site Plan)

Landscape planning related guidelines (F21, F22, F23, F24, F25, F26, F27, F28) are all carefully considered and integrated into the landscape plan. (See Appendix C – Landscape Plan). The landscape thought process is denoted in the “Landscape Rational” letter included below as Appendix D.

Pursuant to guideline F30, Della West engaged with the Ucluelet First Nation to conduct an archeological study of the proposed development site. No issues were raised with the development site location and the archaeological study summary letter can be found attached as Appendix G.

Guidelines F30 and F31 are observed in that the Safe Harbor trail is already complete and integrated into the subject property and only the debris pile on the site is being developed in order to retain all existing old growth forest on the site.



## c) Development Permit Area Compliance – Cont'd

### i. DPA IV – Form and Character – Multi-Family, Commercial & Mixed-Use – Cont'd

In addition to the thirty-two (32) general Form and Character requirements there are twenty-four (24) DPA IV specific requirements, of which F.IV. 4,5,6,7,8 and 16 are not applicable to this application.

Building style and siting requirements (F.IV. 1,2,3,14,15 and 21) are integrated into architectural plans through the use of natural and west coast contemporary building themes. Simple lines and natural slope integration promote a sense of inclusion in the existing topography and natural wonder of the property.

Excessive and “moonscape” parking is avoided through limited stalls (one (1) per unit (6) and three (3) guest stalls), strategic location orientation and integration native landscaping adhering to requirements F.IV. 9 and 10.

No natural features will be disturbed in the proposed development as all buildings and property improvements are isolated to a previously disturbed debris pile located on the west side of the property. All mature, old growth forests (Hemlock/Western Red Cedar) are maintained with zero shoreline impact as a result of the buildings and hardscaping. The building locations, development density, internal traffic patterns and site plans have integrated and made concessions for the natural environmental beauty of the site as well as the Safe Harbor Trail. DPA guidelines F.IV.11,12,13,17,18,19,20 and 22 are integrated in the development proposal through the holistic and environmentally sensitive approach to site planning.

As stated under F20 and F29 above, F.IV.23 and 24 are achieved through screened recycling and waste units at the “Welcome and Services” structure.

### ii. DPA V – Environmental – Terrestrial (Mature Forest)

Environmental DPAs set out to “to guide development and use land wisely to ensure that the most sensitive environmental features of a site are protected and ecological functions are not needlessly disturbed by development activities”. The subject lot of this application falls under DPA V as depicted in “Schedule E” of the OCP.

Della West commissioned an environmental assessment of the lot in August 2022 (attached as Appendix J) which built on a previous assessment commissioned in 2020.

A number of recommendations were proposed as a result of the environmental assessment which are listed as follows. Included in the listing are the mitigating undertakings of the proposed development.





## c) Development Permit Area Compliance – Cont'd

### ii. DPA V – Environmental – Terrestrial (Mature Forest) – Cont'd

- *"A survey should be completed to determine the required 25 m setback from the high water mark and it should be clearly demarcated on the ground prior to any construction works or clearing. No disturbance should occur within the foreshore setbacks and mechanical damage to the roots of mature trees must be avoided."*
  - > All construction is isolated to the debris pile and beyond the 25m setback, leaving excavation well clear of the mature forest line and root structures.
- *"A geotechnical inspection of the fill material is recommended to ensure that the material is stable and suitable for the proposed activity."*
  - > A Geotechnical inspection was performed and is included as Appendix I. The proposed development and construction approach is supported by the report.
- *"No grubbing should occur outside of the fill pile material to avoid damage to tree roots. The fill can be redistributed to create level driving and camping surface. Any fill used should be clean and free of fine, erodible material."*
  - > No grubbing is planned outside the debris pile area.
- *"Vegetation clearing should be minimized and all mature trees on the property should be retained. It is understood that this will be incorporated into the site design. Installation of utilities should avoid disturbance to mature tree roots and should be placed within the fill to the extent possible."*
  - > There is no planned development in the areas containing mature forests.
- *"Coarse woody debris (i.e., nurse logs) should be let undisturbed to the extent possible and where required, moved carefully and retained on site to mitigate risks to overwintering amphibians, including species at risk."*
  - > Coarse woody debris is located within the mature forest and will not be disturbed in the construction process.
- *"A 5 m setback from the impounded surface water at the southwestern portion of the property is recommended to retain the integrity of this feature and provide habitat for wildlife. The retention of mature trees on the south side of this feature is important to maintain microclimatic conditions. A 5m vegetation buffer on the north side will provide protection and cover as well as dissuade pedestrian traffic."*
  - > The current application maintains the prescribed 5m setback around the identified impounded surface water on the southwestern portion of the property. Furthermore all trees south of the feature are to be retained under this proposal.





## c) Development Permit Area Compliance – Cont'd

### ii. DPA V – Environmental – Terrestrial (Mature Forest) – Cont'd

- *“Any vegetation clearing should be conducted outside of the breeding bird nesting window (March 26 to August 10). If clearing within this period is unavoidable, have a Qualified Environmental Professional (QEP) conduct a pre-clearing nesting bird survey to avoid harm to nesting birds (as required by the Migratory Bird Convention Act and the Provincial Wildlife Act).”*
  - > All construction and clearing is to take place outside the nesting window.

Through the qualified environmental assessment and adherence to the recommendations contained therein, environmental guidelines E1 through E9, E.V.1 and E.V.2 have been satisfied.

### iii. DPA VIII – Hazardous Conditions – Steep Slopes

Natural Hazard Areas Protection DPAs set out to protect development from hazardous, steep slope conditions that constitute higher risk areas for erosion where tree cover is substantially altered. The subject lot of this application falls under DPA VIII as depicted in “Schedule G” of the OCP.

E.VIII.1 through E.VIII.6 outline the development guidelines in hazardous areas. The minor steep slopes identified in “Schedule G” of the OCP are a direct result of the fill that was deposited on the lot approximately 20 years ago. The issue of site erosion as a results of development is mitigated through the integration of the duplex buildings into the slope through a “walk-out” basement design. Risk of erosion between the buildings is further mitigated through strategic retaining walls. There are currently no mature trees and in turn extensive root structures located on the debris pile that would otherwise stabilize the existing slopes.

A geotechnical analysis was prepared for the development and supports the proposed development.

## d) Other Site Considerations

Given the potential issues around sight lines on the property access points, a sight distance review was commissioned to analyze the proposed driveway. Appendix H describes the review results and is in support of the property access as described in the development application site plan.

The only direct neighbor affected by the development application is WPC which lies directly north of the subject property. Discussions with WCP have taken place, including site plan discussion etc. and WCP is supportive of the proposed development.



# Conclusion Statement

Through a comprehensive and integrative approach Della West Developments has achieved a low impact and 'nature first' development proposal. In isolating the proposed building and site plan to the pre-existing debris pile, the development not only preserves all existing, mature old growth forest but also adheres to DPA guidelines as set out in the OCP.

Site density was minimized in order to retain the form and feel that characterizes Ucluelet and makes it a world class vacation destination. Each of the 6 duplex units will be a welcomed addition to the pool of vacation experiences offered on the West Coast.

Della West Developments is excited to do business in Ucluelet and be a part of this uniquely West Coast experience.





# About Della West Developments

## History

Della West Developments (the "Company") is a relatively new company and was incorporated in 2019 as 1215793 BC Ltd.; however, the founding partners have been involved in the Vancouver Island construction sector for several decades. Della West is a family based company that was established by Jay Bradbury, Georg Woernle and Heidi Woernle (nee - Bradbury).

## Core Values

Della West and its ownerships success has been built on enduring and consistent values.

### Trust

- We strongly believe in the importance of strong business relationships which can only be built on a foundation of trust.
- Jayson has been involved in the construction sector for two decades in both a construction capacity and as an electrical subcontractor and has built up valuable relationships and lifelong business connections.

### Integrity

- Della West is committed to treating all its employees and subcontractors with integrity while building quality homes that families can rely on to withstand the test of time through accredited warranty programs.

### Sustainability

- Della West is committed to building homes in a sustainable fashion that will reduce the carbon footprint but also decrease heating and cooling costs of each home.
- Not only is each home solar and charge station ready but Della West is committed to building to at least Step 3 of the BC Energy Step Code beginning with its 'under construction' development site on 11<sup>th</sup> Avenue in Port Alberni.

## Leadership Overview

**Jayson Bradbury** – Not only does Jayson act as a Director of Della West but he also oversees all Della West construction projects. Born and raised in Port Alberni ("PA"), Jayson began his construction career straight out of high school when he started building his own homes as well as spec homes while becoming a fully certified electrician. After several years as a journeyman electrician, Jayson went out on his own and founded JB Electric - a PA based electrical company. After many years of successfully honing his entrepreneurial and management skills, Jayson decided he wanted to be involved in a more expanded role in the construction industry which led to his ownership in a building supply company as well starting a development and construction company.

**Heidi Woernle**, – Heidi, also born and raised in PA, is a Director of Della West and also acts as an integral part of all backend accounting, bookkeeping and administrative functions within the Company. With a Masters degree in education and utilizing valuable interpersonal skills Heidi was a key founding partner of a building supply store prior to joining Della West. Heidi is Jayson's sister and has many years of experience working with Jayson on a professional level.

**Georg Woernle**, – Georg is Heidi's husband and Jayson's brother in law and also acts as a Director of Della West. As a CA-CPA, Georg oversees high level financing and financial matters within the Company. With a career based in business beginning with a management role at Ernst & Young LLP in their Valuations and Business Modelling Group, Georg moved back to the Island from Vancouver and consults to the local Credit Union in a risk management role. Georg was also a founding partner in Tall Tree Lumber.





## Appendices:

- A. Site Plan
- B. Topographical Map
- C. Landscape Plan
- D. Landscape Rational
- E. Floorplans and Elevations
- F. Exterior Renderings
- G. Archeological Summary
- H. Site Distance Review
- I. Geotechnical Report
- J. Environmental Assessment





TOPOGRAPHIC SURVEY OF LOTS 5 AND 6, SECTION 21, CLAYQUOT DISTRICT, PLAN VP67274.

SCALE: 1"=30'

LEGEND

Elevations are in feet and are derived from a benchmark being the King Station 1st on per fixture supplied by client. Elevation = 19.09' (5.82m)

- denotes standard iron post found.
- denotes traverse hole placed.
- denotes water valve.
- denotes fire hydrant.
- denotes drain manhole.
- denotes catch basin.
- denotes sewer manhole.
- denotes spot elevation.
- denotes top of bank.
- denotes tree location, diameter and species.

Contour Interval is 2'



<b>FOCUS</b>		
<small>Surveying - Planning - Consulting</small>		
Cornerstone Architects		
TOPOGRAPHIC SURVEY		
DATE	BY	APP'D BY
10/20/17	10/20/17	10/20/17
PROJECT NO.		10720TS1







# Appendix D

Landscape Rational



200-524 Culduthel Road  
Victoria BC V8Z 1G1  
p. 250.412.2891  
f. 250.412.2892

File No: 121.12

**District of Ucluelet**  
200 Main Street,  
Ucluelet, BC  
V0r 3A0

Attention: **Mayor & Council**

April 14, 2022

**Re: Proposed Peninsula Road Cabins**  
**Landscape Rationale**

---

The project consists of a first phase of 3 duplex cabins (6 units), located at 1002 Peninsula Road, Ucluelet. It is located on a parcel that is designated as TC – Tourist Commercial / Residential in the Ucluelet Official Community Plan (OCP), Long Range Land Use Plan Schedule 'A'. A developed campground lies to the west of the site, and the Terrace Beach Resort is across the street. The site abuts designated Parks & Open Space lands to the east, and includes lands designated as Park space on the ocean-front edge of the parcel. This Park space consists of mature forest and includes a portion of the 'Safe Harbour Trail'.

## ENVIRONMENTAL CONSIDERATIONS

The Ucluelet OCP sets out Objective 2a, "To develop and use land wisely to ensure that the most sensitive and valuable environmental features are protected, and ecological functions are not irreparably disturbed." This project meets OCP objective 2a through careful site design and a restorative planting approach.

### Siting of proposed buildings / roads:

The site has been previously used as a fill dumping site (debris pile), and a large portion of the site can be considered significantly disturbed. The proposed design sites buildings, driveways and parking areas within the footprint of the debris pile, leaving all areas of mature forest intact. The proposed design provides a minimum 5m buffer to a wet depression that is located at the toe of the fill pile. The buildings, roads and parking are also located outside of the 30m Marine Shoreline Development Permit Area as indicated in the OCP Schedule 'E'. All mature trees and areas of mature forest are intended to be retained with this proposed development.

### Proposed vegetation management approach:

The proposed design includes the planting and management of native plants on the disturbed portions of the site. The intent is to restore native forest tree and understory species to the site; this provides ecological benefits, and also creates a natural, West Coast environment that will help cabin guests feel like they are immersed in the forest. Where possible, existing native shrubs and trees growing in the debris site will be retained, and additional native plantings are proposed, as indicated on Landscape Sheet L2.01.



## Appendix D

### Landscape Rational –Cont'd

#### Site connections and features:

The Safe Harbour Trail runs to the east and along the waterfront of the proposed project. The placement of the proposed cabins and proposed plantings are designed to provide privacy and buffer between the trail and cabin users. A proposed trail connection, located so as to minimize disturbance to the mature forest and wet depression, will allow cabin guests to experience the wild beauty and breathtaking viewpoints that can be found along the trail. There are also a number of key natural and archeological features located on or proximate to the site – a very large 'Elder Tree', a large cedar, as well as a culturally Modified Tree. The proposed design keeps the footprint of all buildings, roads and parking away from these features.

In preparing this development permit application package, the design team has carefully considered the relevant Development Permit and OCP Guidelines.

If you have any questions or require further clarification, please feel free to contact our office.

Yours Truly,



Scott Murdoch

Registered Landscape Architect (RLA), R.P.Bio., CSLA



Tamara Bonnemaïson

Registered Landscape Architect (RLA), CSLA





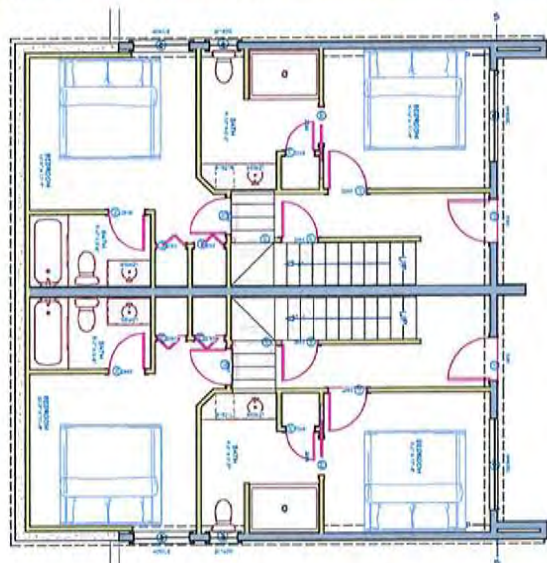
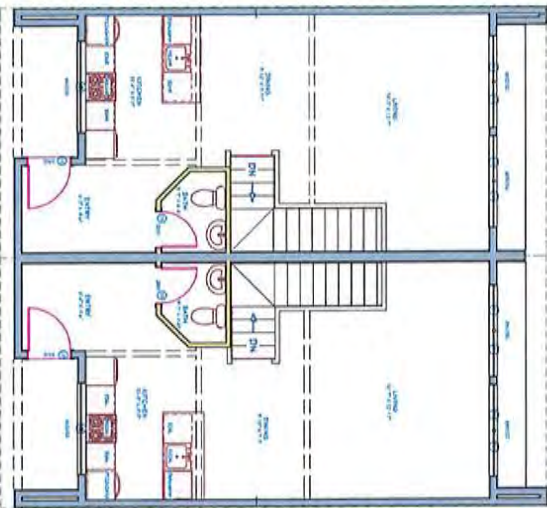
BACK ILLUSTRATION



FRONT ILLUSTRATION

# KNUDSEN HOMES AND DESIGN

DELLA WEST DEVELOPMENTS  
1003 PENINSULA ROAD



Unit A Total - 1100 SQFT  
Unit B Total - 1100 SQFT  
TOTAL OVERALL - 2200 SQFT

**WALL CONSTRUCTION TYPES**

**EXTERIOR WALL**

- (EW1) Masonry Wall (8" CMU)
- (EW2) 8" Concrete Block
- (EW3) 12" Concrete Block
- (EW4) 16" Concrete Block
- (EW5) 20" Concrete Block
- (EW6) 24" Concrete Block
- (EW7) 8" CMU with 1/2" Gypsum Board
- (EW8) 12" CMU with 1/2" Gypsum Board
- (EW9) 16" CMU with 1/2" Gypsum Board
- (EW10) 20" CMU with 1/2" Gypsum Board
- (EW11) 24" CMU with 1/2" Gypsum Board

**INTERIOR WALL**

- (IW1) 5/8" Gypsum Board
- (IW2) 5/8" Gypsum Board with Paper
- (IW3) 5/8" Gypsum Board with Paper and Joint Compound
- (IW4) 5/8" Gypsum Board with Paper, Joint Compound and Primer
- (IW5) 5/8" Gypsum Board with Paper, Joint Compound, Primer and Paint
- (IW6) 5/8" Gypsum Board with Paper, Joint Compound, Primer and Paint and Gypsum Board
- (IW7) 5/8" Gypsum Board with Paper, Joint Compound, Primer and Paint and Gypsum Board and Gypsum Board
- (IW8) 5/8" Gypsum Board with Paper, Joint Compound, Primer and Paint and Gypsum Board and Gypsum Board and Gypsum Board
- (IW9) 5/8" Gypsum Board with Paper, Joint Compound, Primer and Paint and Gypsum Board and Gypsum Board and Gypsum Board and Gypsum Board
- (IW10) 5/8" Gypsum Board with Paper, Joint Compound, Primer and Paint and Gypsum Board and Gypsum Board and Gypsum Board and Gypsum Board and Gypsum Board

**FLOOR CONSTRUCTION TYPES**

**INTERIOR FLOOR**

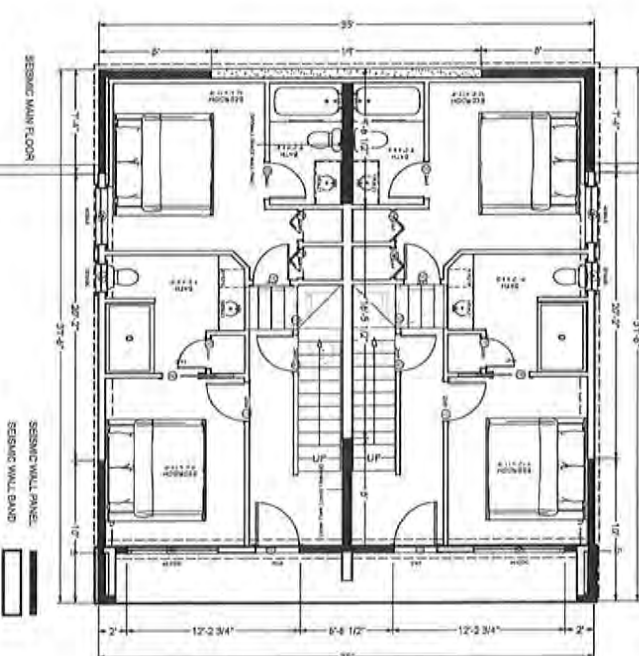
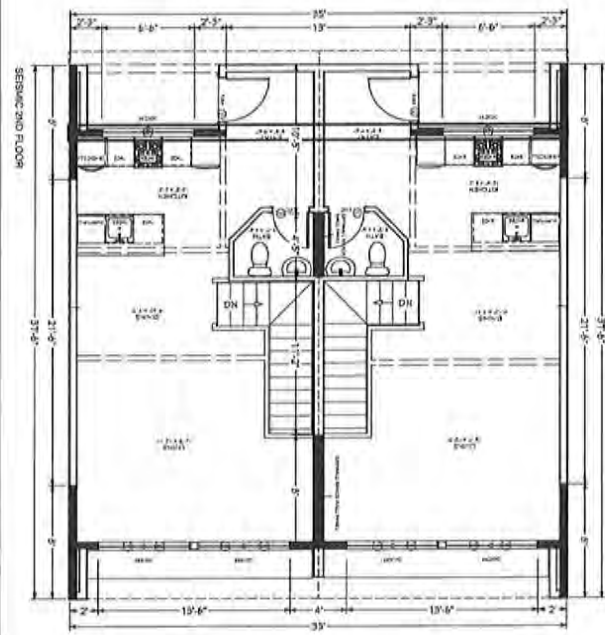
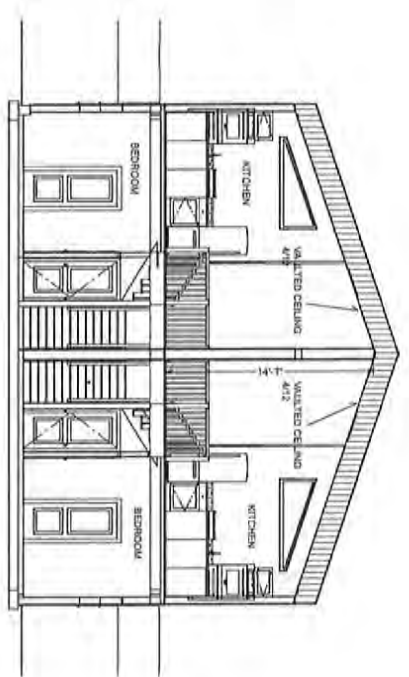
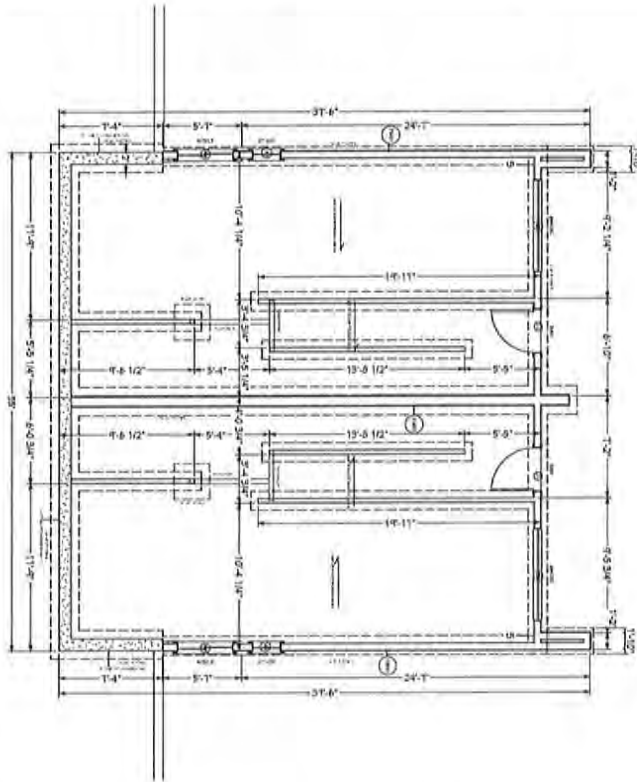
- (IF1) 3/4" Engineered Wood Product
- (IF2) 3/4" Engineered Wood Product with Underlayment
- (IF3) 3/4" Engineered Wood Product with Underlayment and Carpet
- (IF4) 3/4" Engineered Wood Product with Underlayment and Carpet and Gypsum Board
- (IF5) 3/4" Engineered Wood Product with Underlayment and Carpet and Gypsum Board and Gypsum Board
- (IF6) 3/4" Engineered Wood Product with Underlayment and Carpet and Gypsum Board and Gypsum Board and Gypsum Board and Gypsum Board
- (IF7) 3/4" Engineered Wood Product with Underlayment and Carpet and Gypsum Board and Gypsum Board and Gypsum Board and Gypsum Board and Gypsum Board
- (IF8) 3/4" Engineered Wood Product with Underlayment and Carpet and Gypsum Board and Gypsum Board and Gypsum Board and Gypsum Board and Gypsum Board and Gypsum Board
- (IF9) 3/4" Engineered Wood Product with Underlayment and Carpet and Gypsum Board and Gypsum Board and Gypsum Board and Gypsum Board and Gypsum Board and Gypsum Board and Gypsum Board
- (IF10) 3/4" Engineered Wood Product with Underlayment and Carpet and Gypsum Board and Gypsum Board and Gypsum Board and Gypsum Board and Gypsum Board and Gypsum Board and Gypsum Board and Gypsum Board

**ROOF TYPES**

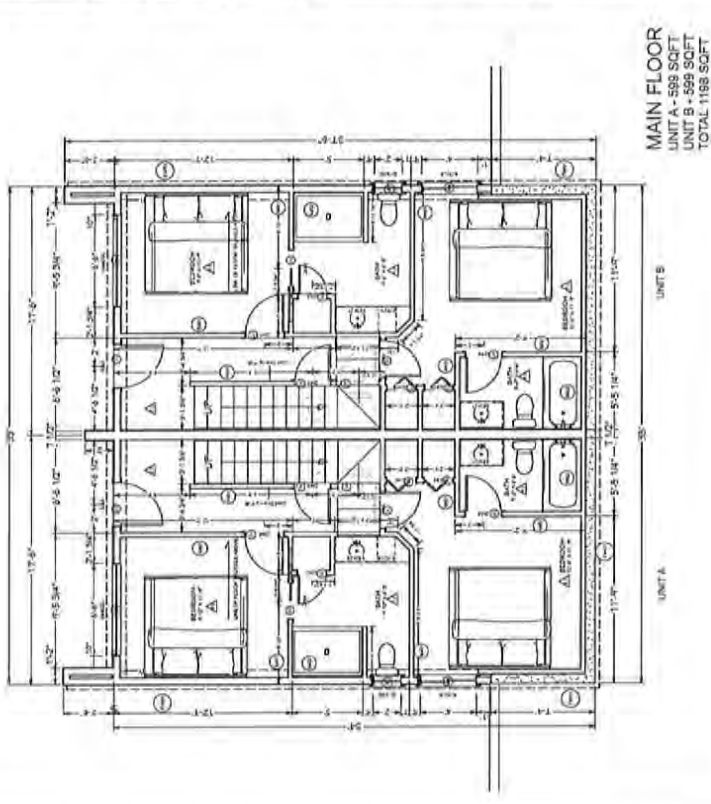
- (RT1) 2" Rigid Insulation with 1/2" Gypsum Board
- (RT2) 2" Rigid Insulation with 1/2" Gypsum Board and 1/2" Gypsum Board
- (RT3) 2" Rigid Insulation with 1/2" Gypsum Board and 1/2" Gypsum Board and 1/2" Gypsum Board
- (RT4) 2" Rigid Insulation with 1/2" Gypsum Board and 1/2" Gypsum Board and 1/2" Gypsum Board and 1/2" Gypsum Board
- (RT5) 2" Rigid Insulation with 1/2" Gypsum Board and 1/2" Gypsum Board and 1/2" Gypsum Board and 1/2" Gypsum Board and 1/2" Gypsum Board
- (RT6) 2" Rigid Insulation with 1/2" Gypsum Board and 1/2" Gypsum Board and 1/2" Gypsum Board and 1/2" Gypsum Board and 1/2" Gypsum Board and 1/2" Gypsum Board
- (RT7) 2" Rigid Insulation with 1/2" Gypsum Board and 1/2" Gypsum Board and 1/2" Gypsum Board and 1/2" Gypsum Board and 1/2" Gypsum Board and 1/2" Gypsum Board and 1/2" Gypsum Board
- (RT8) 2" Rigid Insulation with 1/2" Gypsum Board and 1/2" Gypsum Board and 1/2" Gypsum Board and 1/2" Gypsum Board and 1/2" Gypsum Board and 1/2" Gypsum Board and 1/2" Gypsum Board and 1/2" Gypsum Board
- (RT9) 2" Rigid Insulation with 1/2" Gypsum Board and 1/2" Gypsum Board and 1/2" Gypsum Board and 1/2" Gypsum Board and 1/2" Gypsum Board and 1/2" Gypsum Board and 1/2" Gypsum Board and 1/2" Gypsum Board and 1/2" Gypsum Board
- (RT10) 2" Rigid Insulation with 1/2" Gypsum Board and 1/2" Gypsum Board and 1/2" Gypsum Board and 1/2" Gypsum Board and 1/2" Gypsum Board and 1/2" Gypsum Board and 1/2" Gypsum Board and 1/2" Gypsum Board and 1/2" Gypsum Board and 1/2" Gypsum Board

**GENERAL NOTES:**

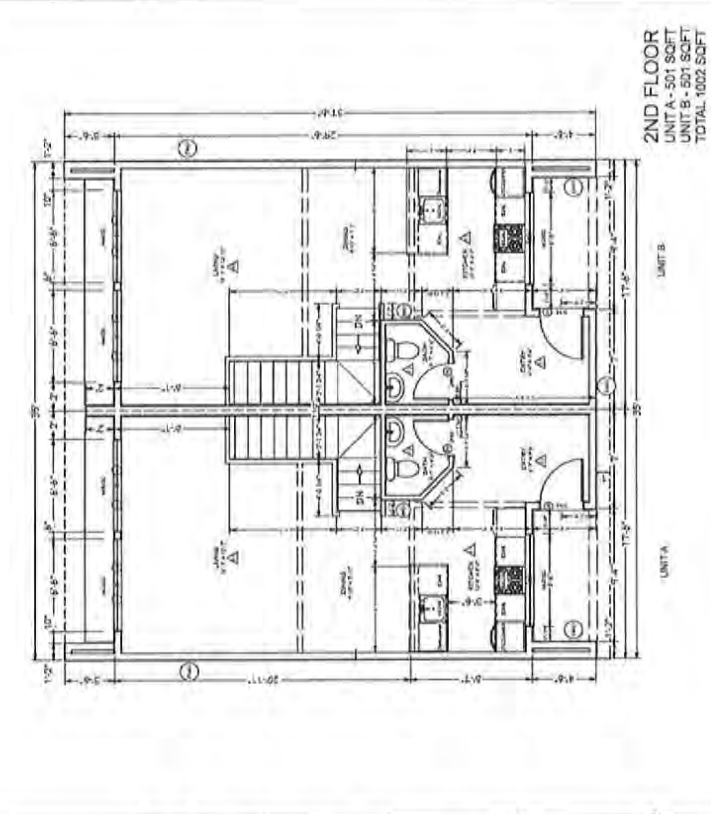
1. CONSTRUCTION MUST CONFORM TO ALL APPLICABLE BUILDING CODES.
2. IT IS THE CONTRACTOR'S RESPONSIBILITY TO REVIEW ALL DIMENSIONS AND SPECIFICATIONS PRIOR TO STARTING CONSTRUCTION.
3. ALL MANUFACTURED FLOOR AND ROOF SYSTEMS, INCLUDING BEAMS, MUST BE DESIGNED BY SUPPLIER.
4. CONTRACTOR RESPONSIBLE FOR ALL PERMITS AND INSPECTIONS.
5. ALL WINDOW AND DOOR SIZES ARE APPROXIMATE SIZES ONLY. TOUCH UP DEPENDING ON SUPPLIER. CONSULT SUPPLIER PRIOR TO FRAMING TO CONFIRM OPENING SIZES.
7. DO NOT SCALE DRAWINGS.







**MAIN FLOOR**  
UNIT A - 599 SQFT  
UNIT B - 599 SQFT  
TOTAL 1198 SQFT



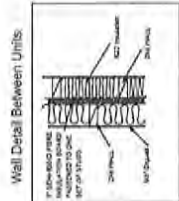
**2ND FLOOR**  
UNIT A - 501 SQFT  
UNIT B - 501 SQFT  
TOTAL 1002 SQFT

**DOOR SCHEDULE**

LABEL	FLOOR	SIZE	DESCRIPTION	COUNT
D1	MAIN	37"X80"X1.38"	Hinged-Door PMA	2
D2	MAIN	30"X80"X1.38"	Hinged-Door PMA	2
D3	MAIN	30"X80"X1.38"	Sw. Hinged-Door E212	2
D4	MAIN	24" X 80" X 1"	2 Dr. Slidg.-Casement	4
D5	MAIN	30"X80"X1.38"	Hinged-Door PMA	6
D6	MAIN	24" X 80" X 1"	BUILD TO FIT	2
D7	MAIN	37"X80"X1.38"	Hinged-Door PMA	2
D8	2ND	30"X80"X1.38"	Sw. Hinged-Door E212	2
D9	2ND	30"X80"X1.38"	Hinged-Door PMA	2

**WINDOW SCHEDULE**

LABEL	FLOOR	SIZE	DESCRIPTION	COUNT	FLOOR TO TOP
WT	MAIN	24X18	Unit Sliding	2	84"
W2	MAIN	78x48	Double Casement/Unit	2	84"
W3	MAIN	48x36	Unit Sliding	2	84"
W4	2ND	78x72	Double Casement/Unit	2	84"
W5	2ND (ENTRY)	78x33	Double Casement/Unit	2	128"
W6	2ND	78x33	Double Casement/Unit	2	128"
W7	2ND	78x60	Double Casement/Unit	2	156"



Wall Detail Between Units

**WALL CONSTRUCTION TYPES**

**EXTERIOR WALL**  
TYPICAL EXTERIOR WALL (EW): Refer to Exterior Cladding on Elevation Drawings. 2" CMU with 1" polyiso insulation. 1/2" Gypsum Board on interior side. 1/2" Gypsum Board on exterior side. 1/2" polyiso insulation. 1/2" Gypsum Board on exterior side. 1/2" Gypsum Board on interior side.

**FOUNDATION WALL (FW)**  
FOUNDATION WALL (FW): 12" CMU with 1" polyiso insulation. 1/2" Gypsum Board on interior side. 1/2" Gypsum Board on exterior side.

**INTERIOR WALL**  
TYPICAL INTERIOR WALL (IW): 1/2" Gypsum Board on both sides. 1/2" polyiso insulation. 1/2" Gypsum Board on both sides.

**CEILING**  
Ceiling: 5/8" Drywall. 1/2" polyiso insulation. 1/2" Gypsum Board on both sides.

**FLOOR**  
FLOOR: 3/4" OSB subfloor. 1/2" polyiso insulation. 1/2" Gypsum Board on both sides.

**FLOOR CONSTRUCTION TYPES**

**EXTERIOR FLOOR**  
TYPICAL EXTERIOR FLOOR (EF): 3/4" OSB subfloor. 1/2" polyiso insulation. 1/2" Gypsum Board on both sides.

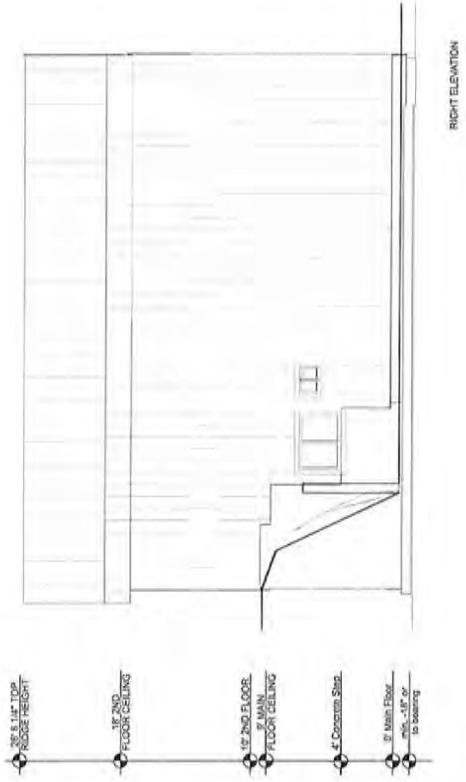
**INTERIOR FLOOR**  
TYPICAL INTERIOR FLOOR (IF): 3/4" OSB subfloor. 1/2" polyiso insulation. 1/2" Gypsum Board on both sides.

**ROOF TYPES**  
TYPICAL ROOF CONSTRUCTION (RC): 2" rigid insulation. 1/2" Gypsum Board on both sides.

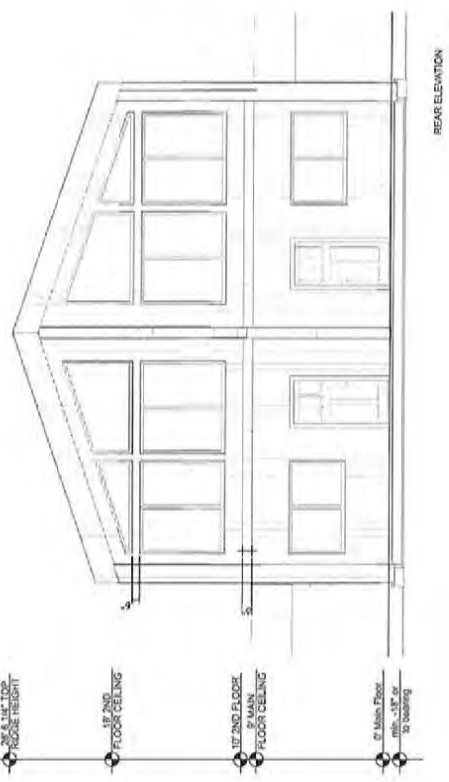
**GENERAL NOTES:**  
CONSTRUCTION MUST CONFORM TO ALL APPLICABLE BUILDING CODES.  
IT IS THE CONTRACTOR'S RESPONSIBILITY TO REVIEW ALL DIMENSIONS AND SPECIFICATIONS PRIOR TO STARTING CONSTRUCTION.  
ALL MANUFACTURED FLOOR AND ROOF SYSTEMS, INCLUDING BEAMS, MUST BE DESIGNED BY SUPPLIER.  
CONTRACTOR RESPONSIBLE FOR ALL PERMITS AND INSPECTIONS.  
ALL WINDOW AND DOOR SIZES ARE APPROXIMATE SIZES ONLY. ROUGH OPENING SIZES WILL VARY DEPENDING ON SUPPLIER. CONSULT WITH SUPPLIER PRIOR TO FRAMING TO CONFIRM OPENING SIZES.  
7. DO NOT SCALE DRAWINGS.

**CONSTRUCTION NOTES**

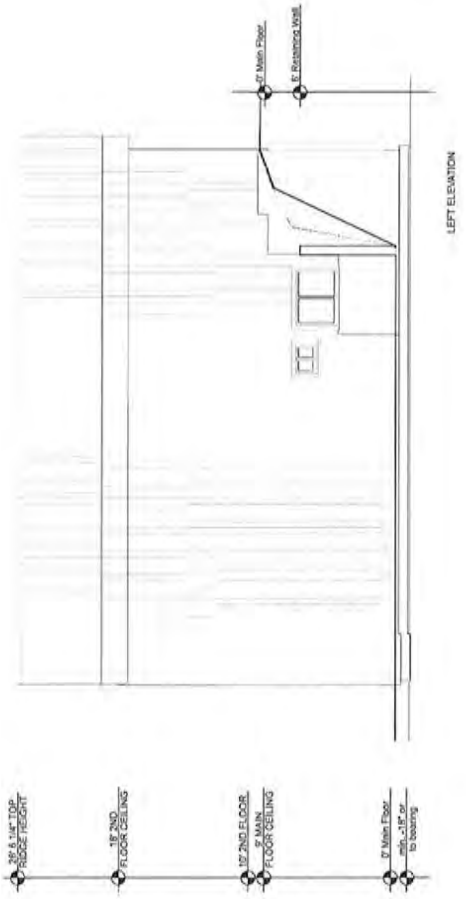
- The contractor and all subcontractors shall verify all dimensions and conditions at the site and shall notify the architect and/or engineer of any discrepancy. Cross check details and dimensions shown on the structural drawings with related requirements on the architectural, mechanical, civil, and electrical drawings.
- Floor variations in the structural slab elevations, depressed areas and all other architectural, mechanical, electrical, and civil requirements must be coordinated before the contractor proceeds with construction.
- In all cases where a conflict may occur such as between items covered by specifications and notes on the drawings.
- or between general notes and specific details, the architect and/or engineer shall be notified and feasible will interpret the intent of the contract documents.
- In no case shall working dimensions be scaled from plans, sections, or details.
- The precise dimensions and locations of all doors and window openings shall be determined from architectural plans, sections, elevations, interior elevations, window schedules, and details. Other wall and floor openings as required by mechanical, electrical, or other similar requirements shall be verified from shop drawings, equipment data, dimensions, etc., as required.
- Air Barrier to meet prescriptive BC Building Code Requirements.



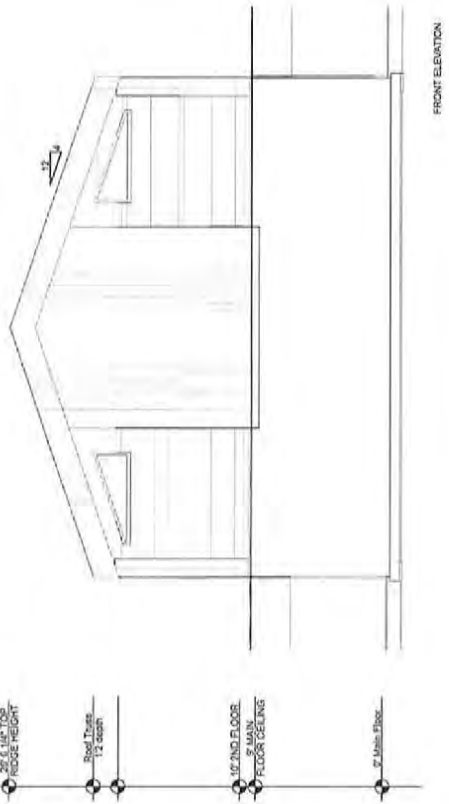
RIGHT ELEVATION



REAR ELEVATION



LEFT ELEVATION



FRONT ELEVATION

# Appendix F

## Exterior Renderings

Front View



Rear View





# Appendix G

Archeological Summary



Jay Bradbury

December 11, 2020

This letter summarizes the results of the preliminary field reconnaissance (PFR) carried out by Ucluelet First Nation (UFN) on December 1, 2020 in the area referred to as the “Debris Pile” at 1003 Peninsula Road, located on the western shores of Spring Cove, as requested by property owner Jay Bradbury. The results of this PFR are as follows:

- No visible archaeological or culturally significant features or deposits were found during the survey of the “debris pile”.

At this time, UFN does not have concerns with development occurring within the surveyed area to the maximum vertical extent of the “debris pile” material which appears to consist of entirely imported gravelly earth deposits with no cultural material present.

Further details concerning this survey will be included in the corresponding PFR report.

Sincerely,  
Carey Cunneyworth  
Manager of Culture & Heritage



# Appendix H

Sight Distance Review

May 16, 2021

5636-001/02

Via email: jtowgood@ucluelet.ca

District of Ucluelet  
PO Box 999  
Ucluelet, BC  
V0R 3A0

Attn: John Towgood, Planner

**Re: 1003 Peninsula Road  
Sight Distance Review**

Dear John:

The property owner of 1003 Peninsula Road is looking to install driveway access to Peninsula Road. The current posted speed on Peninsula Road is at this juncture is 30km/hr. The property is located on the inside corner of a ~80m radius bend (to centerline of road).

Herold Engineering has conducted a review of the sightlines for the proposed driveway location, see attached sketch SK-01. At 30km/hr. the sightlines do not encroach in to the properties directly north and south of 1003 Peninsula Road.

The proposed driveway location meets the TAC requirements for sight distance with the understanding that the area within the right-of-way would be clear of obstructions as noted on the sketch.

Yours truly,

**HEROLD ENGINEERING LIMITED**

Jeffery Van Tol, EIT  
Design Engineer

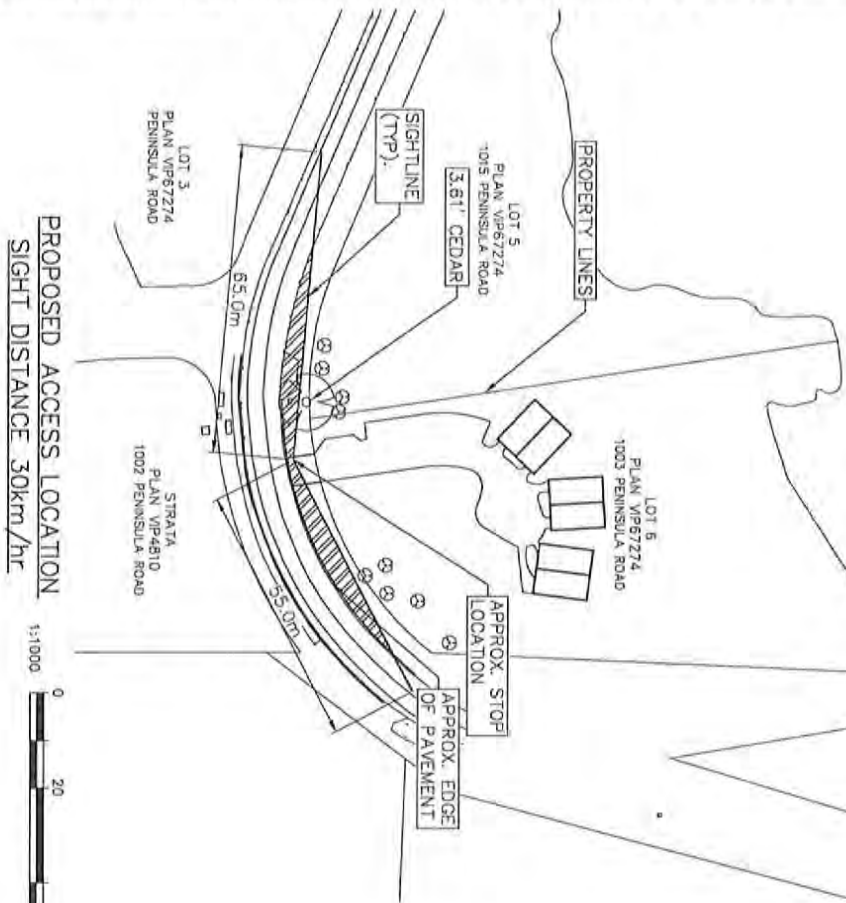
Permit to Practice No. 1000201



Patrick Ryan, P.Eng  
Principal

*Enclosure*





PROPOSED ACCESS LOCATION  
 SIGHT DISTANCE 30km/hr



AREA TO BE CLEAR OF  
 VISUAL OBSTRUCTIONS

- RADIUS OF CURVE = 80.0m TO  $Q_c$  OF ROAD
  - SPEED LIMIT = 30km/hr (EXISTING SIGNAGE IN PLACE)
  - FROM TRANSPORTATION ASSOCIATION OF CANADA (TAC) GEOMETRIC DESIGN GUIDE FOR CANADIAN ROADS (2017) CHAPTER 9 (INTERSECTIONS)
  - CASE B1 - LEFT TURN FROM STOP
  - TABLE 9.9.4 DESIGN INTERSECTION SIGHT DISTANCE - CASE B1
  - INTERSECTION SIGHT DISTANCE FOR PASSENGER CAR = 65m
  - CASE B2 - RIGHT TURN FROM STOP
  - TABLE 9.9.6 DESIGN INTERSECTION SIGHT DISTANCE - CASE B2
  - INTERSECTION SIGHT DISTANCE FOR PASSENGER CAR = 55m
- NOTE: APPROACH GRADE.  
 +4% FOR LEFT HAND TURNS  
 +2% FOR RIGHT HAND TURNS
- THERE IS NO ADJUSTMENT FACTOR NEEDED FOR THE APPROACH GRADES

ISSUES	
NO.	DATE ISSUED FOR
1	2021.10.04 DISCUSSION
2	2021.10.20 APPROVAL
3	2022.03.16 INFORMATION
4	2022.09.02 INFORMATION

**1003 PENINSULA ROAD  
 PROPOSED ACCESS SIGHT  
 DISTANCE REVIEW**

UCLUELET, BC  
 DELLA WEST

Permitted to Practice No. 1000201  
 LEE TOWN  
 2022-09-02

**HEROLD  
 ENGINEERING**

2001 Pacific Road  
 Ucluelet, BC V8L 2K9  
 Tel: 250-781-8008 Fax: 250-781-4000  
 Email: info@heroldengineering.com

SIGHT DISTANCE 30 km/hr	
DATE	REVISION
1/1/21	1/1/21
2/1/21	2/1/21
3/1/21	3/1/21
4/1/21	4/1/21

PROJECT NO. 5454-002  
 SCALE: AS SHOWN  
 SHEET NO. SK-01  
 REGION 4

DESTROY ALL DRAWINGS SHOWING PREVIOUS REVISION



# Appendix I

Geotechnical Report

## GEOPACIFIC CONSULTANTS

P (604) 439 0922  
F (604) 439 9189  
www.geopacific.ca  
1779 West 75<sup>th</sup> Ave.  
Vancouver, B.C. Canada V6P 6P2

Della West Developments  
6653 Norcross Road  
Duncan, BC  
V9L 6C3

April 21, 2022  
File: 20258  
R1

Attention: Georg Woernle

### Re: Geotechnical Investigation Report: Proposed Residential Development 1003 Peninsula Road, Ucluelet, BC

## 1 INTRODUCTION

We understand that Della West Developments intends to construct a new residential development at the above referenced address. According to the information provided, the new development will include three two-storey duplex buildings. The structures will include a walkout basement. We expect the development would include a gravel drive way and parking stalls.

We expect conventional wood framed construction above grade and reinforced concrete construction below grade. We anticipate structural loading will be relatively light. Floor loading is expected to be relatively light.

This report presents the results of a geotechnical investigation of the soil and groundwater conditions at the site and provides geotechnical recommendations for the design and construction of the proposed development. This report has been prepared exclusively for our client, for their use, the use of others on their design team, and for the Municipality of Ucluelet for use in the development and permitting process.

## 2 SITE DESCRIPTION

The subject site is located along Peninsula Road on the southern extent of Ucluelet, BC. The site is bounded by Wild Pacific Camp to the north, Peninsula Road to the west, and undeveloped old-growth forest and the wild-pacific trail to the south and east. The site is currently unimproved and rests atop an existing fill pile. The site has an approximate geodetic elevation of 11 m according to Google Earth Pro, however TP21-02 was excavated from a low spot approximately 1.8 m below the surrounding test pits.

The site location is shown on our Drawing No. 20258-01 attached to this report.

## 3 FIELD INVESTIGATION

GeoPacific completed an investigation of the soil conditions at the site on October 29, 2021 using a compact excavator supplied and operated by David Edwards. At that time, a total of three test pits were advanced to between 2.4 m and 4.6 m below existing grades. The test pits were located, supervised, and logged in the field by a member of our geotechnical staff and backfilled in accordance with provincial requirements immediately upon completion of the logging.



# Appendix I

## Geotechnical Report – Cont'd

The test pit logs are shown in Appendix A, and the approximate location of the test pits are shown on our Drawing No. 20258-01 following the text of this report.

### 4 SUBSURFACE CONDITIONS

#### 4.1 Soil Conditions

The general surficial geology of the region under investigation, according to the Geological Survey of Canada's Surficial Geology Map 2013-NVI-1-1, is situated in the Pacific Rim Complex and is described as, "mudstone-rich melange; pillow lava, tuff and chert; green, aphanitic volcanic breccia and massive flows, small diorite intrusions, grey limestone lenses".

The above description is inconsistent with the subsurface soil conditions observed during the previously noted investigations due to the site being filled with variable non-native material. A general description of the soil conditions beneath the subject site is provided below and the soil logs used are presented in the Appendix:

#### **SAND and GRAVEL (TOPSOIL)**

The sand and gravel topsoil were encountered from ground surface to a depth of 0.1 to 1.2 m below existing grades. The top soil is generally loose and contains cobbles and wood debris. This layer is dry to moist and brown to grey-brown in colour.

#### **VARIABLE FILL**

A variable fill consisting of silt clay, wood debris, cobbles and boulders, gravel, sand, and other organic material is noted to be underlying the topsoil. The lower boundary of this layer was not encountered at the maximum reach of excavator (4.6 m) in TP21-01 and TP21-03, however it extended to a depth of 2.4 m below grade at TP-21-02.

The primary component of the layer is soft to firm silt clay. The layer is moist to wet and generally dark brown to grey in colour, however there are sections of blue silt clay and black organic-rich soil.

#### **SILTY SAND AND GRAVEL (TILL)**

The variable fill was noted to be underlain by dense to very dense silty sand and gravel at TP21-02 at a depth of 2.4 m below existing grades. The material is moist and grey in colour.

#### 4.2 Groundwater Conditions

The static groundwater table was not encountered during our investigation, and is likely below development grade at the site location. However, perched water was encountered in TP21-03 at a depth of 4.1 m below existing grade. It is expected that perched groundwater will develop above the impermeable glacial till contact during the wetter winter and spring months of the year.

# Appendix I

## Geotechnical Report – Cont'd

### 5 RECOMMENDATIONS

#### 5.1 General Comments

Based on preliminary information provided, the proposed development will consist of three two-storey duplex buildings. The structures will include a walkout basement.

We expect conventional wood framed construction above grade and reinforced concrete construction below grade. We have no detailed structural information at present; however, we anticipate structural loading will be relatively light. Floor loading is expected to be relatively light. Floor loads are expected to be 20 kPa or less, however we recommend that detailed structural loading is provided to GeoPacific in advance of construction for review. The site is underlain by up to a minimum of 4.6 m of variable soils consisting of topsoil, silt, and organics.

We expect that the structure can be supported on conventional spread and strip footings. Based on the expected footing elevations, we anticipate that footings will be supported on engineered fill, the existing variable fill improved with densification, or native dense to very dense glacial till.

In order to accommodate the proposed walkout basement, we anticipate temporary excavation depths of up to 3 m below current grades. We expect that temporary excavations would be sloped where possible since it is more economical to do so. However, shoring may be required to facilitate vertical excavation in areas with space constraints. Shoring requirements will ultimately depend on the final site layout and footing elevations. Our design recommendations for temporary excavations and shoring are provided in Section 5.7.

The subsurface soils are not expected to be prone to liquefaction or other forms of ground softening under the design earthquake defined under the 2018 British Columbia Building Code.

We can confirm from a geotechnical point of view that the proposed development is feasible provided the following recommendations are implemented in the design and construction of the development.

#### 5.2 Site Preparation

As noted above, we expect the structure can be supported on conventional footings constructed on engineered fill, existing variable fill improved by densification, or native dense to very dense glacial till. Should densification of the variable fill not be desirable due to site constraints, we recommend prior to construction of foundations, grade supported slabs, and permanent structures, all materials considered to compromise the design recommendations following this section are to be removed. These materials include, but are not limited to, vegetation, organic topsoil, debris, variable fills, and loose or otherwise disturbed materials.

Any grade reinstatement beneath building foundations to be supported on the native dense to very dense glacial till should be done with lean mix concrete with a minimum compressive strength of 5 MPa at 28 days. Grade reinstatement beneath building foundations to be supported by the existing variable fill improved by densification and floor slabs can be done with “engineered fill”. All foundation subgrade areas should be blinded with lean mix concrete immediately after final trimming/grade reinstatement and review to preserve their bearing qualities.

In the context of this report, “engineered fill” is generally defined as *clean sand to sand and gravel containing silt and clay less than 5% by weight*, compacted in 305 mm loose lifts to a minimum of 98% of



# Appendix I

## Geotechnical Report – Cont'd

the ASTM D698 (Standard Proctor) maximum dry density at a moisture content that is within 2% optimum for compaction. The footing excavations should be graded to prevent ponding of water at footing locations as the subgrade may be sensitive to changes in moisture content. Any water softened subgrade must be excavated immediately prior to concrete pouring.

*The geotechnical engineer shall be contacted for the review of stripping and engineered fill placement and compaction.*

### 5.3 Ground Densification/Improvement

It is expected that some of the variable fills encountered in the building areas at the proposed site will require ground improvement in order to achieve the bearing capacities required and to reduce the post construction settlement potential. We expect that ground improvement in the form of either Rapid Impact Compaction (RIC) or Rapid Impact Pier (RIP) stone column reinforcement will be acceptable to improve bearing capacities where required. It is anticipated that ground improvement will be required for any building loads founded at shallow depths. Any soft areas identified during ground improvement should be excavated and replaced with engineered fill. We do not expect ground improvement will be required in parking areas.

GeoPacific will provide a densification plan once the structural loads and contact stresses at the foundation locations have been finalized.

*The geotechnical engineer shall be contacted for the review during stone column installation.*

### 5.4 Conventional Foundations

We anticipate that building foundations can be constructed directly on engineered fill, variable fill treated with densification, or native dense to very dense glacial till. Conventional pad and strip footings constructed on a subgrade consisting of at least 0.6 m of well compacted engineered fill or densified variable fill can be designed using a Serviceability Limit State (SLS) bearing pressure of 120 kPa. The factored resistance of the subgrade at Ultimate Limit State (ULS) can be taken as 1.5 x the SLS bearing pressure given above.

If higher bearing pressures are desired, footings may be lowered down to dense to very dense glacial till. Footings placed on dense to very dense glacial till should be designed on the basis of an SLS bearing pressure of 250 kPa. Factored Ultimate Limit State (ULS) bearing pressures, for transient loads such as those induced by wind and earthquakes, may be taken as 1.5 x the SLS bearing pressures provided above.

We estimate for foundations designed as recommended, settlement will not exceed 35 mm total and 1:500 differential.

Irrespective of the allowable bearing pressure, pad footings should not be less than 600 mm by 600 mm and strip footings should not be less than 500 mm in width. Footings should also be buried a minimum of 450 mm below the surface for frost protection.

Adjacent footings constructed at different elevations should be offset from each other by a minimum distance of twice the difference in elevation 2:1 (H:V). For example, two foundations separated by 1.0 m in elevation should be offset horizontally from each other by a minimum distance of 2.0 m as measured from the inside edges of those foundations. Foundations constructed within 2:1 (H:V) of each other may impose additional vertical and horizontal forces on lower foundations, columns, and/or foundation walls.

# Appendix I

Geotechnical Report – Cont'd

GeoPacific Consultants Ltd. should review foundation layouts which do not achieve the minimum 2:1 (H:V) offset.

*The geotechnical engineer shall be contacted for the review of all foundation subgrades prior to footing construction.*

## 5.5 Seismic Design of Foundations

We have considered the 2018 British Columbia Building Code (BCBC) design earthquake with a 2% probability of exceedance over a 50-year period, which equates to a return period of 1 in 2475 years. Accordingly, we have considered an earthquake having a peak horizontal ground acceleration on firm ground of 0.711 g for this site (Ref. Natural Resources Canada, 2015, Site Coordinates: 48.928° N and 125.537° W).

For foundation elements bearing on engineered fill or the variable fill, the site qualifies as “Site Class E”, as defined in Table 4.1.8.4.A of the 2018 BCBC.

For foundation elements bearing on dense to very dense glacial till, the site may be classified as “Site Class C”, as defined in Table 4.1.8.4.A of the 2018 BCBC.

Based on our geotechnical investigation and previously undertaken investigations in the area, the subsurface soils are not considered prone to ground liquefaction or other forms of ground softening caused by earthquake induced ground motions.

## 5.6 Slab-on-Grade

In order to provide suitable support for the slab-on-grade floors we recommend that any loose or disturbed soils should be removed prior to slab preparation. Any grading fill placed under the slab should be completed with engineered fill as noted in section 5.2.

It is recommended that the floor slab be directly underlain by a polyethylene moisture barrier in the habitable areas and contain a minimum of 150 mm of clear crushed gravel to inhibit upward migration of moisture beneath the slab. The crushed gravel fill should be compacted to a minimum of 95% of the ASTM D1557 (Modified Proctor) maximum dry density at a moisture content that is within 2% of optimum for compaction and should be hydraulically connected to the perimeter drain.

*The geotechnical engineer shall be contacted for the review of slab subgrade and under slab materials and compaction*

## 5.7 Temporary Excavations

As indicated above, we expect that temporary excavations would be sloped where possible since it is more economical to do so. We would expect that temporary slopes covered in poly-sheeting and cut no steeper than 1:1 (H:V) can be constructed in engineered fill or variable fill for all excavation works. All sloped excavations should be covered in poly-sheeting during worker entry to prevent erosion. Temporary slope requirements may be subject to change due to the present groundwater conditions during excavation.

Where slope cuts are not feasible due to space constraints, we expect that vertical cuts in the surficial soil and variable fill may be supported using lock blocks. The extent of the shored sections of the excavation



# Appendix I

## Geotechnical Report – Cont'd

will depend on the existing topography as well as the final design layout and elevations for the proposed structure and adjacent structures.

All excavations and trenches must conform to the latest Occupational Health and Safety Regulation supplied by the Worker Compensation Board of British Columbia. Any excavation in excess of 1.2 m in depth requiring worker entry must be reviewed by a professional geotechnical engineer.

*The geotechnical engineer shall be contacted for the review of shoring installation and temporary excavations. GeoPacific will prepare an excavation/shoring design upon request.*

### 5.8 Lateral Pressures on Foundation Walls

Earth pressures against the foundation walls are dependent on factors such as, available lateral restraint along the wall, surcharge loads, backfill materials, compaction of the backfill, and drainage conditions. For a sloped excavation with drained backfill conditions, assuming granular backfill with a friction angle of 35 degrees and a unit weight of 18 kN/m<sup>3</sup>, we recommend that the foundation walls be designed to resist the following lateral earth pressures:

Static:            Triangular soil pressure distribution of 5H kPa, where H is equal to the total wall height in metres.

Seismic:           Inverted triangular soil pressure distribution of 3.5H kPa, where H is equal to the total wall height in metres.

The preceding loading recommendations assume that the synthetic drainage material provides a drained cavity around the perimeter of the foundation. We expect that the perimeter drainage system will be hydraulically connected to the synthetic drainage material and sufficiently eliminate any hydrostatic pressures against the foundation walls.

Any additional surcharge loads not specifically described herein should be added to the earth pressure given. All earth pressures are based upon unfactored soil parameters and are assumed to be unfactored loads.

*The geotechnical engineer should be contacted for the review of all backfill materials and procedures.*

### 5.9 Site and Foundation Drainage

A perimeter drainage system will be required for the below grade structure to prevent the development of water pressure on the foundation walls and floor slabs.

All drains should be designed to prevent migration of fines and should be hydraulically connected to the under-slab fill to ensure that water pressures cannot develop beneath the slab. Large groundwater flows are not expected and we suggest that the perimeter drainage system be designed for groundwater inflow rates of 10-15 liters/minute, for the entire excavation.

The mechanical designer should confirm the actual groundwater flow during construction at the end of the subgrade preparation.

# Appendix I

## Geotechnical Report – Cont'd 5.10 Utility Installation

Site utilities may be required beneath the slab-on-grade. The design of these systems must consider the locations and elevations of the pad and strip foundations. The service trenches and excavations required for the installation of underground facilities must be located outside of a 1:1 (H:V) slope measured downward from the edge of adjacent foundations.

We recommend that any trenches be sloped or shored as per the latest Workers Compensation Board (WCB) regulations. We recommend that all service trenches be backfilled with clean granular material, which conforms to municipal standards, compacted to 95% Modified Proctor (ASTM D1557) dry density, with a moisture content within 2% of optimum for compaction. If for any reason the backfill becomes saturated prior to compaction, it must be removed and replaced with dry fill.

### 5.11 New On-Site Roads and Parking

Following the recommended site preparation, it is our opinion that the minimum road and parking structure specified in Table 1 is adequate to support personal automobile traffic loads.

<b><u>Material</u></b>	<b><u>Thickness (mm)</u></b>
<b>25 mm Minus Gravel Surface Course</b>	<b>150</b>
<b>19 mm Minus Crushed Gravel Base Course</b>	<b>150</b>
<b>75 mm Minus Sand and Gravel Subbase</b>	<b>300</b>

The sub-base and base course materials shall be compacted to 95% Modified Proctor Dry Density (MPDD) as determined by ASTM D1557. Compaction should occur with moisture content within 2% of optimum. Density testing should be conducted on the base and sub-base materials to confirm that they have been compacted to the required standard.

*The geotechnical engineer shall be contacted for the review of road and parking structure fill materials and compaction.*

## 6 DESIGN REVIEWS AND CONSTRUCTION INSPECTIONS

As required for Municipal "Letters of Assurance", GeoPacific Consultants Ltd. will carry out sufficient field reviews during construction to ensure that the Geotechnical Design recommendations contained within this report have been adequately communicated to the design team and to the contractors implementing the design. These field reviews are not carried out for the benefit of the contractors and therefore do not in any way effect the contractor's obligations to perform under the terms of his/her contract.

It is also important that any contractor working on the site, review this document prior to commencing their work so that they become familiar with the sensitive aspects of the works proposed. It is the responsibility of the contractor to contact GeoPacific a minimum of 48 hours in advance to notify us that a field review/inspection is required. It is also the responsibility of the developer to notify GeoPacific Consultants Ltd. when conditions or situations which are not outlined within this document, are encountered.



# Appendix I

## Geotechnical Report – Cont'd

In summary, geotechnical field reviews for the following aspects of this scheme are required:

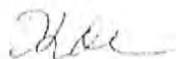
- |                        |   |
|------------------------|---|
| 1) Stripping:          | Review of stripping depth.                          |
| 2) Excavation:         | Review of excavations in excess of 1.2 m depth.     |
| 3) Shoring             | Review of shoring installation.                     |
| 4) Engineered Fill     | Review of fill materials and compaction.            |
| 5) Foundation:         | Review of foundation subgrade.                      |
| 6) Ground Improvement: | Review of ground improvement works.                 |
| 7) Slab on Grade:      | Review of under slab fill materials and compaction. |
| 8) Backfill:           | Review of placement of backfill.                    |
| 9) Road Structure:     | Review of on-site road structure.                   |

## 7 CLOSURE

This report has been prepared exclusively for our client, for the purpose of providing geotechnical recommendations for the design and construction of the proposed development described herein. This report remains the property of GeoPacifc Consultants Ltd. and unauthorized use of, or duplication of this report is prohibited.

We are pleased to be of your assistance on this project and we trust that our recommendations are sufficient for your current purposes. If you would like further details or would like clarification of any of the above, please do not hesitate to contact the undersigned.

For:  
**GeoPacifc Consultants Ltd.**



Kaali Allan, B.E.Sc., EIT  
Geotechnical Engineer in Training

Reviewed by:



APR 22 2022

Permit to Practice EGBC  
1000782

Matt Kokan, M.A.Sc., P.Eng.  
Principal

Daniel Kokan, M.Eng., P.Eng.  
Project Engineer



# Appendix I

Geotechnical Report – Cont'd



**LEGEND:**

IP21-XX - TEST PIT (IP) LOCATION

**SITE PLAN**

1:3000

\*TEST LOCATIONS ARE APPROXIMATE

REVISIONS:

- A.
- B.
- C.

FILE NO: 20258

DWG. NO: 20258-01



DATE: November 1, 2021  
 DRAWN BY: K.A. APPROVED BY: M.J.K. REVIEWED BY: D.K.  
 SCALE: AS SHOWN

UKEE KABINS DEVELOPMENT  
 1003 PENINSULA ROAD, UCLUELET, BC  
 TEST HOLE SITE PLAN



# Appendix I

Geotechnical Report – Cont'd

INFERRED PROFILE				Moisture Content (%)	DCPT (blows per foot) 10 20 30 40	Groundwater / Well	Remarks
Depth	Symbol	SOIL DESCRIPTION	Depth (m)/Elev (m)				
0		Ground Surface	0.0				
0 to 1.2		TOPSOIL Loose SAND and subangular GRAVEL with trace silt. Some wood debris and large cobbles to small boulders. Dry to moist. Dark brown.	1.2				
1.2 to 10.0		VARIABLE FILL Soft sandy SILT to SILT with some sand. Some wood debris and trace cobbles. Moist to wet. Grey to dark grey.	10.0				Several logs @ 5' Pocket of organic inclusion @ 7' 2' lense of soft blue SILT @ 5'
10.0 to 14.4		Soft to firm SILT & subangular GRAVEL to gravelly SILT with trace to some sand. Some wood debris. Dry to moist. Dark brown.	14.4				End of TP due to depth
14.4 to 28.0		End of Borehole	28.0				

# Appendix I

Geotechnical Report – Cont'd

INFERRED PROFILE				Moisture Content (%)	DCPT (blows per foot) 10 20 30 40	Groundwater / Well	Remarks
Depth	Symbol	SOIL DESCRIPTION	Depth (m)/Elev (m)				
0		Ground Surface	0.0				
0 to 0.3		<b>TOPSOIL</b> Loose SAND with trace silt and subangular gravel. Dry to moist. Brown.	0.3				
0.3 to 7.0		<b>VARIABLE FILL</b> Soft sandy SILT to SILT with trace sand and gravel. Trace to some wood debris. Moist to wet. Dark brown to grey-brown.	7.0				Few large cobbles @ 3'
7.0 to 24.0		<b>GLACIAL TILL</b> Dense to very dense silty SAND and subangular GRAVEL. Moist. Grey.	24.0				Logs laid on top of layer of till @ 7'
24.0 to 25.0		End of Borehole					

## Test Hole Log: TP21-02

File: 20258

Project: 1003 Peninsula Road

Client: Della West Developments

Site Location: 1003 Peninsula Road, Ucluelet, BC



**GEO PACIFIC**

INCORPORATED

1779 West 75th Avenue, Vancouver, BC, V5P 6P2  
Tel: 604-439-0122 Fax: 604-439-3182









651 Timberlane Rd.  
Courtenay, BC  
V9N 9K8  
250-338-1520

August 19, 2022

George Woernle  
Della West Developments  
6653 Norcross Road  
Duncan, BC  
V9L 6C3

**RE: BIOPHYSICAL OVERVIEW ASSESSMENT FOR 1003 PENINSULA RD., UCLUELET, BC**

Dear Mr. Woernle,

**Introduction**

Della West Developments (Della West) has commissioned Calidris Ecological Services Ltd. (Calidris) to conduct a biophysical assessment to support a Development Permit application to the District of Ucluelet. This assessment builds on the previous assessment conducted on the property in 2020 in order to specifically address potential environmental impacts associated with Della West's proposal.

This report has been updated from a previous assessment of the subject property conducted in the winter of 2020 for the previous owners, Alex Paquin. Mr. Paquin has provided permission to use the previous assessment to support this assessment of the property.

The following is a review of potential environmental concerns associated with Della West's proposed development of six tourist accommodation units contained within three duplex buildings and ancillary facilities (parking, landscaping, utilities, etc.). The property is zoned CS-5 (Tourist Commercial) and it is currently undeveloped. The majority of the site is covered in a large pile of waste fill that appears to have been deposited on the site at least 15 years ago (based on the age of the trees growing from this material).

Note that a landscape architecture firm (Murdoch de Greeff Inc) has been retained to provide a detailed landscape plan for the property which will be provided under a separate cover. Recommendations provided herein will be incorporated into the landscape design, as required.

**Methods**

A desktop review was conducted in 2020 to identify potential environmental sensitivities. The following publicly available information sources were reviewed:

- The BC Conservation Data Center Ecosystems Explorer (2020a);
- The BC Conservation Data Center iMap application (2020b);

These sources were re-assessed in 2022 to identify any changes to the databases. Note that the search functions of the BC Conservation Data Center Ecosystem Explorer have changed considerably. The previous search is expected to be a more comprehensive list of potential occurrences on the site, so it was adopted for this assessment.

The probability of wildlife species of management concern occurring within the property was assessed using the area-specific species lists compiled from the BC Conservation Data Center (BC CDC), species information, available federal recovery strategies, Committee on the Status of Endangered Wildlife in Canada (COSEWIC) Status Reports, and previous professional experience in the region. The known

distribution and habitat requisites of each species was reviewed and the probability of the species occurrence within the property was assessed based on the mobility of the species, the proximity of known occurrences, and by comparing habitat requisites of individual species with the habitat suitability of the property. Each listed species was then assigned a nil, low, moderate, or high probability of occurrence, based on the following definitions:

- Nil: No habitat with potential to host the species occurs within the property;
- Low probability: those species whose known range does not correspond to the property and/or those species whose habitat requisites are absent from the property area (e.g., grassland, estuary, tundra);
- Moderate probability: those species whose range and habitat requisites are present in the property area but are not known within 5 km of the property (based on the BC CDC [2018] and professional knowledge of the property); and
- High probability: those species whose range and habitat requisites are present in the property and are known to the general area surrounding the property.

Note that this analysis was completed for wildlife species only and did not include invertebrates or vegetation.

The original site reconnaissance was conducted on January 13, 2020. Jayson Bradbury of Della West accompanied Kim Poupard, R.P.Bio (author) on a site visit on August 10, 2022, to review the proposal, update the site conditions, assess potential project interactions, look for environmental sensitivities and assess the habitat for the likelihood of supporting species at risk. No specific species-level surveys were conducted.

## Results

The property is located within the Coastal Western Hemlock Very Wet Hypermaritime biogeoclimatic zone (CWHvh1). Conditions have changed little since the previous assessment in 2020. Some minor clearing has occurred on the fill pile and two of the three old wildlife trees noted in 2020 have since fallen over. Note that the Wild Pacific Trail runs along the eastern (seaward) and southern boundaries of the property.

The proposed development is entirely situated on fill (Attachment 1: Site Survey) that currently hosts regenerating Sitka spruce (*Picea sitchensis*) with scattered red alder (*Alnus rubra*). The regenerating spruce appears to be 15 to 20 years old based on its height (Attachment 3: Photo 1).

The western edge of the property (along Peninsula Road) has been cleared of trees and hosts a thicket of salmonberry (*Rubus spectabilis*; Attachment 3: Photo 2). Species diversity on the fill pile is limited and there is very little understory vegetation beneath the trees. This habitat does not contain important or critical habitat features for wildlife and is considered unlikely to support plant species at risk.

The eastern edge of the property hosts mature coniferous forest along the marine foreshore with old growth characteristics (Attachment 3: Photo 3). This area is dominated by veteran western redcedar (*Thuja plicata*) with western hemlock (*Tsuga heterophylla*) in the understory. There is a dense shrub understory dominated by salal (*Gaultheria shallon*), evergreen huckleberry (*Vaccinium ovatum*), sword fern (*Polystichum munitum*), deer fern (*Blechnum spicant*) and scattered red huckleberry (*Vaccinium parvifolium*). Step moss (*Hylocomium splendens*) is the dominant bryophyte. The conditions of this area have not notably changed since the 2020 assessment.

There were no watercourses identified within the property and therefore no fish or fish habitat. A number of small wet areas were noted within the mature forest area along the eastern portion of the property. These



are generally small water receiving areas at the base of the slope that form pooling water in the depression during wet periods. No flow or connectivity to the marine environment was noted.

Seepage around the base of the fill pile was also evident, particularly around the southern edge. There is an area of pooled water at the southwestern corner of the property that appears to have been impounded between the fill pile and the Wild Pacific Trail creating an approximately 20 m<sup>2</sup> area of lentic surface water (Attachment 3: Photo 4-5). This area does have some wetland characteristics (e.g., skunk cabbage [*Lysichiton americanus*] is present), but its extent is too limited to be considered a wetland ecosystem. This area may provide suitable habitat for breeding amphibians, including listed species that are common on the Ucluelet Peninsula (e.g., Northern Red-legged frog [*Rana aurora*]). Surface drainage is eastward into the adjacent marine bay (Spring Cove). Flow currently runs down a ditch along the Wild Pacific Trail.

The complete BC CDC query is provided in Attachment 2: Tables 1 – 3. Wildlife species at risk (excluding invertebrates) assessed to have a 'high' likelihood of occurrence within the property are provided in Table 1. Three amphibians, six birds, and two mammals were assessed to have a 'high' likelihood of occurring within the property based on the criteria above.

**Table 1. Species at Risk with a high likelihood of occurring within the property.**

Group	Scientific Name	English Name	COSEWIC	BC List	MBCA	SARA
amphibian	<i>Aneides vagrans</i>	Wandering Salamander	SC	Blue	-	1-SC
amphibian	<i>Rana aurora</i>	Northern Red-legged Frog	SC	Blue	-	1-SC
amphibian	<i>Anaxyrus boreas</i>	Western Toad	SC	Yellow	-	1-SC
bird	<i>Ardea herodias fannini</i>	Great Blue Heron, <i>fannini</i>	SC	Blue	-	1-SC
bird	<i>Contopus cooperi</i>	Olive-sided Flycatcher	SC	Blue	Y	1-T
bird	<i>Hirundo rustica</i>	Barn Swallow	T	Blue	Y	1-T
bird	<i>Patagioenas fasciata</i>	Band-tailed Pigeon	SC	Blue	Y	1-SC
bird	<i>Coccythraustes vespertinus</i>	Evening Grosbeak	SC	Yellow	Y	-
mammal	<i>Corynorhinus townsendii</i>	Townsend's Big-eared Bat	-	Blue	-	-
mammal	<i>Myotis lucifugus</i>	Little Brown Myotis	E	Yellow	-	1-E

**Notes:** BC = British Columbia, MBCA = Migratory Bird Convention Act, SARA = Species at Risk Act, 1 = Schedule 1, SC = Special Concern, Y – Yes, T = Threatened, E = Endangered

The BC CDC maintains occurrence records for species at risk. A map query of marked known occurrence records was conducted in the vicinity of the property. These are provided in Figure 1. Note that there have been no changes to these records since the previous assessment in 2020.

Given that the proposed building envelope is entirely within an area of fill material (Attachment 1), impacts to native species and ecosystems is expected to be negligible. The old growth area along the seaward edge of the site may well provide important habitat for a number of wildlife and plant species, including species at risk, but it is entirely retained in the development proposal.

Standing water in the understory, including the seepage area, may support breeding habitat for northern red-legged frog and western toad (*Anaxyrus boreas*) and upland habitat may be suitable for overwintering and migration. Wandering salamander (*Aneides vagrans*) may occupy large (>60 cm in diameter) rotten logs (BC CDC 2003) of which a number were observed on the property, all outside of the building envelope.

A host of other amphibian species (e.g., Northwestern Salamander [*Ambystoma gracile*], Western Red-backed Salamander [*Plethodon vehiculum*]) may breed in shallow pools, all of which are protected under the provincial *Wildlife Act*. No work is proposed within these areas, however.



Interactions with amphibian species can be mitigated by minimizing ground disturbance as well as disturbance to coarse woody debris, which should be retained onsite. It may be moved to facilitate construction but should be handled as little as possible.



**Figure 1: BC Conservation Data Center Marked Known Occurrence Records in the Vicinity of the Property.**

Bats are likely to use mature forest for summer roosting. The proposed building envelope, however, does not host any features suitable for summer bat roosting or winter hibernacula.

As the entire property supports vegetation cover (dense shrubs, young forest, or mature forest) and it must all be considered potential habitat for breeding birds which are protected under the federal *Migratory Bird Convention Act*. Any vegetation clearing should be conducted outside of the breeding season, which is March 26 to August 10 for forest dwelling species in the A1 nesting zone (Environment Canada 2022). If clearing works are required within this window, a pre-clearing nesting bird survey is required to avoid potential impacts to nesting species.

The previous assessment in 2020 identified three standing dead snags within the building envelope (on the fill pile). Two of these have since fallen and only one remains. The remaining snag is in poor condition and at a level of decay beyond what is likely useful to wildlife. Little in the way of recent wildlife sign (cavities) was noted on the bole.

Avian species at risk assessed with a 'high' likelihood of occurrence at the project are all migratory, save the Great Blue Heron (*Ardea Herodias fannini*). Herons are likely to occur along the foreshore within the estuary and may, on occasion, nest or perch in mature trees. The building envelope does not contain important habitat for this species. The mature forest along the foreshore may support Great Blue Heron.

The nearest known listed vegetation species is California wax-myrtle (*Morella californica*) which has been recorded immediately adjacent the property on the west side of Peninsula Rd (Figure 1). There is one



California wax-myrtle on the road edge on the north side of the proposed driveway (Attachment 3: Photo 6). This may require some pruning in order to provide safe line-of-sight to the driveway but it likely can be modified and retained.

All proposed development on the property is constrained to within the fill pile thereby retaining the majority of the ecological value on the property. No mature trees are to be felled for construction. The seepage areas along the Wild Pacific Trail will all be retained along with a 5 m wide vegetated buffer.

Local bylaw prescribes a 7.5 m setback from the ocean high water mark that must be surveyed and marked on the ground prior to any construction works. All of the proposed works are well outside of this setback.

### Recommendations

The following recommendations are provided to mitigate potential adverse environmental effects as a result of the proposed development on the property:

- A survey should be completed to determine the required 7.5 m setback from the marine high-water mark and it should be clearly demarcated on the ground prior to any construction works or clearing. No disturbance should occur within the foreshore setbacks and mechanical damage to the roots of mature trees must be avoided.
- A geotechnical inspection of the fill material is recommended to ensure that the material is stable and suitable for the proposed activity.
- No grubbing should occur outside of the fill pile material to avoid damage to tree roots outside of the development area. The fill can be redistributed to create a level surface. Any fill used should be clean and free of fine, erodible material.
- Vegetation clearing should be minimized and all mature trees on the property are to be retained. Installation of utilities should avoid disturbance to mature tree roots and should be placed within the fill, to the extent possible.
- Coarse woody debris (i.e., nurse logs) should be left undisturbed to the extent possible and where required, moved carefully and retained on site to mitigate risks to overwintering amphibians, including species at risk.
- Any vegetation clearing should be conducted outside of the breeding bird nesting window (March 26 to August 10). If clearing within this period is unavoidable, have a QEP conduct a pre-clearing nesting bird survey to avoid harm to nesting birds (as required by the *Migratory Bird Convention Act* and the *Provincial Wildlife Act*).
- A 5 m setback from the impounded surface water at the southwestern portion of the property is recommended to retain the integrity of this feature and provide habitat for wildlife. The retention of mature trees on the south side of this feature is important to maintain microclimatic conditions. A 5 m vegetation buffer on the north side will provide protection and cover as well as dissuade pedestrian traffic.

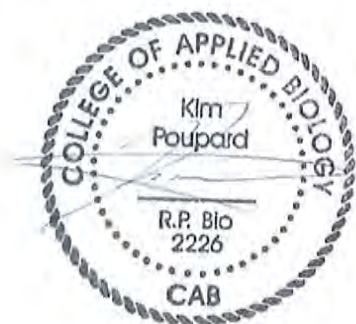
### Conclusion

In general, the proposed development for the property is expected to have minimal impacts on environmental values given that it utilizes the previously disturbed fill pile and retains all of the mature forest on the property. Valuable habitat components (such as old trees, standing water, coarse woody debris, etc.) is seen as an aesthetic asset by Della West and the project has been designed to retain these features. Adverse environmental effects are expected to be negligible, if the recommendations above are observed.

**Closure**

I trust that the above meets your current requirements, should you have any questions or comments, please don't hesitate to contact me.

Yours truly,



Kim Poupard, R.P.Bio.  
Calidris Ecological Services Ltd.

**Attachments**

Attachment 1: Site Survey  
Attachment 2: BC CDC Query Results  
Attachment 3: Site Photos

**References**

- BC CDC (Conservation Data Centre). 2003. Species Summary: *Aneides vagrans*. B.C. Minist. of Environment. Available: <http://a100.gov.bc.ca/pub/eswp/> (accessed Jan. 23, 2020).
- BC CDC (Conservation Data Centre). 2014. Species Summary: *Corynorhinus townsendii*. B.C. Minist. of Environment. Available: <http://a100.gov.bc.ca/pub/eswp/> (accessed Jan. 23, 2020).
- BC CDC (Conservation Data Centre). 2015. Species Summary: *Myotis lucifugus*. B.C. Minist. of Environment. Available: <http://a100.gov.bc.ca/pub/eswp/> (accessed Jan. 23, 2020).
- B.C. CDC (Conservation Data Centre). 2020. BC Species and Ecosystems Explorer. B.C. Minist. of Environ. Victoria, B.C. Available: <http://a100.gov.bc.ca/pub/eswp/> (accessed August 15, 2022).
- BC CDC (Conservation Data Center). 2018b. BC iMap. Available online: <http://maps.gov.bc.ca/ess/hm/cdc/> (accessed August 15, 2022).
- Environment Canada. 2018. General Nesting Periods of Migratory Birds. Available online: <https://www.canada.ca/en/environment-climate-change/services/avoiding-harm-migratory-birds/general-nesting-periods/nesting-periods.html#toc0> (accessed August 15, 2022).















**ATTACHMENT 2: BC CDC Query Results**  
**Table A1: BC Conservation Data Center Ecosystems Explorer (2020) Query Results for Wildlife**

Group	Scientific Name	English Name	COSEWIC	BC List	MBCA	SARA	Likelihood of Occurrence
Amphibian	<i>Aneides vagrans</i>	Wandering Salamander	SC (May 2014)	Blue	-	1-SC (Feb 2018)	high
Amphibian	<i>Rana aurora</i>	Northern Red-legged Frog	SC (May 2015)	Blue	-	1-SC (Jan 2005)	high
Amphibian	<i>Anaxyrus boreas</i>	Western Toad	SC (Nov 2012)	Yellow	-	1-SC (Jun 2018)	high
Bird	<i>Ardea herodias fannini</i>	Great Blue Heron, <i>fannini</i>	SC (Mar 2008)	Blue	-	1-SC (Feb 2010)	high
Bird	<i>Brachyramphus marmoratus</i>	Marbled Murrelet	T (May 2012)	Blue	Y	1-T (Jun 2003)	Moderate
Bird	<i>Butorides virescens</i>	Green Heron	-	Blue	Y	-	low
Bird	<i>Contopus cooperi</i>	Olive-sided Flycatcher	SC (May 2018)	Blue	Y	1-T (Feb 2010)	high
Bird	<i>Cypseloides niger</i>	Black Swift	E (May 2015)	Blue	Y	-	moderate
Bird	<i>Falco peregrinus pealei</i>	Peregrine Falcon, <i>pealei</i>	SC (Dec 2017)	Blue	-	1-SC (Jun 2003)	low
Bird	<i>Fratercula cirrhata</i>	Tufted Puffin	-	Blue	Y	-	low
Bird	<i>Glaucidium gnoma swarthy</i>	Northern Pygmy-owl, <i>swarthy</i>	-	Blue	-	-	low
Bird	<i>Hirundo rustica</i>	Barn Swallow	T (May 2011)	Blue	Y	1-T (Nov 2017)	high
Bird	<i>Hydroprogne caspia</i>	Caspian Tern	NAR	Blue	Y	-	low
Bird	<i>Megascops kennicottii kennicottii</i>	Western Screech-Owl, <i>kennicottii</i>	T (May 2012)	Blue	-	1-T	moderate
Bird	<i>Patagioenus fasciata</i>	Band-tailed Pigeon	SC (Nov 2008)	Blue	Y	1-SC (Feb 2011)	high
Bird	<i>Falco peregrinus</i>	Peregrine Falcon	SC (Apr 2007)	No Status	-	1-SC	low
Bird	<i>Megascops kennicottii</i>	Western Screech-Owl	T (May 2012)	No Status	-	1-T	moderate
Bird	<i>Accipiter gentilis laingi</i>	Northern Goshawk, <i>laingi</i>	T (Apr 2013)	Red	-	1-T (Jun 2003)	low
Bird	<i>Phalacrocorax penicillatus</i>	Brandt's Cormorant	-	Red	-	-	low
Bird	<i>Ptychoramphus aleuticus</i>	Cassin's Auklet	SC (Nov 2014)	Red	Y	-	low
Bird	<i>Uria aalge</i>	Common Murre	-	Red	Y	-	low
Bird	<i>Chordeiles minor</i>	Common Nighthawk	SC (May 2018)	Yellow	Y	1-T (Feb 2010)	moderate
Bird	<i>Coccythraustes vespertinus</i>	Evening Grosbeak	SC (Nov 2016)	Yellow	Y	-	high
Invertebrate	<i>Carychium occidentale</i>	Western Thorn	-	Blue	-	-	Not assessed
Invertebrate	<i>Galba bulimoides</i>	Prairie Fossaria	-	Blue	-	-	Not assessed
Invertebrate	<i>Physella virginea</i>	Sunset Physa	-	Blue	-	-	Not assessed
Invertebrate	<i>Planorbula campestris</i>	Meadow Rams-horn	-	Blue	-	-	Not assessed
Invertebrate	<i>Pristiloma johnsoni</i>	Broadwhorl Tightcoil	-	Blue	-	-	Not assessed
Invertebrate	<i>Haliotis kamtschatkana</i>	Northern Abalone	E (Apr 2009)	Red	-	1-E	Not assessed
Invertebrate	<i>Hemphillia dromedarius</i>	Dromedary Jumping-slug	T (May 2014)	Red	-	1-T (Jan 2005)	Moderate
Invertebrate	<i>Hemphillia glandulosa</i>	Warty Jumping-slug	SC (Apr 2013)	Red	-	1-SC (Jan 2005)	Moderate

Invertebrate	<i>Callophrys eryphon sheltonensis</i>	Western Pine Elf, <i>sheltonensis</i>	-	-	-	-	-	-	Not assessed
Invertebrate	<i>Danaus plexippus</i>	Monarch	E (Nov 2016)	-	-	-	1-SC (Jun 2003)	-	Not assessed
Invertebrate	<i>Pachydiplax longipennis</i>	Blue Dasher	-	-	-	-	-	-	Not assessed
Invertebrate	<i>Parnassius clodius claudianus</i>	Clodius Parnassian, <i>claudianus</i>	-	-	-	-	-	-	Not assessed
Invertebrate	<i>Parnassius smintheus olympianus</i>	Rocky Mountain Parnassian <i>olympiannus</i>	-	-	-	-	-	-	Not assessed
Invertebrate	<i>Plebejus icarioides blackmorei</i>	Boisduval's Blue, <i>blackmorei</i>	-	-	-	-	-	-	Not assessed
Invertebrate	<i>Sympetrum vicinum</i>	Autumn Meadowhawk	-	-	-	-	-	-	Not assessed
Invertebrate	<i>Callophrys johnsoni</i>	Johnson's Hairstreak	-	-	-	-	-	-	Not assessed
Invertebrate	<i>Cercyonis pegala incana</i>	Common Wood-nymph, <i>incana</i>	-	-	-	-	-	-	Not assessed
Invertebrate	<i>Euphyes vestris</i>	Dun Skipper	T (Apr 2013)	-	-	-	1-T (Jun 2003)	-	Not assessed
Invertebrate	<i>Hesperia colorado oregonia</i>	Western Branded Skipper, <i>oregonia</i>	E (Nov 2013)	-	-	-	-	-	Not assessed
Invertebrate	<i>Speyeria zerene bremnerii</i>	Zerene Fritillary, <i>bremnerii</i>	-	-	-	-	-	-	Not assessed
Invertebrate	<i>Anarta edwardsii</i>	Edwards' Beach Moth	E (Apr 2009)	-	-	-	1-E (Feb 2011)	-	Not assessed
Invertebrate	<i>Stygobromus quatsinensis</i>	Quatsino Cave Amphipod	-	-	-	-	-	-	Not assessed
mammal	<i>Cervus elaphus roosevelti</i>	Roosevelt Elk	-	-	-	-	-	-	low
mammal	<i>Corynorhinus townsendii</i>	Townsend's Big-eared Bat	-	-	-	-	-	-	high
mammal	<i>Eumetopias jubatus</i>	Steller Sea Lion	SC (Nov 2013)	-	-	-	1-SC (Jul 2005)	-	low
mammal	<i>Mustela erminea anguinae</i>	Ermine, <i>anguinae</i> subspecies	-	-	-	-	-	-	low
mammal	<i>Sorex navigator brooksi</i>	Western Water Shrew, <i>brooksi</i>	-	-	-	-	-	-	low
mammal	<i>Gulo gulo</i>	Wolverine	SC (May 2014)	-	-	-	1-SC (Jun 2018)	-	low
mammal	<i>Gulo gulo vancouverensis</i>	Wolverine, <i>vancouverensis</i>	SC (May 2014)	-	-	-	1-SC (Jun 2018)	-	low
mammal	<i>Myotis lucifugus</i>	Little Brown Myotis	E (Nov 2013)	-	-	-	1-E (Dec 2014)	-	high
fish	<i>Oncorhynchus clarkii clarkii</i>	Cutthroat Trout, <i>clarkii</i>	-	-	-	-	-	-	nil
turtle	<i>Chrysemys picta pop. 1</i>	Painted Turtle - Pacific Coast Pop.	T (Nov 2016)	-	-	-	1-E (Dec 2007)	-	low

Notes: BC = British Columbia, MBCA = Migratory Bird Convention Act, SARA = Species at Risk Act, SC = Special Concern, Y = Yes, T = Threatened, E = Endangered, NAR = Not at Risk

Search Criteria: Forest Districts: South Island Forest District (DSI) (Restricted to Red, Blue, and Legally designated species), AND MOE Regions:1- Vancouver Island (Restricted to Red, Blue, and Legally designated species), AND Regional Districts: Alberni-Clayoquot (ACRD), BC Red or Blue and/or SARA Schedule 1, AND Wildlife



Table A2: BC Conservation Data Center Ecosystems Explorer (2020) Query Results for Vegetation.

Name Category	Scientific Name	English Name	BC List	COSEWIC	SARA
Fungus	<i>Bryocaulon pseudosatoanum</i>	pacific pretzel	Blue		
Fungus	<i>Dermatocarpon intestiniforme</i>	quilted stippleback	Blue		
Fungus	<i>Erioderma sorediatum</i>	vole felt	Blue		1-E (Jun 2003)
Fungus	<i>Heterodermia sitchensis</i>	seaside centipede	Red	E (Apr 2006)	
Fungus	<i>Leioderma sorediatum</i>	felted elf	Blue		
Fungus	<i>Pannaria rubiginosa</i>	considerable gingerbread	Red		
Fungus	<i>Parmotrema crinitum</i>	snuff ruffle	Blue		
Nonvascular Plant	<i>Pohlia pacifica</i>		Red		
Nonvascular Plant	<i>Dicranodontium asperulum</i>		Blue		
Nonvascular Plant	<i>Ditrichum schimperi</i>		Blue		
Nonvascular Plant	<i>Diphyscium foliosum</i>		Blue		
Nonvascular Plant	<i>Platyhypnidium riparioides</i>		Blue		
Nonvascular Plant	<i>Orthotrichum rivulare</i>		Blue		
Nonvascular Plant	<i>Sphagnum quinquefarium</i>		Blue		
Vascular Plant	<i>Glehnia littoralis</i> ssp. <i>leiocarpa</i>	American glehnia	Blue		
Vascular Plant	<i>Bidens amplissima</i>	Vancouver island beggarticks	Blue	SC (Nov 2001)	1-SC (Jun 2003)
Vascular Plant	<i>Erigeron philadelphicus</i> var. <i>glaber</i>	salt marsh Philadelphia daisy	Red		
Vascular Plant	<i>Lasthenia maritima</i>	hairy goldfields	Blue		
Vascular Plant	<i>Psilocarphus elatior</i>	tall woolly-heads	Red	E (May 2018)	1-E (Jun 2003)
Vascular Plant	<i>Sericocarpus rigidus</i>	white-top aster	Blue	SC (Apr 2009)	1-SC (Jun 2003)
Vascular Plant	<i>Githopsis specularioides</i>	common bluecup	Blue		
Vascular Plant	<i>Montia chamissoi</i>	Chamisso's montia	Blue		
Vascular Plant	<i>Lathyrus littoralis</i>	silky beach pea	Red	T (Apr 2013)	
Vascular Plant	<i>Oxalis oregana</i>	redwood sorrel	Blue		



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Vascular Plant	<i>Sidalcea hendersonii</i>	Henderson's checker-mallow	Blue	
Vascular Plant	<i>Morella californica</i>	California wax-myrtle	Blue	
Vascular Plant	<i>Corydalis scouleri</i>	Scouler's corydalis	Yellow	NAR (Nov 2006)
Vascular Plant	<i>Meconella oregana</i>	white meconella	Red	E (May 2005)
Vascular Plant	<i>Polygonum paronychia</i>	black knotweed	Blue	1-E (Aug 2006)
Vascular Plant	<i>Anemone drummondii</i> var. <i>drummondii</i>	alpine anemone	Blue	
Vascular Plant	<i>Mitellastrum caulescens</i>	leafy mitrewort	Blue	
Vascular Plant	<i>Rubus lasiococcus</i>	dwarf bramble	Blue	
Vascular Plant	<i>Castilleja ambigua</i> var. <i>ambigua</i>	estuarine paintbrush	Blue	
Vascular Plant	<i>Erythranthe dentata</i>	tooth-leaved monkey-flower	Blue	
Vascular Plant	<i>Fraxinus latifolia</i>	Oregon ash	Red	
Vascular Plant	<i>Calystegia soldanella</i>	beach bindweed	Blue	
Vascular Plant	<i>Viola howellii</i>	Howell's violet	Red	
Vascular Plant	<i>Asplenium adulerinum</i>	corrupt spleenwort	Blue	
Vascular Plant	<i>Bolboschoenus fluviatilis</i>	river bulrush	Blue	
Vascular Plant	<i>Festuca rubra</i> ssp. <i>mediana</i>	dwarf red fescue	Blue	
Vascular Plant	<i>Allium amplexans</i>	slimleaf onion	Blue	
Vascular Plant	<i>Prosartes smithii</i>	Smith's fairybells	Blue	

**Notes:** BC = British Columbia, MBCA = Migratory Bird Convention Act, SARA = Species at Risk Act, SC = Special Concern, Y = Yes, T = Threatened, E = Endangered, NAR = Not at Risk

**Search Criteria:** Forest Districts: South Island Forest District (DSI) (Restricted to Red, Blue, and Legally designated species), AND MOE Regions: 1 - Vancouver Island (Restricted to Red, Blue, and Legally designated species), AND Regional Districts: Alberni-Clayoquot (ACRD), BC Red or Blue and/or SARA Schedule 1, AND Plants

Table A3: BC Conservation Data Center Ecosystems Explorer (2020) Query Results for Ecosystems.

Scientific Name	English Name	BC List	Ecosystem Group
<i>Abies amabilis</i> - <i>Picea sitchensis</i> / <i>Oplomanax horridus</i>	amabilis fir - Sitka spruce / devil's club	Blue	Terrestrial Realm - Forest: Coniferous - moist/wet
<i>Abies amabilis</i> - <i>Thuja plicata</i> / <i>Rubus spectabilis</i> Moist Maritime 1	amabilis fir - western redcedar / salmonberry Moist Maritime 1	Red	Terrestrial Realm - Forest: Coniferous - moist/wet
<i>Abies amabilis</i> - <i>Thuja plicata</i> / <i>Rubus spectabilis</i> Moist Maritime 2	amabilis fir - western redcedar / salmonberry Moist Maritime 2	Blue	Terrestrial Realm - Forest: Coniferous - moist/wet
<i>Abies amabilis</i> - <i>Thuja plicata</i> / <i>Rubus spectabilis</i> Very Wet Maritime	amabilis fir - western redcedar / salmonberry Very Wet Maritime	Blue	Terrestrial Realm - Forest: Coniferous - moist/wet
<i>Abies amabilis</i> - <i>Thuja plicata</i> / <i>Tiarella trifoliata</i> Moist Maritime 1	amabilis fir - western redcedar / three-leaved foamflower Moist Maritime 1	Red	Terrestrial Realm - Forest: Coniferous - mesic
<i>Abies amabilis</i> - <i>Thuja plicata</i> / <i>Tiarella trifoliata</i> Very Wet Maritime	amabilis fir - western redcedar / three-leaved foamflower Very Wet Maritime	Yellow	Terrestrial Realm - Forest: Coniferous - mesic
<i>Abronia latifolia</i>	yellow sand-verbena	Blue	
<i>Abronia umbellata</i> var. <i>breviflora</i>	pink sand-verbena	Red	
<i>Alnus rubra</i> / <i>Rubus spectabilis</i> / <i>Equisetum arvense</i>	red alder / salmonberry / common horsetail	Blue	Terrestrial Realm - Flood Group (F): Low Bench Flood Class (Fl)
<i>Carex lasiocarpa</i> - <i>Rhynchospora alba</i>	slender sedge - white beak-rush	Red	Wetland Realm - Peatland Group: Fen Wetland Class (WF)
<i>Carex lyngbyei</i> Herbaceous Vegetation	Lyngbye's sedge herbaceous vegetation	Red	Estuarine Realm: Estuarine Marsh Class (Em)
<i>Carex macrocephala</i> Herbaceous Vegetation	large-headed sedge Herbaceous Vegetation	Red	Terrestrial Realm - Beach Group (B): Beachland Class (Bb)
<i>Carex sitchensis</i> - <i>Oenanthe sarmentosa</i>	Sitka sedge - Pacific water-parsley	Blue	Wetland Realm - Mineral Wetland Group: Marsh Wetland Class (Wm)
<i>Carex sitchensis</i> / <i>Sphagnum</i> spp.	Sitka sedge / peat-mosses	Red	Wetland Realm - Peatland Group: Fen Wetland Class (WF)
<i>Deschampsia cespitosa</i> ssp. <i>beringensis</i> - <i>Symphyotrichum subspicatum</i>	tufted hairgrass - Douglas' aster	Red	Estuarine Realm: Estuarine Meadow Class (Ed)
<i>Dulichium arundinaceum</i> Herbaceous Vegetation	three-way sedge	Red	Wetland Realm - Mineral Wetland Group: Marsh Wetland Class (Wm)
<i>Eriophorum angustifolium</i> / <i>Sphagnum</i> spp.	narrow-leaved cotton-grass / peat-mosses	Yellow	Wetland Realm - Peatland Group: Fen Wetland Class (WF)
<i>Leymus mollis</i> ssp. <i>mollis</i> - <i>Lathyrus japonicus</i>	dune wildrye - beach pea	Red	Terrestrial Realm - Beach Group (B): Beachland Class (Bb)



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<i>Myrica gale / Carex sitchensis</i>	sweet gale / Sitka sedge	Red	Wetland Realm - Peatland Group: Fen Wetland Class (Wf)
<i>Picea sitchensis / Calamagrostis nutkaensis</i>	Sitka spruce / Pacific reedgrass	Blue	Terrestrial Realm - Forest: Coniferous - dry
<i>Picea sitchensis / Carex obnupta</i>	Sitka spruce / slough sedge	Blue	Terrestrial Realm - Forest: Coniferous - moist/wet
<i>Picea sitchensis / Eurhynchium oregonum</i>	Sitka spruce / Oregon beaked-moss	Blue	Terrestrial Realm - Forest: Coniferous - dry
<i>Picea sitchensis / Gaultheria shallon</i>	Sitka spruce / salal	Blue	Terrestrial Realm - Forest: Coniferous - dry
<i>Picea sitchensis / Maianthemum dilatatum</i> Very Wet Hypermaritime 1	Sitka spruce / false lily-of-the-valley Very Wet Hypermaritime 1	Red	Terrestrial Realm - Flood Group (F): High bench Flood
<i>Picea sitchensis / Malus fusca</i>	Sitka spruce / Pacific crab apple	Blue	Terrestrial Realm - Forest: Coniferous - moist/wet
<i>Picea sitchensis / Polystichum munitum</i>	Sitka spruce / sword fern	Blue	Terrestrial Realm - Forest: Coniferous - moist/wet
<i>Picea sitchensis / Rubus spectabilis</i> Very Dry Maritime	Sitka spruce / salmonberry Very Dry Maritime	Red	Terrestrial Realm - Flood Group (F): High bench Flood; Terrestrial Realm - Forest: Mixed - moist/wet
<i>Picea sitchensis / Rubus spectabilis</i> Very Wet Maritime	Sitka spruce / salmonberry Very Wet Maritime	Red	Terrestrial Realm - Flood Group (F): High bench Flood; Terrestrial Realm - Forest: Coniferous - moist/wet
<i>Picea sitchensis / Trisetum canescens</i>	Sitka spruce / tall trisetum	Red	Terrestrial Realm - Flood Group (F): Middle Bench Flood Class (Fm); Terrestrial Realm - Forest: Coniferous - moist/wet
<i>Pinus contorta / Sphagnum</i> spp. Very Dry Maritime	lodgepole pine / peat-mosses Very Dry Maritime	Blue	Wetland Realm - Peatland Group: Bog Wetland Class (Wb)
<i>Poa macrantha</i> Herbaceous Vegetation	dune bluegrass Herbaceous Vegetation	Red	Terrestrial Realm - Beach Group (B): Beachland Class (Bb)
<i>Populus trichocarpa - Alnus rubra / Rubus spectabilis</i>	black cottonwood - red alder / salmonberry	Blue	Terrestrial Realm - Flood Group (F): Middle Bench Flood Class (Fm); Terrestrial Realm - Forest: Broadleaf - moist/wet
<i>Populus trichocarpa / Salix sitchensis</i>	black cottonwood / Sitka willow	Blue	Terrestrial Realm - Flood Group (F): Middle Bench Flood Class (Fm); Terrestrial Realm - Forest: Broadleaf - moist/wet
<i>Pseudotsuga menziesii - Pinus contorta / Cladina</i> spp.	Douglas-fir - lodgepole pine / reindeer lichens	Red	Terrestrial Realm - Forest: Coniferous - dry
<i>Pseudotsuga menziesii - Tsuga heterophylla / Gaultheria shallon</i> Dry Maritime	Douglas-fir - western hemlock / salal Dry Maritime	Red	Terrestrial Realm - Forest: Coniferous - dry

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<i>Pseudotsuga menziesii</i> - <i>Tsuga heterophylla</i> / <i>Gaultheria shallon</i> Moist Maritime	Douglas-fir - western hemlock / salal Moist Maritime	Red	Terrestrial Realm - Forest: Coniferous - dry
<i>Pseudotsuga menziesii</i> / <i>Polystichum munitum</i>	Douglas-fir / sword fern	Red	Terrestrial Realm - Forest: Coniferous - dry
<i>Rhododendron groenlandicum</i> / <i>Kalmia microphylla</i> / <i>Sphagnum</i> spp.	Labrador-tea / western bog-laurel / peat-mosses	Blue	Wetland Realm - Peatland Group: Bog Wetland Class (Wb)
<i>Ruppia maritima</i> Herbaceous Vegetation	beaked ditch-grass Herbaceous Vegetation	Red	Estuarine Realm: Estuarine Marsh Class (Em)
<i>Salix sitchensis</i> - <i>Salix lasiandra</i> var. <i>lasiandra</i> / <i>Lysichiton americanus</i>	Sitka willow - Pacific willow / skunk cabbage	Red	Wetland Realm - Mineral Wetland Group: Swamp Wetland Class (Ws)
<i>Salix sitchensis</i> / <i>Carex sitchensis</i>	Sitka willow / Sitka sedge	Blue	Wetland Realm - Mineral Wetland Group: Swamp Wetland Class (Ws)
<i>Schoenoplectus acutus</i> Deep Marsh	hard-stemmed bulrush Deep Marsh	Blue	Wetland Realm - Mineral Wetland Group: Marsh Wetland Class (Wm)
<i>Selaginella wallacei</i> / <i>Cladonia</i> spp.	Wallace's selaginella / reindeer lichens	Blue	Terrestrial Realm - Grassland Group (G): Grassland Class (Gg); Terrestrial Realm - Rock Group (R): Rock Outcrop Class (Ro)
<i>Thuja plicata</i> - <i>Picea sitchensis</i> / <i>Lysichiton americanus</i>	western redcedar - Sitka spruce / skunk cabbage	Blue	Terrestrial Realm - Forest: Coniferous - moist/wet; Wetland Realm - Mineral Wetland Group: Swamp Wetland Class (Ws)
<i>Thuja plicata</i> - <i>Picea sitchensis</i> / <i>Oplapanax horridus</i> Very Wet Hypermaritime 1	western redcedar - Sitka spruce / devil's club Very Wet Hypermaritime 1	Blue	Terrestrial Realm - Forest: Coniferous - moist/wet
<i>Thuja plicata</i> - <i>Picea sitchensis</i> / <i>Polystichum munitum</i>	western redcedar - Sitka spruce / sword fern	Blue	Terrestrial Realm - Forest: Coniferous - dry; Terrestrial Realm - Forest: Coniferous - mesic
<i>Thuja plicata</i> - <i>Tsuga heterophylla</i> / <i>Polystichum munitum</i>	western redcedar - western hemlock / sword fern	Blue	Terrestrial Realm - Forest: Coniferous - dry
<i>Thuja plicata</i> - <i>Xanthocyparis nootkatensis</i> / <i>Coptis asplenifolia</i> Moist Maritime 2	western redcedar - yellow-cedar / spleenwort-leaved goldthread Moist Maritime 2	Red	Terrestrial Realm - Forest: Coniferous - moist/wet
<i>Thuja plicata</i> / <i>Carex obnupta</i>	western redcedar / slough sedge	Red	Terrestrial Realm - Forest: Coniferous - moist/wet; Wetland Realm - Mineral Wetland Group: Swamp Wetland Class (Ws)
<i>Thuja plicata</i> / <i>Lonicera involucrata</i>	western redcedar / black twinberry	Red	Terrestrial Realm - Forest: Coniferous - moist/wet
<i>Thuja plicata</i> / <i>Polystichum munitum</i> - <i>Lysichiton americanus</i>	western redcedar / sword fern - skunk cabbage	Blue	Terrestrial Realm - Forest: Coniferous - moist/wet; Wetland Realm - Mineral Wetland Group: Swamp Wetland Class (Ws)
<i>Thuja plicata</i> / <i>Polystichum munitum</i> Very Dry Maritime	western redcedar / sword fern Very Dry Maritime	Blue	Terrestrial Realm - Forest: Coniferous - mesic



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<i>Thuja plicata / Rubus spectabilis</i>	western redcedar / salmonberry	Red	Terrestrial Realm - Forest: Coniferous - moist/wet
<i>Thuja plicata / Tiarella trifoliata</i> Very Dry Maritime	western redcedar / three-leaved foamflower	Blue	Terrestrial Realm - Forest: Coniferous - moist/wet
<i>Tsuga heterophylla - Abies amabilis / Rhytidloopsis robusta</i>	western hemlock - amabilis fir / pipecleaner moss	Red	Terrestrial Realm - Forest: Coniferous - mesic
<i>Tsuga heterophylla - Abies amabilis / Struthiopteris spicant</i>	western hemlock - amabilis fir / deer fern	Blue	Terrestrial Realm - Forest: Coniferous - moist/wet
<i>Tsuga heterophylla - Abies amabilis / Struthiopteris spicant</i> Moist Maritime	western hemlock - amabilis fir / deer fern	Red	Terrestrial Realm - Forest: Coniferous - moist/wet
<i>Tsuga heterophylla - Picea sitchensis / Rhytidadelphus loreus</i>	western hemlock - Sitka spruce / lanky moss	Blue	Terrestrial Realm - Forest: Coniferous - mesic
<i>Tsuga heterophylla - Pseudotsuga menziesii / Eurhynchium oregonum</i>	western hemlock - Douglas-fir / Oregon beaked-moss	Red	Terrestrial Realm - Forest: Coniferous - mesic
<i>Tsuga heterophylla - Thuja plicata / Gaultheria shallon</i> Moist Maritime 1	western hemlock - western redcedar / salal	Red	Terrestrial Realm - Forest: Coniferous - dry
<i>Tsuga heterophylla - Thuja plicata / Gaultheria shallon</i> Moist Maritime 2	western hemlock - western redcedar / salal	Blue	Terrestrial Realm - Forest: Coniferous - dry
<i>Tsuga heterophylla - Thuja plicata / Gaultheria shallon</i> Very Wet Maritime	western hemlock - western redcedar / salal	Blue	Terrestrial Realm - Forest: Coniferous - dry
<i>Tsuga heterophylla - Thuja plicata / Struthiopteris spicant</i>	western hemlock - western redcedar / deer fern	Red	Terrestrial Realm - Forest: Coniferous - moist/wet
<i>Typha latifolia</i> Marsh	common cattail Marsh	Blue	Wetland Realm - Mineral Wetland Group: Marsh Wetland Class (Wm)

**Notes:** BC = British Columbia, MBCA = Migratory Bird Convention Act, SARA = Species at Risk Act, SC = Special Concern, Y = Yes, T = Threatened, E = Endangered, NAR = Not at Risk

**Search Criteria:** Forest Districts: South Island Forest District (DSI) (Restricted to Red, Blue, and Legally designated species), AND MOE Regions:1- Vancouver Island (Restricted to Red, Blue, and Legally designated species), AND Regional Districts: Alberni-Clayoquot (ACRD), BC Red or Blue and/or SARA Schedule 1, AND Ecosystems



## ATTACHMENT 3: Photoplates



*Photo 1. Current conditions of the proposed construction area. Note some clearing has occurred through the dense Sitka spruce on the fill pile. The clearing appears to have been grass-seeded with good regeneration. Photo taken August 10, 2022.*



*Photo 2. Dense cover of salmonberry along the western edge of the property, note Peninsula Road in the foreground and the regenerating Sitka spruce on the fill pile in the background. Photo taken January 13, 2020.*





*Photo 3. Showing mature forest habitat along the eastern edge of the property which hosts mature forests with some old growth characteristics. Note that conditions in this area have not changed much since the previous assessment. Photo taken January 13, 2020*



*Photo 4. Impounded wet depression between the edge of the fill pile (at left) and the Wild Pacific Trail (at right). This area does have some wetland characteristics but is too small to warrant classification as a wetland.*





*Photo 5. Wet depression shown in Photo 4 as viewed from the fill pile. A buffer of 5 m is recommended to be retained along the edge of the fill pile on the north side of the depression to protect this feature. No development is proposed on the south side where mature trees provide shading and regulate micro-climatic conditions. Photo taken Aug. 10, 2022.*



*Photo 6. California wax-myrtle along Peninsula Road to the south of where the driveway is proposed. This shrub can likely be pruned to improve site lines for vehicle traffic and maintained. Photo taken Aug. 10, 2022.*





## DEVELOPMENT PERMIT DP22-05

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Pursuant to section 488 of the Local Government Act, R.S.B.C 2015 C.1 as amended:

1. This Development Permit is issued to:

*1215793 BC LTD, 6653 NORCROSS RD, DUNCAN BC V9L 6C3*

(The “Permittee”)

2. This Development Permit applies to, and only to, those lands within the District of Ucluelet described below, and the buildings, structures, and other development thereon:

*1003 Peninsula Road; Parcel Identifier 024-167-533, Lot 6 Section 21 Clayoquot District Plan VIP67274*

(The “Lands”)

3. This Permit authorizes the following improvements on the Lands:
  - a) The construction of three two-storey resort condo duplexes.
  - b) Associated landscape and hardscape work including but not limited to:
    - i. Gravel parking lot with 6 parking spaces and three guest parking spaces.
    - ii. Frontage Landscape improvements.
4. These improvements apply only in the locations indicated, and otherwise in accordance with, the drawings and specifications attached to this Permit as Schedule 1.
5. This permit will be subject to:
  - a) provision of a detailed cost estimate of frontage landscape and streetscape works and a deposit of 125% of the value of those proposed works.
  - b) detailed review and approval of the vehicle access points by Fire and Engineering & Public Works departments.
6. The permittee must adhere to all conditions of the Qualified Environmental Professional report in Schedule 2 which is attached hereto and forms part of this permit.
7. Prior to any site disturbance or contractor mobilization, the permittee must erect fencing or otherwise demarcate the no-disturbance areas and contact the District of Ucluelet to arrange a pre-construction inspection.
8. The work authorized by this Permit may only be carried out in compliance with all federal, provincial, and municipal statutes, regulations, and bylaws. The permittee is responsible for ensuring that the timing of the work and any required permits or notifications by other agencies are obtained as required to comply with all applicable regulations.
9. Notice shall be filed in the Land Title Office under Section 503 of the Local Government Act, and upon such filing, the terms of this Permit or any amendment hereto shall be binding upon all persons who acquire an interest in the land affected by this Permit.
10. The permittee shall substantially commence the development within 24 months of the date of issuance, after which this permit shall be null and void.
11. Note that any works within the Peninsula Road right-of-way require a permit from Engineering and Public Works.
12. This Permit is NOT a Building Permit.



13. Schedule A attached hereto shall form part of this Permit. The Municipality's Chief Administrative Officer is hereby authorized to approve minor amendments to the plans provided that such amendments are consistent with the overall character and intent of the original plans.

**AUTHORIZING RESOLUTION** passed by the Municipal Council on the    day of    , 2022 .

**ISSUED** the    day of    , 2022.

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Bruce Greig  
Director of Community Planning





Schedule 1

(See Appendix A)

## Schedule 2 – Environmental Conditions

As a condition of the issuance of this Permit, the Permittee representing the Lands hereby to comply with all following Impact Reductions and Mitigation Measures, determined by Qualified Environmental Professional (see report within Schedule B) as necessary to avoid negative impacts to environmental habitats within and adjacent to the Property:

1. A survey should be completed to determine the required 7.5 m setback from the marine high-water mark and it should be clearly demarcated on the ground prior to any construction works or clearing. No disturbance should occur within the foreshore setbacks and mechanical damage to the roots of mature trees must be avoided.
2. A geotechnical inspection of the fill material is recommended to ensure that the material is stable and suitable for the proposed activity.
3. No grubbing should occur outside of the fill pile material to avoid damage to tree roots outside of the development area. The fill can be redistributed to create a level surface. Any fill used should be clean and free of fine, erodible material.
4. Vegetation clearing should be minimized and all mature trees on the property are to be retained. Installation of utilities should avoid disturbance to mature tree roots and should be placed within the fill, to the extent possible.
5. Coarse woody debris (i.e., nurse logs) should be left undisturbed to the extent possible and where required, moved carefully and retained on site to mitigate risks to overwintering amphibians, including species at risk.
6. Any vegetation clearing should be conducted outside of the breeding bird nesting window (March 26 to August 10). If clearing within this period is unavoidable, have a QEP conduct a pre-clearing nesting bird survey to avoid harm to nesting birds (as required by the Migratory Bird Convention Act and the Provincial Wildlife Act).
7. A 5m setback from the impounded surface water at the southwestern portion of the property is recommended to retain the integrity of this feature and provide habitat for wildlife. The retention of mature trees on the south side of this feature is important to maintain microclimatic conditions. A 5m vegetation buffer on the north side will provide protection and cover as well as dissuade pedestrian traffic. If the tree is to be felled during the spring or summer months when migratory bats are present in the region, an assessment by a QEP of potential bat roosting should also occur before it is felled.



## REPORT TO COUNCIL

Council Meeting: October 6, 2022

500 Matterson Drive, Ucluelet, BC V0R 3A0

**FROM:** MONICA WHITNEY-BROWN, PLANNING ASSISTANT

**FILE No:** 3060-20 DP22-08

**SUBJECT:** DEVELOPMENT PERMIT FOR FOOD TRUCK CLUSTER AT 1708 PENINSULA ROAD

**REPORT No:** 22-149

**ATTACHMENT(S):** APPENDIX A – DEVELOPMENT PERMIT APPLICATION  
 APPENDIX B – BIG WAVE CAFÉ BUSINESS LICENSE APPLICATION  
 APPENDIX C - DEVELOPMENT PERMIT 22-08

### RECOMMENDATION(S)

**THAT** Council authorize the Director of Community Planning to execute and issue Development Permit 22-08 to allow a total of three mobile vending spaces to be operated at 1708 Peninsula Road, Lot 1, Plan VIP5190, Clayoquot District.

**THAT** Council approve the issuance of a mobile vending business license for the “Big Wave Café” food trailer at 1708 Peninsula Road.

### BACKGROUND

This Development Permit (**DP**) application was received July 6th, 2022, to allow three mobile vending trailers to operate on-site at the Army, Navy and Air Force (ANAF) property at 1708 Peninsula Road (the “**subject property**”).

*Ucluelet’s Business Regulation and Licensing Bylaw No. 922* requires all mobile vendor licenses to be approved by Council prior to issuance. The subject property falls within the Official Community Plan’s (OCP 2022) Village Square Development Permit Area (DPA I). All developments within a designated Development Permit Area require a Development Permit to be issued by the District.

Mobile vending can provide an opportunity to temporarily fill gaps in under-developed commercial lots along Peninsula Road, improving the pedestrian experience and food offerings – particularly in the high season.

The subject property is located in the Village Square Commercial, CS-2 Zone. The DP applicant has an existing Development Permit from 2018 which allows one mobile vendor on their site. There is one active food trailer currently, West Coast Salty Buns which serves Mexican BBQ cuisine. The DP applicant is proposing to relocate the existing food trailer on the lot and add two additional food trailers. Food trailer uses can be a valuable way to add additional food options to the Ucluelet core, particularly because they require less staff to operate than traditional restaurants.





Figure 1- Property Location



Figure 2 – Blocked off driveway on the west side of the property

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Figure 3 - Existing food truck, seating area and planters on site

The DP applicant is proposing the following improvements and additions to the subject property:

- Relocating the existing food truck and adding additional landscaping for the two new mobile vendors, including additional planter boxes with rope barriers in between them.
- Additional seating in the form of more picnic tables.
- Delineating parking spots on-site.
- Creating a fire lane and turnaround area.
- Adding a publicly accessible portable toilet and handwashing station.

### DISCUSSION

This DP application represents a somewhat new use for the District of Ucluelet. While there are a few food truck mobile vending businesses located within Ucluelet, these have typically occurred as single applications by the operator. All mobile vendor license applications require Council approval prior to the issuance of a business license, which has helped ensure any food trucks are located in appropriate locations.

This DP application seeks Council approval to allow three licensed mobile vending units to operate on the Army, Navy and Air Force property, creating what could be referred to as a small food truck cluster. Mobile vendors would still be required to obtain a business license, but the ANAF could hold a permit to allow up to three food truck spaces to operate on their property. Multiple mobile vendors will be able to hold licenses allowing them to operate on the ANAF property, but only three can operate on-site in designated spaces at any given time. This will allow mobile vending applicants to have a streamlined process, able to

apply to receive Council approval of their license without the additional need for landscaping and form and character elements, as these are covered by this DP.

The ANAF property currently has a development permit to allow one mobile vendor on-site. The existing food truck has proved successful and popular. The location of the ANAF is an appropriate location for this more intensive mobile vending use, building on existing infrastructure to allow locals and visitors alike more dining choices within the village core.

The applicant has indicated that having a food truck cluster on site would generate sustainable, dependable, and diversified revenue to support long-term priority actions of upgrading the property frontage and cenotaph location along Peninsula Road. This kind of enhancement on this property has long been desirable and supported by the District. Staff and the applicant have discussed coordinating plans for upgrading the public boulevard on Peninsula Road as the ANAF develops its plans for on-site improvements around the cenotaph.

The initial Development Permit for mobile vending on this site (DP18-04) included a condition that additional landscaping be completed within 18 months. Since the DP was issued, the applicant has installed approximately twelve planter boxes and picnic tables which have enhanced the aesthetic of the property (**Figure 2**).

At the time the Development Permit was issued, staff also suggested the access route along the northwest property line be removed. The reduction of access off Peninsula Road was identified as an important element in improving the pedestrian environment of this commercial area. Per these recommendations, the former entrance off of Peninsula along the northwest property line has since been closed to vehicle traffic with the addition of a large garden box and is now pedestrian access only (**Figure 3**).

The proposed additional food trailers would be located in the mid-to-rear area of the property, on the northwest side, with an enhanced landscaped seating area servicing all three food trailers (**Figure 4**). Additional landscaping planters will be added to the site for screening and aesthetic purposes. Planters rather than more permanent landscaping elements will be used to allow greater flexibility and reconfiguration ability on-site as the ANAF looks to revitalize the frontage area.

The applicant plans to rent a portable toilet unit and handwashing station which will be placed in a screened location on site. As a condition of this permit, the landscaping upgrades will be required to be completed within 6 months of issuance. The applicant has stated that the existing and future food truck operations will have full staff access to the washrooms within the ANAF building. The West Coast Salty Buns trailer will be moved from its current location facing Peninsula Road prior to the Remembrance Day ceremony in November of 2022.

Given the nature of this increased use, and the ANAF property's location in the heart of the Village Square commercial area, this permit has a condition that the applicant provide plans and receive District approval for more permanent bathroom facilities and full-scale landscaping upgrades on the site within five years. This will provide an opportunity to review the development permit and make collaborative changes on these points to achieve desirable outcomes on this site.



Figure 4- Site Plan



**ZONING**

Mobile vending is regulated by the Ucluelet Business Regulation and Licensing Bylaw No. 922, the Ucluelet Zoning Bylaw No. 1160 and is subject to form and character consideration through the Official Community Plan (OCP) development permit designation.

The subject property falls within the CS-2 zone and from the information provided the proposed development complies with the applicable zoning regulations regarding size and setbacks. The subject site falls within the CS-2 Zone – Service Commercial which allows for the proposed Mobile Vending use under section CS-2.1.2.

The subject property falls within the Official Community Plan’s “Development Permit Area I (Village Square)” which is established for revitalizing an area in which commercial, multi-family and mixed uses are permitted and establishing objectives for the form and character of development in the resort region. While this application differs from most DPs as it is not for a permanent built structure, staff have worked with the DP applicant to ensure enhanced landscaping and beautification measures are in place for this use in the form and character DP area. This includes compliance with Village Square and Commercial Core policies in the Official Community Plan regarding landscaping and streetscape improvements.

**SERVICING**

Servicing will be provided to the mobile vending units by the DP applicant. The DP applicant has indicated that the Army, Navy and Air Force building currently provides power for the existing food trailer, and has confirmed with an electrician that there is sufficient power to supply the proposed additional two food trailers. The DP applicant is planning to add a second power box with a separate meter in the near future. Generators will not be used on the property.

The DP applicant has consulted a plumber and plans to have greywater drainage plumbed directly to the ANAF building’s outgoing pipe. The food trailers will all have holding tanks for backup.

The Director of Engineering Services has reviewed this application and drafted a Mobile Food Premises Guideline to ensure best practices are followed for this more intensive use. The DP applicant has agreed to comply with these guidelines, and the document forms part of the Development Permit conditions. The Guideline includes the installation of grease traps and backflow prevention.

The onsite garbage receptacle dumpster is available for all mobile vendors, and there are existing smaller bins for customers located in the seating area for day-to-day use.

**FIRE SERVICES**

This DP application has been reviewed by the District of Ucluelet Fire Chief. Several changes have been made to the original design to ensure safe flow of people and vehicles to the site, proper spacing of mobile units, and emergency vehicle access, which will include signage marking out a fire access lane (figure 3). All units will be located a minimum of 3 metres from each other and from the ANAF building.

## PARKING

The proposed upgrades to the site will result in a loss of existing parking on the subject property, replaced with a larger seating area. There are no parking requirements for the mobile vending uses in the Zoning Bylaw. However, parking has to be retained on site for the ANAF building use. The Zoning Bylaw requires the ANAF, as a place of public assembly and community use, to provide 10 spaces, based on its capacity of 100 people.

The site plan for this development permit shows a space approximately 107 feet by 20 feet designated for parking, which could be used for up to 13 standard parking spots, although the site map shows 11 larger spots. Parking will be screened from the road with landscaping planters, and spots will be delineated. The applicant's plan shows space at the top of the driveway to provide a turn-around area and ensure no cars are backing down onto Peninsula Road.

## BUSINESS LICENSE

The ANAF property currently has two mobile vending businesses associated with it, Westcoast Salty Buns (the current occupant), and Cheezus, which received Council approval to operate in 2018. The operator of Cheezus is hoping to relocate back to the ANAF property should this DP be approved.

There is another business license application included with this DP for Council's consideration. The business is the Big Wave Café, a food trailer offering espresso bar services and breakfast sandwiches. Big Wave Café currently operates at the Junction, but the operator is hoping to relocate to the ANAF location to serve Ucluelet residents and visitors in a more convenient and central location. Approval of this business license would mean three mobile vending licenses would be approved for operation at the ANAF property.



ANALYSIS OF OPTIONS

A	Authorize the issuance of Development Permit 22-08 & issuance of business license for “Big Wave Café”	<u>Pros</u>	<ul style="list-style-type: none"> <li>Increases the number of available food options in the village core and provides enhanced aesthetic appeal to the property.</li> <li>Provides a stable source of revenue for the DP applicant to revitalize the public-fronting streetscape.</li> <li>Consistent with Form &amp; Character DP Guidelines</li> </ul>
		<u>Cons</u>	<ul style="list-style-type: none"> <li>Intensified uses on this site, potentially resulting in increased traffic and noise associated with these uses.</li> </ul>
		<u>Implications</u>	<ul style="list-style-type: none"> <li>Approval will allow the application to proceed</li> <li>Staff time will be required to process the business license application</li> </ul>
B	Provide alternative direction	<u>Pros</u>	<ul style="list-style-type: none"> <li>Unknown at this time</li> </ul>
		<u>Cons</u>	<ul style="list-style-type: none"> <li>Unknown at this time</li> </ul>
		<u>Implications</u>	<ul style="list-style-type: none"> <li>Unknown at this time</li> </ul>
		<u>Suggested Motion</u>	<ul style="list-style-type: none"> <li>THAT Council, with regard to Development Permit 22-08, <i>(provide alternative direction here)</i></li> </ul>
C	Reject the application	<u>Pros</u>	<ul style="list-style-type: none"> <li>There would not be an intensification of mobile vending uses on this site, no change in noise or traffic.</li> </ul>
		<u>Cons</u>	<ul style="list-style-type: none"> <li>No additional food options for the community on this site.</li> <li>No additional landscaping, upgrades, or washroom facilities.</li> </ul>
		<u>Implications</u>	<ul style="list-style-type: none"> <li>The DP application would not proceed.</li> </ul>
		<u>Suggested Motion</u>	THAT Council reject the application for Development Permit 22-08.

POLICY OR LEGISLATIVE IMPACTS

This application is compliant with the Official Community Plan and the Zoning Bylaw.

NEXT STEPS

If this application is approved:

- the attached DP will be signed by the Director of Community Planning, issued to the applicant, and then filed with the Land Title Office.
- the applicant or subsequent owners of the subject property will be required to meet all conditions of the permit and any other conditions set out by Council for the proposed development.

Respectfully submitted:

MONICA WHITNEY-BROWN, PLANNING ASSISTANT  
 BRUCE GREIG, DIRECTOR OF COMMUNITY PLANNING  
 DUANE LAWRENCE, CAO

District of Ucluelet

Planning Department  
200 Main Street, Ucluelet, BC  
V0R 3A0, PO. Box 999  
tel 250-726-4770 fax 250 726 7335

# Development Application

## Type of Application

An application is submitted for one or more of the following:

- Official Community Plan Amendment
- Zoning Bylaw Amendment
- Development Permit (no variances)
- Development Permit (with variances)
- Development Permit Amendment
- Development Variance Permit
- Temporary Use Permit
- Board of Variance
- Strata Conversion
- Subdivision



## Description of Property

Civic Address (es): 1708 Peninsula Road  
Legal Description: Lot \_\_\_\_\_ Plan \_\_\_\_\_ Block \_\_\_\_\_ Section \_\_\_\_\_ DL \_\_\_\_\_

## Applicant Information

Notice of Disclosure to Applicant(s): The following contact information will be available to the public and may be posted on the Districts' website to allow interested parties to contact you about this application.

Applicant name: Bronwyn Kelleher Company name: Army + Navy Unit 293  
Mailing address: [Redacted] Postal Code: V0R 3A0  
Tel: [Redacted] Cell: [Redacted]  
Email: [Redacted] Fax: [Redacted]

The undersigned owner/authorized agent of the owner makes an application as specified herein, and declares that the information submitted in support of the application is true and correct in all respects.

Applicant Signature: [Signature] Date: July 6 2022

## Registered Owner(s)

List all registered owners. For strata properties, provide accompanying authorization from all strata owners (not just strata corp.). If the owner is an incorporated company/society, attach a current corporate/society search or "notice of directors".

Registered Owner (s) name: Bronwyn Kelleher  
Mailing address: [Redacted] Postal Code: V0R 3A0  
Tel: [Redacted] Cell: [Redacted]  
Email: [Redacted] Fax: [Redacted]

Freedom of Information and Protection of Privacy Act (FOIPPA): Personal information is collected, used and disclosed under the authority of the Local Government Act, and section 26 (c) of the FOIPPA. The information will be used for the purpose of processing this application.

Owner Signature: [Signature] Date: July 6 2022

## Office Use Only:

Folio No.: <u>165-000</u>	File No.: <u>DP22-08</u>	Date: <u>July 6/22</u>	Receipt No.:	Fee: <u>\$1000.00</u>
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To Whom it may concern,

The Army and Navy Unit 293 of 1708 Peninsula Road is applying to have permission from council to have our current permit for one food vendor on site increased to allowance for three food vendors in total.

The club has traditionally relied on a single source of income to operate. As such hosting evening drinking events has been the lifeblood of the Army and Navy for many years. With the addition of the food vendor on the army and navy property it has added a level of financial stability not previously seen. During the pandemic it was for many months the only money we had coming in on a regular monthly basis. Without the food vendor allowance the Army and Navy, which has been a pillar of the community since 1943 would not have been able to survive.

If allowed to have three vendors on site it would do nothing but be a positive relationship for all involved. The club would have more revenue coming in which would allow for the hall to be used by the community more regularly for more inclusive and daytime events as we would not have to have so many evening money making gigs. It would also allow us more financial freedom to not only invest in upgrades to the building that would allow for diverse range of use but also to have funds that we could donate back into the community to support youth and athletic programs.

Food vendor rental income would also allow volunteers to turn their time and efforts towards other Army and Navy related projects. Currently most volunteer hours are spent on organizing live music events on weekend evenings.

The Army and Navy has had a food vendor operating on the property since 2018. In that time we have allowed a local business to supplement a drop in revenue due to the covid 19 pandemic as well as support a local resident in starting a business that was able to expand to the point of acquiring a brick and mortar location to assist in his successfully expanding establishment.

The property has been enhanced by the addition of a food vendor by the landscaping that has been added in the way of garden boxes as well as the creation of a pedestrian path where once there had been a blind corner of a driveway.

The seating area for customers eating has created a downtown location people can stop on their traverse of town to rest, eat and enjoy observing the bustle of the town in a central location. Overall the appearance of the property has changed from a large empty gravel lots to landscaped interactive hub with amenities to enhance both the locals day and the tourist experience.

While additional food vendors will diminish our parking space we do not observe there being any major issues with that. The vendors will be soliciting to pedestrian traffic that will in theory have utilized one of our lovely public parking lots that are within close proximity to the area.

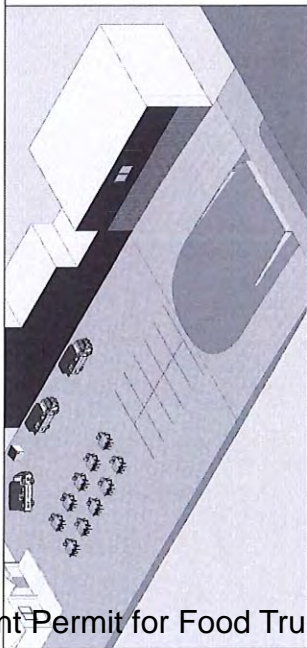
The events at the army and navy are for the majority in the evening hours when downtown parking is not such an issue. We also, as a liquor establishment, strongly encourage all our patrons to walk to the nights entertainment and if necessary call a taxi if walking home after is not optimal.

The onsite garbage dumpster associated with the army and navy is behind a latticed fence and available to be shared by all future vendors. Communal onsite garbage and recycle for customer use also provided.

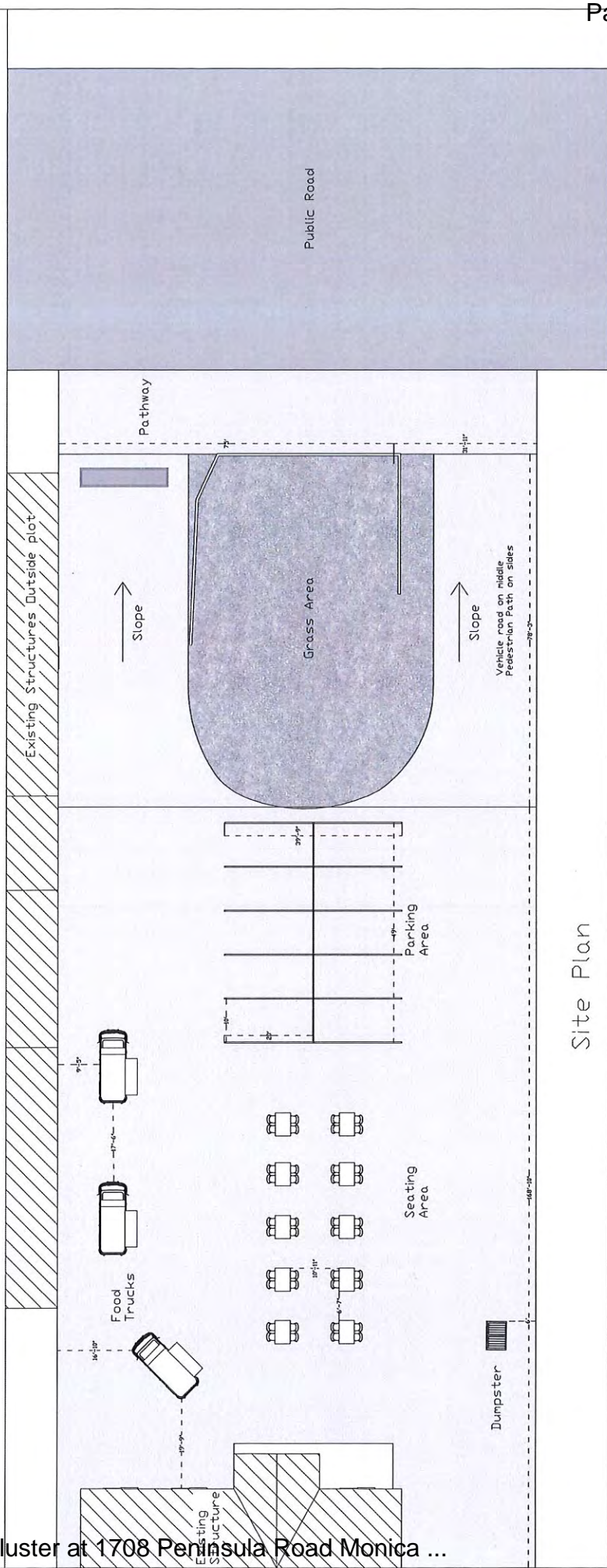
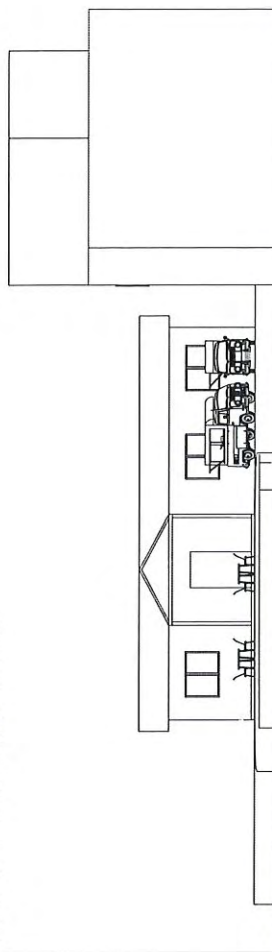
Washrooms located inside the hall are for utilization by the employees of the food trucks. Clean water source for in truck holding tanks provided onsite as well as gray water disposal system from the holding tanks contained with each vendor.

Option of electrical hook up from the Army and Navy power source also available.

Axonometric View



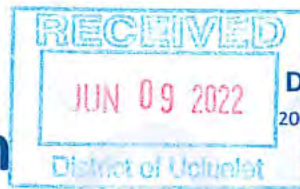
Elevation from Public Street



Site Plan







**District of Ucluelet**  
200 Main Street, Ucluelet, BC  
V0R 3A0, PO. Box 999  
Phone 250-726-7744

# Business Licence Application

Businesses operating in the District of Ucluelet are required to have a valid business licence. Completion of this form does not guarantee approval of a business licence, nor should business be commenced prior to a licence being issued. Please fill out both pages of the application and submit with your \$25 application fee to District of Ucluelet.

## Type of Application

**New Licence**  **Change of Owner**  
All other changes to business, please use the "Change In Business Application" Form – available at ucluelet.ca

## Applicant & Property Owner Information

<p><b>APPLICANT</b> Name: <u>Christopher Bennett</u> Address: <u>1639 Holly Crescent, Ucluelet</u> Postal Code: <u>V0R3A0</u> Email: <u>[REDACTED]</u> Phone: <u>[REDACTED]</u></p>	<p><b>PROPERTY OWNER</b> Name: <u>Army Navy &amp; Airforce Veterans Club #293</u> Address: <u>1708 Peninsula Rd, Ucluelet, BC</u> Postal Code: <u>V0R 3A0</u> Email: <u>[REDACTED]</u> Phone: <u>[REDACTED]</u></p>
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Business Name: Big Wave Café  
Business Location Address: 1708 Peninsula Rd, Ucluelet, BC V0R 3A0  
Business Mailing Address: [REDACTED] Ucluelet BC V0R3A0  
Business Email Address: [REDACTED] Business Phone: [REDACTED]  
Business Website Address: bigwavecafe.ca

**Notice of Personal Information Collection:** The personal information on this form is being collected for the purpose of processing your application in accordance with section 26(c) of the Freedom of Information and Protection of Privacy Act. For more information about how this information will be used, please contact the Manager of Corporate Services at 250-726-7744.

**Notice of Disclosure to Applicant(s):** Your name, business name and contact information will be available to the public and may be posted on the District of Ucluelet website to allow interested parties to contact you about this application.

The undersigned owner(s) make an application as specified herein, and declares that the information submitted in support of the application is true and correct in all respects.

Applicant's Signature: [Signature] Date: June 07, 2022

Property Owner's Signature OR [Signature] Date: June 07, 2022

Property Owner's Authorization Letter attached to application.

For Office Use Only					
Folio No.:	Zoning:	Business Class/Nature of Business:			Number of Units:
Department	Check/Site Inspection Required?	Approved	Date	Initial	Finance Section
Planning	Yes No	Yes No			<b>Utility Bill Change?</b>  Yes No Comments:
Building	Yes No	Yes No			
Fire	Yes No	Yes No			
Bylaw	Yes No	Yes No			
Other: _____	Yes No	Yes No			

Approved this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

District of Ucluelet Approval: \_\_\_\_\_ Business Licence No: \_\_\_\_\_





BENNETT, CHRIS  
Receipt #: 01-71111

09/06/22 14:43:50

17 Licenses, Permits & Fees	\$25.00
15 15 - Non-refundable BL App Fee	
1012630005	
BUS LI APP FEE - BIG WAVE CAFE	

INTER	\$25.00
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GST #: R106985633

AMOUNT TENDERED	\$25.00
CHANGE DUE	\$0.00

District of Ucluelet  
THANK YOU  
Regular Office Hours - 8:30 AM to 4 PM  
Monday through Friday  
[www.ucluelet.ca](http://www.ucluelet.ca)





## DEVELOPMENT PERMIT DP22-08

Pursuant to section 488 of the Local Government Act, R.S.B.C 2015 C.1 as amended:

1. This Development Permit is issued to:

THE ARMY, NAVY & VETERANS IN CANADA UNIT 293  
1708 PENINSULA ROAD, UCLUELET, BC, CA, V0R 3A0

2. This Development Permit applies to and only to those lands within the District of Ucluelet described below and all buildings, structures, and other development thereon:

Lot: 1, Plan: VIP5190, Clayoquot District (1708 Peninsula Road).

3. This Development Permit is issued subject to compliance with all the bylaws of the District of Ucluelet.

4. This Permit authorizes the construction of the following improvements on the Lands:

- a. Three Food Trailer spaces;
- b. Servicing of the above units;
- c. Parking improvements including space delineations and wheel stops;
- d. Addition of a screened portable toilet and handwashing station;
- e. Landscaping and buffering planters.

These improvements apply only in the locations indicated, and otherwise in accordance with, the drawings attached to this Permit as **Schedule A**.

5. The applicant shall ensure any mobile vending operators operating on their property adhere to the Mobile Food Premises Guidelines attached to this Permit as **Schedule B**, and forming part of this Permit.
6. The applicant shall, within six months of the date of issuance, complete the landscaping as shown in **Schedule A**, including screening the portable toilet from view of the public road, and landscaping along the parking to screen from the public road – plans to be reviewed and approved by the Director of Planning;
7. This permit is issued on the condition that the permit holder shall, within five years from the date of issuance, replace the portable toilet(s) with permanent public washroom facilities and comprehensive, permanent landscaping improvements – plans to be reviewed and approved by the Director of Planning.
8. The work authorized by this Permit may only be carried out:
  - a. in compliance with the requirements of the District of Ucluelet Zoning Bylaw No. 1160, 2013.
  - b. in compliance with all federal, provincial, and municipal statutes, regulations, and bylaws.
  - c. Notice shall be filed in the Land Title Office under Section 503 of the Local Government Act, and upon such filing, the terms of this Permit or any amendment hereto shall be binding upon all persons who acquire an interest in the land affected by this Permit.





- 9. This Permit is NOT a Building Permit.
- 10. **Schedules "A" and "B"** attached hereto shall form part of this Permit. The Municipality's Chief Administrative Officer is hereby authorized to approve minor amendments to the plans provided that such amendments are consistent with the overall character and intent of the original plans.

**AUTHORIZING RESOLUTION** passed by the Municipal Council on the            day of            , 2022.

**ISSUED** the            day of            , 2022.

**OWNER**

by its authorized signatory

\_\_\_\_\_  
Permittee's Signature

\_\_\_\_\_  
Bruce Greig - Director of Community Planning

SCHEDULE A





## SCHEDULE B



### Mobile Food Premises Guidelines DoU 2022

#### Purpose

Concerning the utilities of mobile food premises: To provide direction to operators for the design, construction and operation of mobile food premises.

As outlined in the *BC Food Premises Regulation*, “a person must not construct or make alterations to food premises (including mobile units) unless plans and specifications for the construction or alteration have been approved by a health officer.”

The onsite management of electricity, fresh water, disposal of greywater, black water and solids waste material must be design, installed, maintained in accordance with the District of Ucluelet’s Water and Sanitary Sewer Bylaws and approved by the Engineering and Public Works Department prior to implementation.

#### Utilities Guidelines for Mobile Food Premises in the District of Ucluelet

##### Gas, Propane and Electrical

1. Gas, propane and electrical connections must be certified or reviewed by the BC Safety Authority or other appropriate agency.

##### Greywater Disposal

1. There must be a drain in the tank suitably located to allow for easy draining into a sanitary sewer or other approved wastewater collection point.
2. Installation of a standard grease trap is required on a mobile food premises
3. The wastewater holding tank must be enclosed and be 25% larger than the capacity of the potable water tank.
4. Wastewater shall be disposed into an approved location.
5. When mobile food premises units are connected directly to an approved water system, instead of potable water holding tanks, the unit must also be connected directly to a sanitary sewer or have other means of preventing backup or overflow of wastewater.



#### **Fresh Water Connections**

1. Appropriate back flow prevention shall be in place whenever the mobile is connected to a potable water supply.

#### **Blackwater Disposal**

1. There must be a drain in the tank suitably located to allow for easy draining into a sanitary sewer or other approved wastewater collection point.
2. The operator may implement a 'pump and haul' routine and should demonstrate an awareness in their application of available resources, potential schedule and associated costs.

#### **Solids Waste Disposal**

1. Every mobile food premises unit must have adequately sized bear safe garbage containers.
2. Garbage must be managed properly by keeping it in suitable containers and removing it often to prevent foul odours and conditions that attract insects or other pests. Wherever possible, the containers should be covered.
3. All waste must be disposed of in an approved manner.
4. Garbage containers are to be cleaned and sanitized on a regular basis.







## REPORT TO COUNCIL

Council Meeting: October 6, 2022

500 Matterson Drive, Ucluelet, BC V0R 3A0

**FROM:** JAMES MACINTOSH, DIRECTOR OF ENGINEERING SERVICES

**FILE NO:** 1290-03

**SUBJECT:** CONTRACT AUTHORIZATION – VILLAGE GREEN CONSTRUCTION

**REPORT NO:** 22- 149

**ATTACHMENT(S):** APPENDIX A – DATES, FINANCES, AND COUNCIL REPORT(S) LOG  
APPENDIX B – CONSTRUCTION DRAWINGS (REDUCED)

### RECOMMENDATION(S):

1. **THAT** Council authorize the Director of Finance to reallocated \$150,000 within the 2023 Resort Development Strategy to the Village Green Revitalization Project.
2. **THAT** Council authorize the Mayor and Corporate Officer to execute a \$1,138,000 contract between the District of Ucluelet and Hazelwood Construction Services Inc. for the supply of all materials and labour to construct the Village Green Revitalization Project.

### BACKGROUND:

The purpose of this report is to provide a request for the consideration and authorization of a contract to construct the Village Green Revitalization Project.

In April of 2022, Council received an update regarding the Village Green Revitalization Project. At that meeting Council was informed the project design was nearing completion and focus was shifting to the preparation of bid documents so the project could be issued for construction.

With the completed design, Staff published the project on BCBids inviting general contractors to provide construction cost estimates. Two proposals were received; however, one only met the acceptable requirements. The proposal was evaluated for completeness, potential value for the District and costs. The proposal was 3X higher than the most recent “Class B” estimate and available construction budget.

The project team engaged the general contractor to enquire about the proposal, specifically, the high-cost drivers. The high estimate was largely due to escalating market conditions and some of the design decisions and materials. To analyze and determine the feasibility of the project, the contractor agreed to provide cost and constructability perspective while the District worked with the design team to complete a scope reduction exercise.

The reduced scope must produce a framework which can be built upon in future phases and is a desirable aesthetic, form and character in its current phase.

Items removed from phase 1:

- Electrical and lighting
- Concrete seat walls
- Helen Road area
- Reduced landscape planting
- Reduced paving

Core Items still achieved in phase 1:

- Safety improvements around Main and Cedar Road intersection
- Expanded park
- Connected playground to park and expansion
- Accessible pedestrian walkway - continuous around Village Green and up Fraser Lane

To help alleviate an additional project constraint, Staff have requested a time extension from the grant funder. The current end date in the grant Agreement is March 31, 2023. The contractor has suggested that mid-winter construction is challenging and recommended moving the project into the spring. The change request is to increase the window by two months to allow a four-month construction window from February to May, ending prior to the busy tourist season. The grant funder has provided early indication that more time may be granted, and Staff are currently working through the requirements of the change request.

The estimated costs have been reduced significantly; however, more capital is needed to complete the construction. Staff are recommending the re-allocation of \$150,000 from the Resort Municipality Initiative fund (RMI) to increase the project construction budget. The identified capital to be reallocated is currently earmarked for a washroom facility in 2023 as identified in the Resort Development Strategy (RDS), recently presented and approved by Council. The washroom facility could be reprioritized and added back in to the RDS plan in a future year if the District receives sufficient RMI top up in any given year.

With a reduced scope, increased construction budget, and adjusted schedule, the project is now achievable and ready to move forward. The contractor has amended and resubmitted their proposal to align with the scope reduction. Staff have received and reviewed the complete proposal.

- General Contractor: Hazelwood Construction Services Inc.
- Construction Contract Value: \$1,138,000
- Contract Type: Master Municipal Construction Documents (MMCD) Unit Price Contract
- Construction Schedule: February 2023 – May 2023

District Staff recommend awarding the project to Hazelwood Construction Services Inc. The general contractor has demonstrated an openness to partner with the District and work together to address the project challenges associated with scope, timing and cost. The general contractor has provided a proposal which demonstrates relevant experience, availability to dedicate resources to the project, and a commitment to meet the District's timelines and budget. The contract value will have a ceiling of \$1.138M which would leave a small contingency to mitigate issues and address unplanned costs that arise during construction. Prior to signing of the contract, Staff will continue to negotiate with the consultant team and contractor to identify additional cost savings measures intended to increase the project security.

If approved, the contractor would begin preparations for spring construction which includes receiving all necessary permits, sourcing and organizing materials and labor. The District has required a construction Traffic Management Plan from the contractor which would be implemented during demolition and construction. The project requires periodic road closures and detours throughout the four-month construction period. A pre-construction report will be provided to Council to share important updates of schedule, logistics, communication and information for the community.

#### ANALYSIS OF OPTIONS

A	Approve the contract between the District of Ucluelet and Hazelwood Construction Services Inc.	<u>Pros</u>	<ul style="list-style-type: none"> <li>The general contractor has a positive reputation and successful history with similar projects</li> <li>The project would move forward with construction beginning in February and completing in May prior to the busy tourist season</li> <li>The scope adjustments maintain the original objectives, form and character for the Village Green revitalization</li> <li>The scope reduction is achievable within the available budget</li> <li>The project can be built upon and advanced as needed in future years as funds become available</li> <li>Moving forward now takes advantage of the contractor's availability and preferred construction window</li> </ul>
		<u>Cons</u>	<ul style="list-style-type: none"> <li>Due to high-cost estimates, the project scope has been reduced significantly</li> <li>There remains a small contingency to mitigate construction uncertainties</li> <li>Capital has been reallocated from other priorities to move the project forward</li> <li>Only one proposal has been received</li> </ul>
		<u>Implications</u>	<ul style="list-style-type: none"> <li>RMI funds must be reallocated from another project</li> </ul>
B	Defer the contract award to the incoming Council	<u>Pros</u>	<ul style="list-style-type: none"> <li>Provides time to receive confirmation from the project funder concerning the schedule change request</li> <li>Provides more time to negotiate the terms and conditions of the contract with the general contractor</li> </ul>
		<u>Cons</u>	<ul style="list-style-type: none"> <li>Deferring financial decision to incoming Council isn't preferred</li> <li>Deferring could jeopardize availability with the general contractor</li> <li>Costs could increase</li> <li>Construction may not be completed before the summer season</li> </ul>
		<u>Implications</u>	<ul style="list-style-type: none"> <li>Costs could change</li> </ul>
		<u>Suggested Motion</u>	THAT Council direct Staff to bring an updated report on the Village Green project for Councils consideration in December of 2022.
C	Do not proceed with the contract	<u>Pros</u>	<ul style="list-style-type: none"> <li>Cost savings for the District from Gas Tax</li> </ul>
		<u>Cons</u>	<ul style="list-style-type: none"> <li>The project would be deferred or cancelled</li> <li>The TDCF grant would be defaulted and forfeited</li> <li>The Village Green would not be revitalized and pedestrian connectivity and unsafe vehicle conditions would remain</li> </ul>



		<ul style="list-style-type: none"> <li>Resources expended in the development of the project would continue to be a realized expenditure</li> </ul>
	<u>Implications</u>	<ul style="list-style-type: none"> <li>Loss of grant funding for the project</li> <li>District funds would need to be reallocated to pay for the design work completed on the project (\$171,278 as of May 2022).</li> </ul>
	<u>Suggested Motion</u>	No motion is required

**POLICY OR LEGISLATIVE IMPACTS**

- Procurement and Disposal Policy No 3-1200-5 which required Council to authorize contracts above \$100,000

**NEXT STEPS**

- Continued negotiations with the general contractor
- Receive the schedule change request response from the funder
- Award the contract to the general contractor
- Begin preparations for spring demolition and construction

Respectfully submitted: JAMES MACINTOSH, DIRECTOR OF ENGINEERING SERVICES

Duane Lawrence, CAO

**APPENDIX A – Project Dates, Finances, and Council Report(s) Log**


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**Project Dates and Finances**

Project Title	Village Green
Construction Schedule	February 2022 – May 2022 (awaiting confirmation)
Project Figures	\$700,000 - Tourism Dependent Community Fund \$400,000 - Resort Municipality Initiative \$150,000 – Resort Municipality Initiative (new) \$116,775 - Gas Tax <u>\$1,366,775</u> - Sum of sources (total project budget) (\$149,995) - Contract consulting fees <u>\$1,216,780</u> - Available construction budget (\$1,138,334) - Proposal from General Contractor Hazelwood \$78,446 - Contingency (remaining funds)
Project Team	Lanarc Architecture Herold Engineering

**Council Report(s) Project Log**
August 17th, 2021

Contract Award - Village Green design & engineering services Bruce Greig, Director of Community Planning Mr. Greig presented this report and noted that an RFP has been conducted. Staff are recommending Lanarc Consulting and Herald Engineering to complete the planning, design, tendering and construction management of the Village Green Revitalization project, because they provided the proposal with the best value.

2021.2260.REGULAR It was moved by Councillor McEwen and seconded by Councillor Hoar THAT Council authorize staff to enter a consulting contract with Lanarc Consultants and Herold Engineering to complete the planning, design, tendering and construction management of the Village Green Revitalization project, for a maximum fee of \$149,955.

November 23, 2021

Project Update - Village Green Concept Design Bruce Greig, Director of Community Planning Pieter Van Remoortere of Lanarc Consulting, presented an overview of this project and the proposed redesign of the Village Green.

February 22, 2022

Village Green Revitalization project Bruce Greig, Director of Community Planning Mr. Greig provided an update on the project, reviewing questions and concerns that were received through the Public Engagement period. Members of the audience were given a chance to make comments and ask questions, prior to the Question Period. Mr. Greig was available to answer questions the audience raised through Council, including the clarification that no roads were being closed within the scope of the current project. Council discussed the possibility of omitting the parking spaces directly in front of the Crow's Nest store from the current project. Council took a 5-minute recess at 5:43pm, while a resolution was drafted.

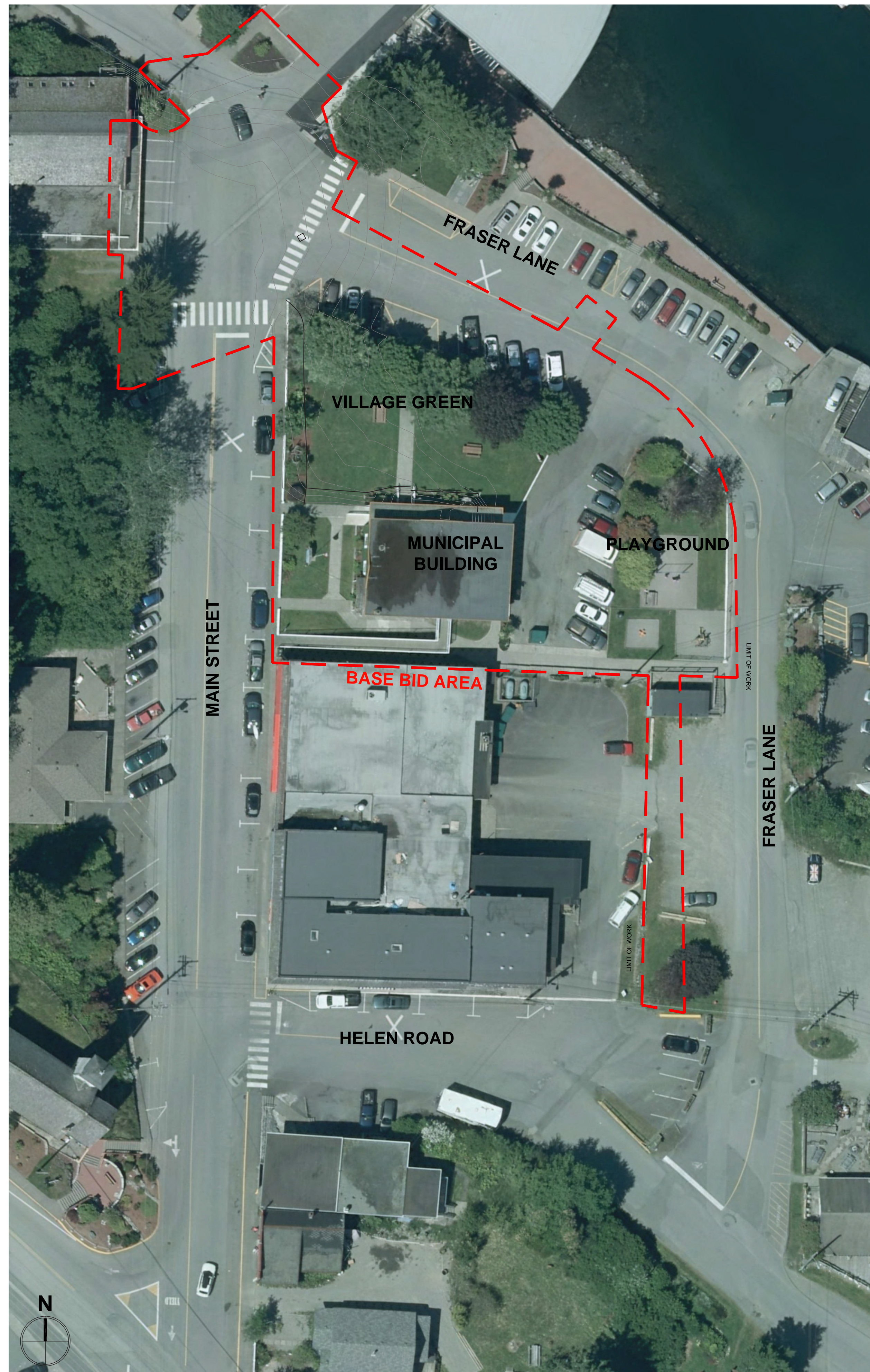
2022.2048.REGULAR THAT Council direct staff to work with the Village Green consultants to reduce loss of parking in front of the Crow's Nest building or defer implementation of pedestrian improvements to a future project.

April 12, 2022

Update on Village Green: Main & Cedar Intersection Bruce Grieg, Director of Community Planning Mr. Greig provided an update to Council on the development of the design work for the Village Green revitalization project – the road alignment, sidewalks and parking areas in the vicinity of the Main Street and Cedar Road intersection. Council gave direction to staff to proceed with the Option 2 - 95% design as presented. Council also requested staff to explore costs for exploring the addition of parking stalls within the Cedar Hub Parking Hub, for consideration in the 2023 budget.

2022.2085.REGULAR It was moved and seconded THAT Council direct staff to explore costs for adding parking stalls within the current extents of the Cedar Road Parking Hub, for consideration in the 2023 budget.





**1** SITE - EXISTING CONDITIONS  
1:350

## PROJECT DESCRIPTION

1. THE PROJECT CONSISTS OF IMPROVEMENTS TO THE UCLUELET VILLAGE GREEN AND SURROUNDING STREETS CAPES. THE WORK INCLUDES, BUT IS NOT LIMITED TO, A GENTLY SLOPING LAWN WITH CONCRETE SEAT WALLS AND WOOD BENCHES, PEDESTRIAN PATHWAYS/SIDEWALKS, CONCRETE STEPS W/ HANDRAILS, A MODULAR BLOCK RETAINING WALL WITH FENCING, PLANTING AREAS, A PUBLIC SEATING AREA WITH CONCRETE UNIT PAVING AND PLANTING BUFFERS, WATER AND ELECTRICAL SERVICES, ASPHALT REMOVALS, CONCRETE CURBING, TRAFFIC SIGNAGE, AND ROAD PAINTING AND MARKINGS..
2. THE 'BASE BID' AREA INCLUDES THE VILLAGE GREEN AND FUTURE PLAYGROUND AREA, FRASER LANE, THE NORTHERN PORTION OF MAIN STREET, AND THE INTERSECTION OF MAIN STREET, FRASER LANE, AND CEDAR ROAD

**\*\* UPDATED MARK-UPS**  
**\* REVISED DRAWINGS**

## DRAWING INDEX

Dwg#	Sht#	Drawing Title
*	1	T1.0 Cover Sheet
	2	D1.0 Demolition Plan - North
	3	D1.1 Demolition Plan - South
	4	CO1 Key Plan, Drawing List, & General Notes
	5	CO2 Site Servicing & Service Works Fraser Lane
	6	CO3 Site Servicing & Service Works Helen Rd. & Main St.
	7	CO4 Paint Markings & Signage Fraser Lane
	8	CO5 Paint Markings & Signage Helen Rd. & Main St.
	9	CO6 Details & Typical Cross Sections
	10	CO7 Erosion & Sediment Control Plan
	11	E1 Site Plan Electrical Layout
	12	E2 Electrical Details & Specifications
*	13	L1.0 Site Materials Plan - North
*	14	L1.1 Site Materials Plan - South
*	15	L1.2 Site Materials Plan - Enlargement
*	16	L2.0 Grading Plan - North
*	17	L2.1 Grading Plan - South
*	18	L2.2 Grading Plan - Enlargement
**	19	L3.0 Landscape Sections
**	20	L3.1 Landscape Elevations
**	21	L3.2 Landscape Details
**	22	L3.3 Landscape Details
**	23	L3.4 Landscape Details
**	24	L3.5 Landscape Details
**	25	L4.0 Irrigation Plan - North
**	26	L4.1 Irrigation Plan - South
**	27	L5.0 Irrigation Details
*	28	L6.0 Planting Notes
*	29	L6.1 Planting Plan - North
*	30	L6.2 Planting Plan - South
*	31	L7.0 Planting Details

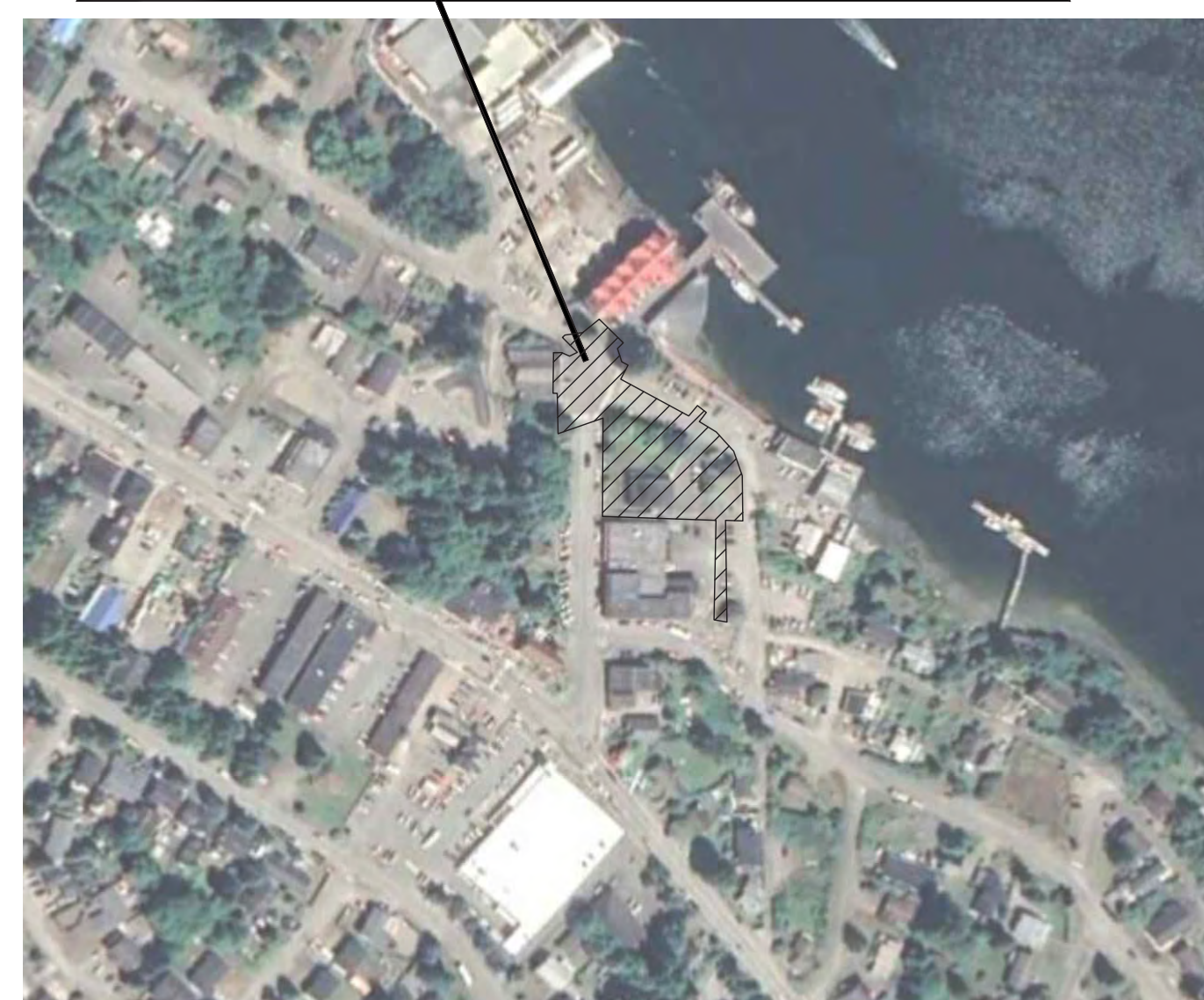
## ABBREVIATIONS

APPROX	APPROXIMATE	EQ	EQUAL	R	RADIUS
BC	BOTTOM OF CURB	EXIST	EXISTING	REF	REFERENCE
BG	BASE GRADE	FG	FINISHED GRADE	SPECS	SPECIFICATIONS
BW	BOTTOM OF WALL	FS	FINISHED SURFACE	SS	STAINLESS STEEL
CB	CATCH BASIN	HT	HEIGHT	STL	STEEL
CIP	CAST IN PLACE	LA	LANDSCAPE ARCHITECT	TC	TOP OF CURB
CL	CENTER LINE	LP	LOW POINT	THK	THICK
CONT	CONTOURS	MAX	MAXIMUM	TW	TOP OF WALL
CONC	CONCRETE	MIN	MINIMUM	TYP	TYPICAL
CRZ	CRITICAL ROOT ZONE	MH	MANHOLE		
C/W	COMPLETE WITH	NIC	NOT IN CONTRACT		
DET	DETAIL	NTS	NOT TO SCALE		
DJA	DIAMETER	O.C.	ON CENTRE		
DIM	DIMENSION	O.D.	OUTSIDE DIAMETER		
DWG	DRAWING	PA	PLANTING AREA		
EL	ELEVATION	PL	PROPERLY LINE		

## GENERAL NOTES

1. ALL MEASUREMENTS IN MILLIMETERS UNLESS OTHERWISE NOTED.
2. ALL EXISTING UTILITIES TO BE IDENTIFIED BY THE CONTRACTOR PRIOR TO INITIATING CONSTRUCTION.
3. BASE INFORMATION INCLUDED IS FOR REFERENCE ONLY. ALL EXISTING FEATURES ARE TO BE VERIFIED PRIOR TO CONSTRUCTION.
4. THIS DRAWING AND DESIGN IS THE PROPERTY OF LANARC 2015 CONSULTANTS LTD. (LANARC) AND SHALL NOT BE USED, REUSED OR REPRODUCED WITHOUT THE CONSENT OF LANARC. LANARC WILL NOT BE HELD RESPONSIBLE FOR THE IMPROPER OR UNAUTHORIZED USE OF THIS DRAWING AND DESIGN, OR ANY CHANGES MADE TO THE DRAWING BY ANY THIRD PARTY, INCLUDING CONTRACTORS, SUPPLIERS, CONSULTANTS, AND STAKEHOLDERS, OR THEIR EMPLOYEES OR AGENTS, WITHOUT LANARC'S PRIOR WRITTEN CONSENT.
5. DESIGNS, PLANS AND RECOMMENDATIONS ARE PROVIDED FOR THE SPECIFIC PURPOSE INDICATED HEREIN AND MAY NEED TO BE MODIFIED DEPENDING ON ACTUAL FIELD CONDITIONS THAT MAY BE DISCOVERED DURING CONSTRUCTION. LANARC EXPRESSLY DENIES ANY RESPONSIBILITY FOR CONSTRUCTED WORKS THAT ARE SUBJECT TO SITE CONDITIONS THAT AFFECT THE INTEGRITY OF THE DESIGN.
6. LANARC HAS PREPARED THESE DRAWINGS IN A MANNER CONSISTENT WITH THAT LEVEL OF CARE AND SKILL ORDINARILY EXERCISED BY MEMBERS OF THE LANDSCAPE ARCHITECTURE PROFESSION CURRENTLY PRACTICING UNDER SIMILAR CONDITIONS IN THE JURISDICTION IN WHICH THE SERVICES ARE PROVIDED, SUBJECT TO THE TIME LIMITS AND PHYSICAL CONSTRAINTS APPLICABLE TO THE PROJECT.

**UCLUELET VILLAGE GREEN**  
UCLUELET, BC



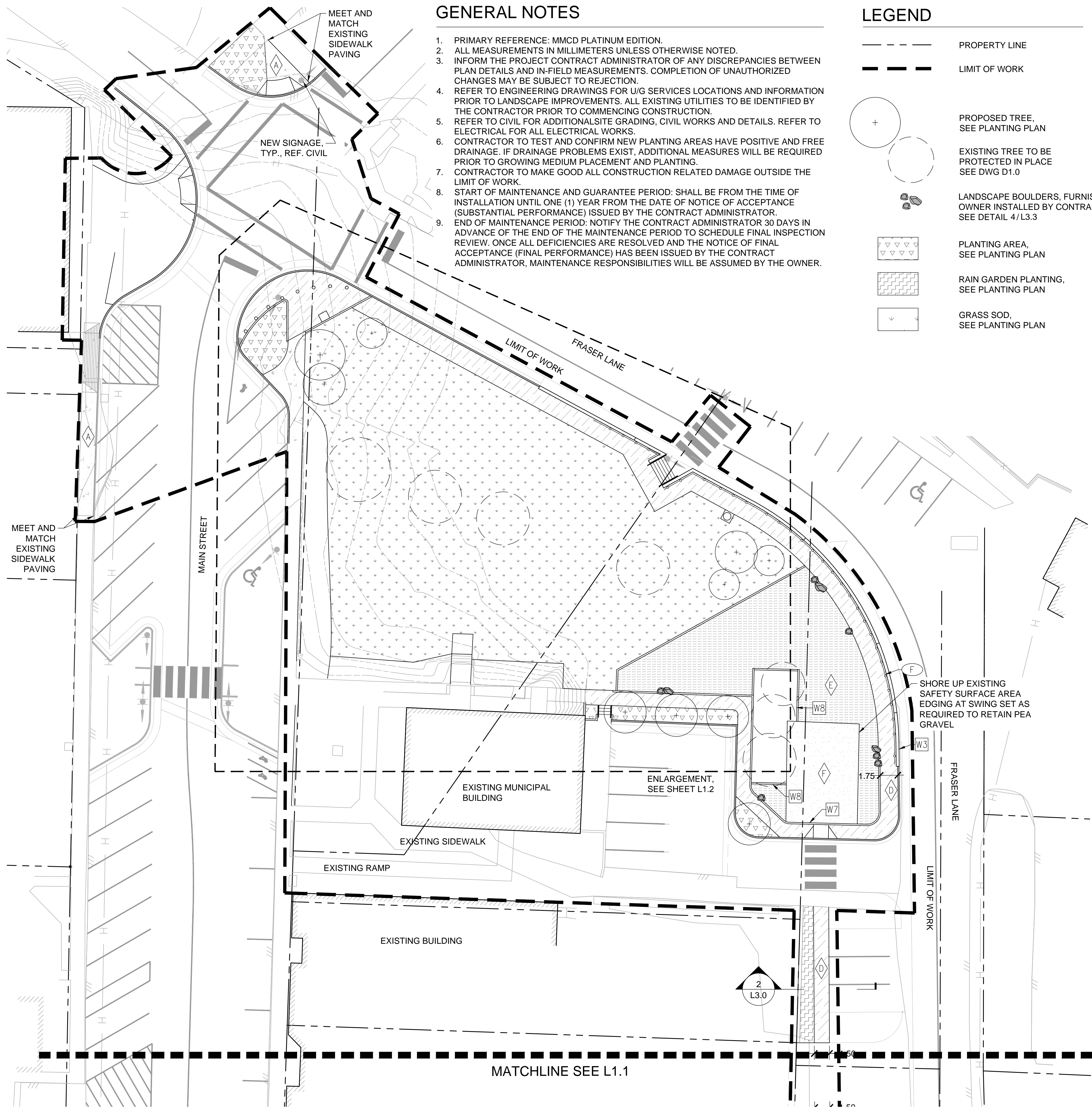
**2** PROJECT LOCATION  
NOT TO SCALE

ISSUED FOR REPRICING	PV	KE	22.09.15
ISSUED FOR TENDER	PV	KE	22.07.08
Issued	By	Appd.	YY.MM.DD

Permit-Seal  
**UCLUELET VILLAGE GREEN REVITALIZATION**  
Project  
**COVER SHEET**

Title  
**21-317**  
Project No. Scale  
**T1.0**  
Drawing No. Permit No. Revision





### GENERAL NOTES

1. PRIMARY REFERENCE: MMCD PLATINUM EDITION.
2. ALL MEASUREMENTS IN MILLIMETERS UNLESS OTHERWISE NOTED.
3. INFORM THE PROJECT CONTRACT ADMINISTRATOR OF ANY DISCREPANCIES BETWEEN PLAN DETAILS AND IN-FIELD MEASUREMENTS. COMPLETION OF UNAUTHORIZED CHANGES MAY BE SUBJECT TO REJECTION.
4. REFER TO ENGINEERING DRAWINGS FOR U/G SERVICES LOCATIONS AND INFORMATION PRIOR TO LANDSCAPE IMPROVEMENTS. ALL EXISTING UTILITIES TO BE IDENTIFIED BY THE CONTRACTOR PRIOR TO COMMENCING CONSTRUCTION.
5. REFER TO CIVIL FOR ADDITIONAL SITE GRADING, CIVIL WORKS AND DETAILS. REFER TO ELECTRICAL FOR ALL ELECTRICAL WORKS.
6. CONTRACTOR TO TEST AND CONFIRM NEW PLANTING AREAS HAVE POSITIVE AND FREE DRAINAGE. IF DRAINAGE PROBLEMS EXIST, ADDITIONAL MEASURES WILL BE REQUIRED PRIOR TO GROWING MEDIUM PLACEMENT AND PLANTING.
7. CONTRACTOR TO MAKE GOOD ALL CONSTRUCTION RELATED DAMAGE OUTSIDE THE LIMIT OF WORK.
8. START OF MAINTENANCE AND GUARANTEE PERIOD: SHALL BE FROM THE TIME OF INSTALLATION UNTIL ONE (1) YEAR FROM THE DATE OF NOTICE OF ACCEPTANCE (SUBSTANTIAL PERFORMANCE) ISSUED BY THE CONTRACT ADMINISTRATOR.
9. END OF MAINTENANCE PERIOD: NOTIFY THE CONTRACT ADMINISTRATOR 30 DAYS IN ADVANCE OF THE END OF THE MAINTENANCE PERIOD TO SCHEDULE FINAL INSPECTION REVIEW. ONCE ALL DEFICIENCIES ARE RESOLVED AND THE NOTICE OF FINAL ACCEPTANCE (FINAL PERFORMANCE) HAS BEEN ISSUED BY THE CONTRACT ADMINISTRATOR, MAINTENANCE RESPONSIBILITIES WILL BE ASSUMED BY THE OWNER.

### LEGEND

- PROPERTY LINE
- LIMIT OF WORK
- PROPOSED TREE, SEE PLANTING PLAN
- EXISTING TREE TO BE PROTECTED IN PLACE SEE DWG D1.0
- LANDSCAPE BOULDERS, FURNISHED OWNER INSTALLED BY CONTRACTOR SEE DETAIL 4/L3.3
- PLANTING AREA, SEE PLANTING PLAN
- RAIN GARDEN PLANTING, SEE PLANTING PLAN
- GRASS SOD, SEE PLANTING PLAN

### PAVING/SURFACING SCHEDULE

SYMBOL	TYPE	FINISH/COLOUR/NOTES	DETAIL
	CIP CONCRETE PAVING	PER MMCD STD. DWG. NO. C2	
	CIP CONCRETE STAIRS		3/L3.2
	ASPHALT WALKWAY		1/L3.3
	BARK MULCH	300mm DEPTH MIN., MATCH MULCH FOR PLANTING AREAS	
	PEA GRAVEL	RETAIN EXISTING PEA GRAVEL	

### SITE FURNISHINGS SCHEDULE

SYMBOL	ITEM	DESCRIPTION/NOTES	DETAIL
	BOLLARD	CEDAR TIMBER	2/L3.5
	CEDAR FENCE	SINGLE POST CEDAR SPLIT RAIL FENCE	5/L3.4
	HANDRAIL	HOT DIP GALVANIZED STEEL, POWDER COATED DARK GUNMETAL GRAY	4/L3.2
	WASTE RECEPTACLE	WISHBONE FREEDOM 32 WASTE RECEPTACLE	3/L3.4

### SITE CURB/WALL SCHEDULE

SYMBOL	TYPE	DESCRIPTION/NOTES	DETAIL
	ALLAN BLOCK WALL	'AB METROPOLITAN' ALLAN BLOCK, SILVERADO COLOUR	1/L3.1 2/L3.1 2/L3.2
	CIP CONC. PLAY AREA CURB @ LAWN	BROOM FINISH	5/L3.3
	CIP CONC. PLANTER CURB	BROOM FINISH	6/L3.3
	CIP CONC. PLAY AREA CURB AT @ ASPHALT WALKWAY	BROOM FINISH	7/L3.3
	TIMBER EDGING	150 x 150mm CEDAR	3/L3.5

**1 MATERIALS PLAN - NORTH**  
1:200

# LANARC

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2920 W 33rd Avenue, BC V6N 2G5

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ISSUED FOR TENDER PV KE 22.07.08  
Issued By Appd. YY.MM.DD

Permit-Seal

**UCLUELET VILLAGE GREEN REVITALIZATION**

Project

**MATERIALS PLAN - NORTH**

Title

21-317 0 1:200 10  
Project No. Scale

**L1.0**  
Drawing No. Permit No. Revision



## INFORMATION REPORT

Council Meeting: October 6, 2022  
500 Matterson Drive, Ucluelet, BC V0R 3A0

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<b>FROM:</b>	JOSEPH ROTENBERG MANAGER OF CORPORATE SERVICES	<b>FILE NO:</b> 0550-20
<b>SUBJECT:</b>	RESOLUTION TRACKING – OCTOBER 2022	<b>REPORT NO:</b> 22-147
<b>ATTACHMENT(S):</b>	APPENDIX A - RESOLUTION TRACKER – OCTOBER 2022	

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### PURPOSE

The purpose of this report is to provide Council with a monthly status update on resolutions that have been adopted by Council.

### BACKGROUND

The resolution tracking report, attached, provides Council with an overview of actions resulting from resolutions of Council. Trackers are assigned to staff with the following progress designations:

- Assigned – action has not yet commenced;
- In Progress – action has been taken by Staff; and,
- Complete – action has been completed.

Items will be removed from the list after actions are shown once as being completed.

**Respectfully submitted:** JOSEPH ROTENBERG, MANAGER OF CORPORATE SERVICES





Date	Meeting Item Description	Resolution	Action	Department Responsible	Follow-Up Status
September 25, 2018	Lease with Ucluelet & Area Historical Society	THAT Council approve recommendation 1 of report item, "Lease with Ucluelet & Area Historical Society", which states: THAT Council enter into a lease agreement with the Ucluelet and Area Historical Society that is similar to their original Provincial Lease #111228 – Block A District Lot 1507, Clayoquot Land District for approximately 2.4 hectares	Meet with UAHS looking at options. UAHS to get back to Ms. Fortune to confirm the direction they would like to proceed	Parks & Recreation	Society has been issued proposed lease agreement. Staff awaiting response from society. No further action recommended.
December 10, 2019		THAT Staff provide Council with options for rejuvenating the Frank Jones Memorial site.	Staff to provide Council with options for rejuvenating the Frank Jones Memorial site	Parks & Recreation	Differed for future consideration with future planning for tugwell park area. No further action
January 14, 2020		THAT Staff work with Black Rock Oceanfront Resort & Spa to identify unique solutions for navigation to the resort	A.) Incorporate options for directional landmarks in designs for Peninsula Road B.) Staff to follow up with Black Rock to discuss options for appropriate directional signs	Planning	A.) Prelim. design complete. Likely construct w/ future phase. B.) Options for directional signage to be revisited @
February 23, 2020	District of Ucluelet Flood Mapping Project Bruce Greig, Manager of Community Services	THAT Council earmark the results of the flood mapping project for upcoming discussions in the Strategic Planning update and subsequent Budget preparations, for next steps to: update Emergency Preparedness plans; consider resiliency in long-term Asset Management planning; consider changes to development regulations, including a process for public consultation, as they relate to existing properties; and, consider new policy on future developments to avoid areas of flood risk.	Use report findings to update strategic planning, emergency preparedness plans, asset management planning, development regulations, policies related to development and subsequent budget preparation.	Administration	Assigned: this will be brought back during strategic and budget planning.
June 14, 2020	Audio Visual Upgrades for the Main Hall	THAT Council approve using up to \$60,000 RMI funds for Audio Visual (AV) upgrades to the Main Hall at the Ucluelet Community Centre.	Implement AV upgrades.	Parks & Recreation	In Progress - Final installation to be completed by Dec 2022.
October 13, 2020	Revised Covenant and Option to Purchase - Lot 13 Marine Drive Bruce Greig, Manager of Community Planning	THAT Council indicate that the offer to provide funding in the amount of \$320,000.00 to support the servicing and infrastructure of the development to reduce the cost of units to qualifying households would remain valid until September 1, 2025, and would be payable upon the owner obtaining a final occupancy permit for the last of the 33 houses to be built on the proposed lots.	Pay funds to the developer if and when occupancy permits are issued.	Finance	Assigned: Long Term Project Subject to Developer performance.
December 15, 2020	Development of "The Cabins" Properties in the Reef Point Area John Towgood, Planner 1	THAT Council authorize the following: a. discharge of Statutory Right-of-Way EL10355 from the Cabins Property, as defined in this report, at the time the subdivision is registered to redefine the parcel boundaries for the subject properties; and, b. removal of section 3.a from Statutory Right-of-Way EL10354 from the Lodge and the Staff Housing Property, as defined in this report, at the time the subdivision is registered to redefine the parcel boundaries for the subject properties; and,	Refer Discharge and Amendment of SRWs to the subdivision process once application is received.	Planning	referral Complete - subdivision underway.
June 15, 2021	Resolution Tracking - May 2021 Paula Mason, Administration Clerk	THAT staff provide a report to Council with options for the investment of Barkley Community Forest Funds at an upcoming Council Meeting.	Staff to develop a legacy reserve fund as part of the statutory reserve policy	Finance	Bylaw and policy under development as directed from C.W.
September 21, 2021	Dr. Carrie Marshall and Faye Missar, Coastal Family Resource Coalition Re: Harm Reduction	THAT Council direct Staff to bring back the alcohol harm reduction information to at a future meeting for Council discussion.	Draft report and bring back alcohol related information for Council discussion.	Recreation	Assigned
October 12, 2021	Every Child Matters Crosswalk Courtney Johnson	THAT Council Consider implementing an Every Child Matters crosswalk during the 2022 Budget process.	Added to 2022 budget. Workplan in progress.	Public Works	Complete
October 26, 2021	Review of Bylaw 967, 2004 Rick Geddes, Fire Chief, Ucluelet Fire Rescue	THAT Council directs staff to update Bylaw No. 967, 2004 in the form of a new bylaw to regulate the sale, use, and possession of fireworks within the municipality by:  a. prohibiting the sale, use, or possession of Consumer fireworks; and, b. permitting the use of Display Fireworks and Special Effect Pyrotechnics through a permitting process.	Staff reviewing existing bylaws and developing updated fireworks bylaw for consideration.	Fire & Emergency Services	Complete

October 26, 2021	Correspondence Regarding Bay Street Speed Controls and Crosswalk	THAT Council direct Staff to present a report regarding speed controls for consideration at a future meeting of Council.	Added to 2022 budget. Workplan in progress.	Public Works	Presentation coming up in Autumn
December 14, 2021	Parking Concerns 1624 Bay Street James MacIntosh, Director, Engineering Services	THAT Council direct staff to relocate the pedestrian pathway and cross walk currently located on the west side of Bay Street to the east side of Bay Street.	Develop new routing plan; convey plan to affected residents and implement project.	Public Works	Re-alignment will occur with next paving project.
January 11, 2022	Union of BC Municipalities 2022 Joint EOC Grant Application Rick Geddes, Fire Chief	It was moved and seconded THAT Council approve Option A, that the District of Ucluelet agrees to partner with the Alberni-Clayoquot Regional District on the Union of BC Municipalities 2022 Community Emergency Preparedness Fund's Emergency Operations Centres and Training grant and therefore, authorizes the ACRD to apply for, receive and manage grant funding on behalf of the District of Ucluelet.	Grant was successful. In the process of upgrading our EOC IT equipment. ACRD is planning the emergency exercise through the grant.	Fire & Emergency Services	In progress
February 22, 2022	Water Treatment System Upgrades James MacIntosh, Director of Engineering Services	It was moved and seconded THAT Council approve option A: to authorize Staff to complete the Alternative Approval Process for a \$13 million loan as part of the water treatment system project; and,  THAT Council authorize Staff to issue a Request for Proposal in 2022 for the Design-Bid-Build of the water treatment system project upon a successful Alternative Approval Process; and,  THAT Council authorize Staff to complete pre-project work for the water treatment system project in an amount not to exceed \$300,000 funded through water reserves and the Investing in Canada Infrastructure Shared Cost Agreement.	1. Bring Loan Auth Bylaw for first, second & third readings - March 15, 2022 2. Send Bylaw to Inspector for approval 3. After approval, bring RTC asking for AAP to be approved, approving electoral response forms, electoral response deadline and establish number of electors. 4. If AAP is successful, adopt Bylaw.  5. Issue a Request for Proposal in 2022 for the Design-Bid-Build of the water treatment system project upon a successful Alternative Approval Process; and,  6. Complete pre-project work for the water treatment system project in an amount not to exceed \$300,000 funded through water reserves and the Investing in Canada Infrastructure Shared Cost Agreement.	Finance  Administration  Public Works	Complete  Complete  Assigned
February 22, 2022	Development Permit 1536 Peninsula Road John Towgood, Municipal Planner	THAT Council approve issuance of Development Permit DP21-06 for a two-motel unit addition to the Francis Boutique Inn, located at 1536 Peninsula Road (Lot B, VIP59620, District Lot 282, Section 21, Clayoquot Land District).	Issue Development Permit DP21-06	Planning	Complete
March 29, 2022	2023 Larch Road Multi-Use Path Project - Grant Applications John Towgood, Municipal Planner	It was moved and seconded THAT Council, with regard to the 2023 Larch Road Multi-Use Path project, direct Staff to: Ap ply for both the Active Transportation Fund (Federal) and the BC Active Transportation (Provincial) grants. Prepare a letter of endorsement from the District of Ucluelet to the two granting agencies to highlight the following points: That creating a safe and welcoming environment for people on foot and on bicycles in Ucluelet's commercial core is of high importance to the community and its livability. That making this core area of Ucluelet's public realm more accessible is important to achieve the community's goal to be more inclusive and equitable. That the proposed works are critical to safely integrate the expected increase in cycling traffic from the new Pacific Rim National Park Reserve's ʔapsčik łašii multi-use pathway and the Peninsula Road Safety and Beautification project. That the improvements in the project area's pedestrian and cycling movement and the beautification of the project area would enhance the visitor and resident experience and	Prepare letter of endorsement and apply for Active Transportation Fund & BC Active Transportation grants	Planning	ATF grant (federal) application complete. BC ATF in progress.
March 29, 2022	Harbour Authority Request for Letter to address creosote pilings replacement Abby Fortune, Director of Parks & Recreation	It was moved and seconded THAT Council approve Option A, to write a letter to the Department of Fisheries (DFO), Small Craft Harbours, asking that they consider using materials other than creosote, when replacing pilings in the harbour.	Write & Forward letter to DFO	Administration	In Progress - The Harbour Manager is working with DFO to determine environmentally friendly options. An update will be presented for the Harbour Authority to

March 29, 2022	Notice of Property Disposition Abby Fortune, Director of Parks & Recreation	It was moved and seconded THAT Council authorize staff to issue a public Notice of Proposed Property Disposition, in accordance with section 94 of the Community Charter, for a portion of Lot A, Plan VIP569363, District Lot 281, Land District 09 Except Plan VIP75072 and more commonly referred to as 500 Matterson Drive to the Ucluelet and Area Childcare Society, by way of lease for a term of five years from April 1, 2022, to March 31, 2027, in the amounts of \$23,653.83 in 2022 (pro-rated), \$32,169.21 in 2023, \$32,812.59 in 2024, \$33,468.84 in 2025, \$34,138.22 in 2026, and \$8,705.25 in 2027 (pro-rated) exclusive of tax and utilities; and further  THAT Council direct staff to execute the lease agreement accordingly.	Publish Public Notice Execute Lease Agreement	Recreation	Lease agreement being excuted. Lease is with Childcare Society. Awaiting signature from society.
April 19, 2022	Update on Village Green: Main & Cedar Intersection Bruce Grieg, Director of Community Planning	It was moved and seconded THAT Council direct staff to explore costs for adding parking stalls within the current extents of the Cedar Road Parking Hub, for consideration in the 2023 budget.	Explore costs for exploring the addition of parking stalls within the Cedar Hub Parking Hub, for consideration in the 2023 budget.	Public Works	Under investigation
April 19, 2022	Notes from meeting of Ucluelet Concerned citizens - March 21, 2022 Patricia Sieber, Ucluelet Concerned Citizens group	No motion made - direction given from Council during Correspondence Items section	Add more Notice Boards in town (Community Centre / Municipal Building / Post Office). Inquire as to the use of the digital sign outside the high school.	Administration	Assigned
April 19, 2022	Notes from meeting of Ucluelet Concerned citizens - March 21, 2022 Patricia Sieber, Ucluelet Concerned Citizens group	No motion made - direction given from Council during Correspondence Items section	Mount more informational boards in the area of the Village Green project.	Administration	Assigned
April 19, 2022	Traffic Calming Next Steps James MacIntosh, Director of Engineering	It was moved and seconded THAT the Committee of the Whole portion of the meeting be adjourned at 5:24 pm, to return to the Regular Meeting.	Prepare a draft traffic calming policy	Public Works	Draft Policy completed and coming to Council in Autumn
April 19, 2022	Randy Oliwa, Pacific Rim Home Development Cooperative (PRHDC) Re: Non-Market Housing Project	It was moved and seconded THAT Council direct staff to prepare a report regarding the Pacific Rim Home Development Cooperative's initiative to a future meeting of Council for their review.	Prepare a report regarding the Pacific Rim Home Development Cooperative's initiative	Planning	In Progress - report from Sept. 21, 2021, reviewed potential sites; staff met with reprentatives of PRHDC; business case & options review to future Council mtg.
April 26, 2022	DVP & DP 1666 Peninsula Road – Peninsula Road Motel John Towgood, Municipal Planner	It was moved and seconded THAT Council, with regard to the proposed redevelopment and expansion at 1666 Peninsula Road (Lot 5 & 6, Plan VIP3486, District Lot 282, Clayoquot Land District): 1. Subject to public comment, approve the issuance of Development Variance Permit 22-01 for a minimum front yard setback of 11'-11" from the lot line abutting Peninsula Road, whereas section CS-2.6.2 of the Ucluelet Zoning Bylaw No. 1160, 2013 requires 15ft; and, 2. Approve the issuance of Development Permit 22-01 for the following: a. removal of an existing commercial building (the Sake Sushi building). b. renovation of an existing motel building. c. addition of a 3-storey motel building (off Larch Road), a 2-storey motel building (mid property), and a 2-storey mixed Commercial / Resort Condo building (fronting Peninsula Road). d. associated landscape and hardscape works. e. removal of invasive species during land remediation.	Issue of Development Variance Permit 22-01. Issue Development Permit 22-01.	Planning	Complete
April 26, 2022	Jeff Anderson, Rotary Club of Ucluelet Re: Frisbee Golf Course Development	It was moved and carried THAT Council direct staff to prepare a report on the development of a Frisbee Golf Course in Ucluelet, specifically using the land behind the water tower for the course, for council's consideration.	Prepare a report on the development of a Frisbee Golf Course in Ucluelet, specifically using the land behind the water tower for the course, for council's consideration.	Parks & Recreation	In Progress achiological and environmental assessments currently underway



29 May 2022	Strategic Priorities Fund Capital Infrastructure Grant Application	<p>It was moved and seconded THAT Council approves Option A, to approve a grant application for the development of a replacement regional fire hall through the 2022 Strategic Priorities Fund Capital Investment Grant program to a maximum of \$7.5M; and</p> <p>THAT Council provides overall grant management; and</p> <p>THAT Council provides up to \$1.5M towards the Firehall Project.</p> <p>It was also moved and seconded THAT Council direct staff to include funding to undertake a fire services review for consideration within the 2023 budget.</p>	Grant application was submitted as of June 30, 2022. Include funding to undertake a fire services review for consideration within the 2023 budget.	Fire & Emergency Services / Finance	In progress
29 May 2022	Tribal Guardian Program - Kennedy Back Road System	<p>It was moved and seconded THAT Council direct staff to reallocate \$20,000 designated for the relocation of the Tourism Ucluelet office to the District of Ucluelet Grants in Aid program; and</p> <p>It was moved and seconded THAT Council authorize a \$20,000 Grant in Aid to the Tla-o-qui-aht First Nations Tribal Park Guardian program for the oversight of dispersed camping.</p>	Reallocate \$20,000 designated for the relocation of the Tourism Ucluelet office to the District of Ucluelet Grants in Aid program. Authorize a \$20,000 Grant in Aid to the Tla-o-qui-aht First Nations Tribal Park Guardian program.	Finance	Assigned - awaiting invoice
30 May 2022	Affordable Housing RFP	<p>It was moved and seconded THAT the Committee of the Whole recommend that Council direct staff to issue a request for proposal to engage a housing authority.</p> <p>It was moved and seconded THAT the Committee of the Whole direct staff to continue to investigate: the purchase of land to be dedicated to affordable housing projects; and the use of affordable housing partnership development agreements; and reducing development cost charges for affordable housing developments.</p> <p>It was moved and seconded THAT the Committee of the Whole recommend Council authorize the Mayor to execute a Memorandum of Understanding in support of the development of a regional governance framework for coordinating and sharing resources to address affordable housing on the West Coast peninsula as presented in the May 31, 2022 Affordable Housing report.</p> <p>It was moved and seconded THAT the Committee of the Whole rise and report to Council at 5:51pm.</p> <p>It was moved and seconded THAT Council direct staff to issue a request for proposal to engage a housing authority.</p> <p>It was moved and seconded THAT Council direct staff to continue to investigate: the purchase of land to be dedicated to affordable housing projects; and the use of affordable housing partnership development agreements; and reducing development cost charges for affordable housing developments.</p> <p>It was moved and seconded THAT Council authorize the Mayor to execute a Memorandum of Understanding in support of the development of a regional governance framework for coordinating and sharing resources to address affordable housing on the West Coast peninsula as presented in the May 31, 2022 Affordable Housing report.</p> <p>It was moved and seconded THAT Council take a brief recess at 5:56pm, returning to session at 6:08pm.</p>	Issue a request for proposal to engage a housing authority. Continue to investigate the purchase of land to be dedicated to affordable housing projects; and the use of affordable housing partnership development agreements; and reducing development cost charges for affordable housing developments. Execute a Memorandum of Understanding	Administration	Assigned
31 May 2022	Contractor's Temporary Land Use	<p>It was moved and seconded THAT Council approve Option A, to authorize the use of District-owned land to temporarily house contractors while working on District capital projects; and</p> <p>It was moved and seconded THAT Council direct Staff to return to Council with the details and planning necessary to administer temporary contractor housing.</p>	Return to Council with the details and planning necessary to administer temporary contractor housing.	Public Works	In progress. Autumn update
31 May 2022	Recreational Vehicle Parking Pilot	It was moved and seconded THAT Council approve Option A, authorize Staff to undertake a Recreational Vehicle Parking Pilot Project for 2022.	Undertake a Recreational Vehicle Parking Pilot Project for 2022.	Public Works	Complete

Appendix A

Resolution Tracker Joseph Rotenberg, Manager of Corporate Services

1 Jun 2022	Zoning Amendment Application - Pacific Rim Charters & Guest Lodge (354 Forbes Road)	<p>It was moved and seconded THAT Council give first and second readings to Ucluelet Zoning Amendment Bylaw No. 1303, 2022; THAT Council refer Ucluelet Zoning Amendment Bylaw No. 1303, 2022, to a public hearing;</p> <p>THAT Council rescind third reading of Ucluelet Housing Agreement Bylaw No. 1249, 2019;</p> <p>THAT Council amend Ucluelet Housing Agreement Bylaw No. 1249, 2019, to include the new section 3 in Schedule A and to replace Schedule B as shown in Appendix B to the staff report dated March 15, 2022;</p> <p>THAT Council give Ucluelet Housing Agreement Bylaw No. 1249, 2019, third reading as amended; and,</p> <p>THAT Council direct that any business license issued for Commercial Tourist Accommodation use on</p>	<p>Make arrangements for a public hearing and provide notice of, for Ucluelet Zoning Amendment Bylaw No. 1303, 202.</p> <p>Direct that any business license issued for Commercial Tourist Accommodation use on the property at 354 Forbes Road contain the condition that the business license would not be renewed unless an appropriate fire access easement is first registered on the title of the neighbouring vacant lot.</p>	Corporate Services / Planning	Complete
1 Jun 2022	Trail Right of Way over 348 Pass of Melfort	<p>It was moved and seconded THAT Council, for the purposes of creating a public pathway over 348 Pass of Melfort, Strata Lot 10, Plan VIS5896, Section 1, Barclay Land District:</p> <p>1. Direct District of Ucluelet staff to execute and register the S.218 Statutory Right of Way attached as Appendix A of staff report 22-78.</p> <p>2. Direct District of Ucluelet staff to coordinate the environmental and estimating work required so that a public pathway over 348 Pass of Melfort and relocated elements of the Wild Pacific Trail can be considered and prioritized in future budgeting process. It was moved and seconded THAT a letter of appreciation be forwarded to the property owners and some form of tribute to them be included in the trail construction.</p>	Execute and register the S.218 Statutory Right of Way attached as Appendix A of staff report 22-78. Coordinate the environmental and estimating work required so that a public pathway over 348 Pass of Melfort and relocated elements of the Wild Pacific Trail can be considered and prioritized in future budgeting process. Forward a letter of appreciation to the property owners and include some form of tribute to them in the trail construction.	Planning	In Progress - awaiting owners' signature.
1 Jun 2022	Temporary Use Permit 1632 Bay Street	It was moved and seconded THAT Council, subject to public comment and provided that the applicant reorient the trailer to be perpendicular to the residence, authorize the issuance of Temporary Use Permit 22-02 to allow one seasonal RV camping space for local workers in the front yard of 1632 Bay Street for a period of 6 months.	Once the trailer has been moved to be perpendicular to the residence, issue Temporary Use Permit 22-02	Planning	Complete
1 Jun 2022	Temporary Use Permit 1992 Peninsula Road	<p>It was moved and seconded That Council, subject to public comment authorize;</p> <p>1. Amend Temporary Use Permit 19-04 by adding two new seasonal RV camping spaces for local workers to the rear of the Howlers Restaurant to the existing permit allowance of one space; and</p> <p>2. Renew Temporary Use Permit 19-04, as amended, for a total of three seasonal RV camping spaces for local workers to the rear of the Howlers Restaurant for a period of 3 Years.</p>	Amend and reissue Temporary Use Permit 19-04	Planning	Complete
2 Jun-22	Official Community Plan Bylaw No. 1306, 2022	<p>It was moved and seconded;</p> <p>THAT Council give third reading to District of Ucluelet Official Community Plan Bylaw No. 1306, 2022; and,</p> <p>THAT Council adopt District of Ucluelet Official Community Plan Bylaw No. 1306, 2022</p>	Print, sign and file the OCP. Upload to Ucluelet.ca	Administration	Complete
2 Jun-22	Zoning Amendment Bylaw No. 1309 – 604 Rainforest Drive	It was moved and seconded THAT Council give third reading to District of Ucluelet Zoning Amendment Bylaw No. 1309, 2022, to facilitate the proposed mixed-use development on the property at 604 Rainforest Drive including health care office and resort condominiums.	Bring back Bylaw 1309 for Council to consider adoption.	Planning	In Progress - covenant underway
29-Jun-22	Zoning Amendment Bylaw No. 1312, 2022 – 221 Minato Road	It was moved and seconded THAT Council give third reading to District of Ucluelet Zoning Amendment Bylaw No. 1312, 2022 to facilitate the proposed housing development on the property at 221 Minato Road.	Bring back Bylaw 1312 for Council to consider adoption.	Planning	In Progress - covenant underway
29-Jun-22	Request for Letter of Support - Shoreline Cleanup	It was moved and seconded THAT Staff prepare a letter of support for Coastal Restoration Society's shoreline clean-up project for the Broken Island Group.	Draft letter of support for the Shoreline Cleanup project.	Administration	Complete
19-Jul-22	June 29, 2022, Special Council Minutes	THAT Council adopt the June 29, 2022, Special Council Meeting Minutes as presented.	Print, file and post minutes.	Administration	Complete
19-Jul-22	B&B, Short Term Rental and Accessory Residential Dwelling Units	THAT Council direct staff to amend the District of Ucluelet Zoning Amendment Bylaw No. 1310, 2022 and the Ucluelet Business Regulation and Licensing Bylaw, Bylaw No. 922, 2003 to meet the objectives and policy changes identified by the Committee of the Whole in the July 19, 2022 committee of the whole report No. 22-99.	Present report regarding the amended Bylaws for Council consideration.	Planning	Complete
19-Jul-22	Officers and Officials Bylaw	THAT Council give first, second and third readings to District of Ucluelet Officers and Officials Bylaw No. 1315, 2022.	Bring back this Bylaw for Council to consider adoption.	Administration	Complete
19-Jul-22	Contract Authorization for Storm Drain and Sanitary Sewer Upgrades	THAT Council approve Option A, to authorize the Mayor and Corporate Officer to execute a contract to Vike Construction Ltd. for a total of \$443,100 (plus G.S.T.) for the supply of all materials, labor, and equipment to install Peninsula Road storm and sanitary sewer upgrades between Matterson and	Coordinate execution of the agreement.	Administration/Engineering	Assigned

1-Jul-22	West Coast Multiplex MOU	THAT Council refer West Coast Multiplex Society's letter to Staff to provide a report on the Memorandum of Understanding request.	Present a report to Council regarding the MOU request.	Administration	Complete
02-Aug-22	Bed & Breakfasts and Accessory Dwelling Units - Amendments to the Ucluelet Zoning Bylaw and Business Regulation and Licensing Bylaw Bruce Greig, Director of Community Planning	3. THAT Council give second reading to District of Ucluelet Zoning Amendment Bylaw No. 1310, 2022, as amended; 4. THAT Council refer District of Ucluelet Zoning Amendment Bylaw No. 1310, 2022., to a public hearing; 5. THAT Council give first, second and third reading to Ucluelet Business Regulation and Licensing Bylaw Amendment Bylaw No. 1313, 2022; and, 6. THAT Council direct staff to publish notice on the District website and in 2 issues of the Westerly news of the proposed Ucluelet Business Regulation and Licensing Bylaw Amendment Bylaw No. 1313, 2022, and provide an opportunity for the public to make written representations or verbal	Amend bylaw, give notice, conduct public hearing for Bylaw No, 1310, 2022.  Give notice and provide an opportunity to make written submissions and verbal comments on Bylaw No. 1313, 2022 and bring back Bylaw for Adoption.	Planning	Complete
1-Aug-22	July 19, 2022, Regular Council Minutes	THAT Council adopt the July 19, 2022, Regular Council Minutes as presented.	Print, sign, file and post.	Administration	Complete
1-Aug-22	West Coast Multiplex Memorandum of Understanding	THAT Council direct staff to advise the West Coast Multiplex Society that Ucluelet may consider signing an updated memorandum of understanding upon renewed stakeholder consultation in the determination of regional recreation priorities and affirmation of local and regional support for a multiplex facility.	Write to West Coast Multiplex Society to communicate this resolution.	Administration	Assigned
1-Aug-22	Development Permit for A Resort Condo Development at 1015 Peninsula Road	THAT Council, with regard to the proposed Resort Condo development at 1015 Peninsula Road (Lot 5 Section 21 Clayoquot District Plan VIP67274; PID 024-167-525): Subject to public comment, approve the issuance of Development Variance Permit 22-04 for:  a. a minimum front yard setback of 2.59m from the front lot line for an existing yurt type office building, whereas section CS-5.6.1 (1) of the Ucluelet Zoning Bylaw No. 1160, 2013 requires 6m; and,  b. a minimum front yard setback of 1.5m from the front lot line for a garbage storage enclosure, whereas section CS-5.6.1 (1) of the Ucluelet Zoning Bylaw No. 1160, 2013 requires 6m; and,  c. two parking spaces with a zero setback, whereas section 503.2 (1) of the Ucluelet Zoning Bylaw No. 1160, 2013 requires that parking spaces must not be located within 3m of the lot line abutting Peninsula Road	Issue DVP 22-04.	Planning	Complete
1-Aug-22	Development Permit for A Resort Condo Development at 1015 Peninsula Road	2. Approve the issuance of Development Permit 22-02 for an eight-unit cabin-style Resort Condo development and associated landscape and hardscape works.	Issue DP 22-02.	Planning	Complete
1-Aug-22	Development Variance Permit 22-02	THAT Council, subject to public comment, authorize the Director of Community Planning to execute and issue Development Variance Permit DVP22-02 for a storage facility (shed) of up to 46.14 m3 (cubic meters) with a height of up to 3.1 meters, whereas section 4.16 of the Ucluelet Mobile Home Parks Bylaw No. 513, 1988 allows a shed to be constructed to 17 - 25 m3 (cubic meters) in volume; and 2.4 meters in height	Issue DVP 22-02	Planning	Complete
1-Aug-22	Temporary Use Permit - 695 Rainforest Drive	THAT Council, subject to public comment, authorize the Director of Community Planning to execute and renew Temporary Use Permit 19-05, to allow seasonal accommodation for one Recreational Vehicle/ Camping space for local workers for a period of 3 Years.	Issue a renewal to TUP 19-05.	Planning	Complete
16-Aug-22	Temporary Use Permit - 1187 Peninsula Road	THAT Council, subject to public comment, authorize the Director of Community Planning to execute and issue Temporary Use Permit 22-08 to allow one seasonal Recreational Vehicle for an employee of Little Beach Resort at 1187 Peninsula Road for a period of three years.	Issue TUP 22-08	Planning	In Progress - owner deposit required
16-Aug-22	Temporary Use Permit - 1604 Peninsula Road	1. THAT Council, with regard to the proposed change of use at 1604 Peninsula Road, subject to public comment, authorize the Director of Community Planning to execute and issue Temporary Use Permit 22-09 to allow the operation of a Daycare Facility at 1604 Peninsula Road for a period of three years;  2. THAT Council direct staff to prepare a letter for the Mayor's signature, requesting guidance from the Yuułuꞵiꞵaꞵh Government on their preference for the long-term location of the canoe log which is currently on loan to the District of Ucluelet and located at 1604 Peninsula Road, and expressing the District's support for working together on its appropriate care and relocation	Issue TUP 22-09 and prepare letter for Mayor's signature.	Planning/Administr	1. TUP complete 2. Assigned
16-Aug-22	Temporary Use Permit (Weyerhaeuser Lands)	THAT Council, subject to public comment, authorize the Director of Community Planning to execute and issue Temporary Use Permit 22-07 to allow eight seasonal Recreational Vehicle (RV) camping spaces for local workers at the Weyerhaeuser "Phase 5 Ocean West" development for a period of six months	Issue TUP 22-07.	Planning	Complete
16-Aug-22	Loan Authorization Bylaw No. 1304, 2022 - Adoption - Water System and Filtration Improvement Project	THAT Council adopt Loan Authorization Bylaw No. 1304, 2022.	Update bylaw, sign and file.	Administration	Complete

14-Aug-22	Fireworks Regulation Bylaw 1302, 2022	THAT Council gives first, second, and third reading to District of Ucluelet Fireworks Regulation Bylaw No. 1302, 2022; and,	Update Bylaw and bring back for adoption.	Fire	Complete
16-Aug-22	Fireworks Regulation Bylaw 1302, 2022	THAT Council approves the Fireworks Fines & Penalties as presented in staff report No. 22-113 and directs staff to present an amendment to Municipal Ticket Information System Bylaw No. 949, 2004 to include these fines and penalties.	Draft MTI amendment bylaw and bring forward for Council review.	Administration	Assigned - these updates will be introduced in 2023
17-Aug-22	Municipal and Regional District Tax Bylaw No. 1314, 2022 - A bylaw to request an increase to the Municipal and Regional District Tax Rate from 2% to 3% under provisions of the Provincial Sales Tax	THAT Council abandon District of District of Ucluelet Municipal and Regional District Tax Bylaw No. 1315, 2022.  THAT Council give first, second and third reading to District of Ucluelet Municipal and Regional District Tax Bylaw No. 1314, 2022.	Update Bylaw Tracker and update bylaws. Bring back for adoption.	Administration	Complete
17-Aug-22	Officers and Officials Bylaw - Adoption	THAT Council adopt the Officers and Officials Bylaw No. 1315, 2022.	Update bylaw, sign and file.	Administration	Complete
17-Aug-22	Reserves Establishment Bylaw No. 1317, 2022	THAT Council approve Option A, to give District of Ucluelet Reserves Establishment Bylaw No. 1317, 2022 first, second and third reading as presented.	Update bylaw, bring back to Council to consider adoption.	Administration	Complete
17-Aug-22	Fees and Charges Amendment Bylaw No. 1316, 2022	THAT Council approve Option A, to give District of Ucluelet Fees and Charges Amendment Bylaw No 1316, 2022 first, second, and third reading.	Update bylaw, bring back to Council to consider adoption.	Chief Financial Officer	Complete
17-Aug-22	Fees and Charges Amendment Bylaw No. 1316, 2022	THAT Council direct staff to publish notice on the District website and in 2 issues of the Westerly news of the proposed District of Ucluelet Fees and Charges Amendment Bylaw No 1316, 2022, and provide an opportunity for the public to make written representations or verbal comments to Council prior to adoption of the bylaw.	Give notice of the proposed changes.	Chief Financial Officer	Complete
08-Sep-22	Instructor Insurance Abby Fortune, Director of Parks and Recreation	It was moved and seconded:  THAT Council approve the provision of general liability insurance for contract activity instructors who form the Ucluelet Activity Instructors Group, through the Municipal Insurance Association's Associate Member Program; and,  THAT Council authorize the Director of Parks & Recreation, on behalf of the District of Ucluelet, to enter into Service Provider Agreements with individual recreation instructors for the provision of general liability insurance through the District's liability insurance held with the Municipal Insurance Association of British Columbia	Obtain general liability insurance for instructors from MIABC and enter into Service Provider Agreements with individual instructors.	Recreation	Completed
08-Sep-22	Appointment of a New Deputy Chief Election Officer for the 2022 General Local Election Joseph Rotenberg, Manager of	It was moved and seconded THAT Council: appoint Abigail Fortune as a District of Ucluelet Deputy Chief Election Officer, effective September 6, 2022; and rescind Paula Mason's appointment as District of Ucluelet Deputy Chief Election Officer, effective September 16, 2022.	Have Abigail Fortune execute the oath.	Administration	Complete
08-Sep-22	Municipal and Regional District Tax Bylaw No. 1314, 2022 - Adoption Joseph Rotenberg, Manager of	It was moved and seconded THAT Council adopt District of Ucluelet Municipal and Regional District Tax Bylaw No. 1314, 2022.	Print, sign and file Bylaw. Send Bylaw to Tourism Ucluelet.	Administration	Complete
08-Sep-22	Amendments to the Ucluelet Business Regulation and Licensing Bylaw Deena Menteith, Chief Financial	It was moved and seconded THAT Council adopt District of Ucluelet Business Regulation and Licensing Bylaw Amendment Bylaw No. 1313, 2022.	Consolidate amendments.	Administration	Assigned - consolidation will occur after the
06-Sep-22	Amendments to the Ucluelet Business Regulation and Licensing Bylaw Deena Menteith, Chief Financial	It was moved and seconded THAT Council adopt District of Ucluelet Business Regulation and Licensing Bylaw Amendment Bylaw No. 1313, 2022.	Print, sign and file Bylaw.	Administration	Complete
06-Sep-22	Fees and Charges Amendment Bylaw - Adoption Deena Menteith, Chief Financial	It was moved and seconded THAT Council adopt District of Ucluelet Fees and Charges Amendment Bylaw No. 1316, 2022.	Print, sign, and file Bylaw.	Administration	Complete
06-Sep-22	Fees and Charges Amendment Bylaw - Adoption Deena Menteith, Chief Financial	It was moved and seconded THAT Council adopt District of Ucluelet Fees and Charges Amendment Bylaw No. 1316, 2022.	Consolidate amendments.	Administration	Assigned - consolidation will occur after the
06-Sep-22	August 16, 2022, Regular Council Meeting	It was moved and seconded THAT Council adopt the August 16, 2022, Regular Council Meeting Agenda as presented.	Print, sign, file and post minutes.	Administration	Complete
06-Sep-22	August 2, 2022, Special Council Minutes	It was moved and seconded THAT Council adopt the August 2, 2022, Special Council Meeting Minutes as presented.	Print, file, sign and post minutes.	Administration	Complete
06-Sep-22	Bed & Breakfast and Accessory Residential Dwelling Units Amendments to the Ucluelet Zoning Bylaw	It was moved and seconded THAT Council adopt District of Ucluelet Zoning Amendment Bylaw No. 1310, 2022.	Print, sign, and file Bylaw.	Administration	Complete
20-Sep-22	Resort Development Strategy Final Draft Abigail K. Fortune, Director of	It was moved and seconded THAT Council approve the submission of Ucluelet's Resort Development Strategy 2022 – 2025 to the Ministry of Tourism, Arts, Culture and Sport for ministerial approval.	Submit RDS to the Ministry of Tourism, Arts, Culture and Sport for ministerial approval	Recreation	Completed



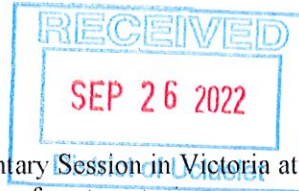
26-Sep-22	Contract Authorization - Amphitrite House Construction James MacIntosh, Director of Engineering Services	It was moved and seconded THAT Council authorize the Mayor and the Corporate Officer to execute a \$1,000,000 contract between the District of Ucluelet and Saltwater Building Co for the supply of materials and labour to reconstruct the Amphitrite house and grounds.	Obtain signatures and file contract.	Administration	Assigned
26-Sep-22	Environmental Development Permit for 1251 Sunset Point Road Monica Whitney-Brown, Planning Assistant	It was moved and seconded THAT Council authorize the Director of Community Planning to execute and issue Environmental Development Permit DP22-06 for the property at 1251 Sunset Point Road to allow the construction of a single-family dwelling on a lot designated within a Marine Shoreline development permit area.	Issue DP22-06.	Planning	In Progress
26-Sep-22	Environmental Development Permit for 772 Marine Drive Monica Whitney-Brown, Planning Assistant	It was moved and seconded THAT Council authorize the Director of Community Planning to execute and issue Environmental Development Permit DP22-07 for the property at 772 Marine Drive to allow the construction of a single-family dwelling on a lot designated as Terrestrial and Riparian development permit areas.	Issue DP22-07.	Planning	In Progress
26-Sep-22	Development Variance Permit 22-05 Monica Whitney-Brown, Planning Assistant	It was moved and seconded THAT Council, authorize the Director of Community Planning to execute and issue Development Variance Permit DVP22-05 to allow the construction of a deck with a minimum exterior side yard setback of 2.08 meters from the lot line whereas section R-4.6.1 of District of Ucluelet Zoning Bylaw No. 1160, 2013 requires 2.5 meters.	Issue DVP22-05	Planning	Complete
26-Sep-22	Reserves Establishment Bylaw - Adoption Donna Monteith, Chief Financial Officer	It was moved and seconded THAT Council adopt Reserves Establishment Bylaw No. 1317, 2022.	Sign and file Bylaw.	Administration	Complete
20-Sep-22	Zoning Amendment Application Pacific Rim Charters & Guest Lodge (354 Forbes Road) Bruce Greig, Director of Community Planning	It was moved and seconded THAT Council adopt Ucluelet Housing Agreement Bylaw No. 1249, 2019.	Sign and file Bylaw.	Administration	Complete
26-Sep-22	Zoning Amendment Application Pacific Rim Charters & Guest Lodge (354 Forbes Road) Bruce Greig, Director of Community Planning	It was moved and seconded THAT Council adopt District of Ucluelet Zoning Bylaw Amendment Bylaw No. 1303, 2022.	Sign and file Bylaw.	Administration	Complete
26-Sep-22	Fireworks Bylaw No. 1302, 2022 - Adoption Rick Geddes, Fire Chief	It was moved and seconded THAT Council adopt District of Ucluelet Fireworks Regulation Bylaw No. 1302, 2022.	Sign, post and file Bylaw.	Administration	In Progress



19 September 2022

Dear Mayor and Council,

**Re: British Columbia Youth Parliament, 94th Parliament**



The British Columbia Youth Parliament will hold its 94th Parliamentary Session in Victoria at the Provincial Legislative Chambers from December 27 to 31, 2022. We are hopeful for a safe return to in-person gatherings and BCYP will follow all Provincial Public Health Guidelines.

The Youth Parliament is a province-wide non-partisan organization for young people ages 16 to 21. It teaches citizenship skills through participation in the parliamentary session in December and continuing involvement in community service activities throughout the year. **Youth Parliament is a one-year commitment.**

I invite you to encourage eligible youth from your municipality or region to apply to sit as members of the Youth Parliament. BCYP is non-partisan, and applicants need only be interested in learning more about the parliamentary process and in serving their community. If your municipality sponsors a “youth of the year” award or has a municipal youth council, young people with that sort of initiative and involvement are ideal candidates for BCYP.

Each applicant who is accepted to attend as a member of BCYP must pay a \$425 registration fee. Thanks to private donations and fundraising, a portion of the cost of transportation and accommodation is covered for all members. We encourage municipalities or youth councils to contribute towards the application fee for applicants who are in financial need. If the approval of financial support causes any delay, we encourage the applicant to send in their forms on time along with a note saying that the cheque will arrive after the deadline. In this case, if we receive the completed form and personal statement before the deadline, it will be considered received on time. If you are not able to aid, a limited number of bursaries are available for applicants who cannot meet the expense of the registration fee. Requesting financial assistance will not affect an applicant’s chance of being selected as a member. (See <https://bcyp.org/session>)

Members will sit and debate in the Legislative Chambers for five days and will be accommodated for four nights at the Marriott Hotel in Victoria. During that time, participants are supervised by members of the Board of Directors of the Youth Parliament of B.C. Alumni Society and other youth parliament alumni. In addition, transportation to and from Victoria will be provided for all members who require it.

I have enclosed an application form and a brochure about BCYP. I encourage you to make the application form and brochure available to interested young people and to make copies of the forms as needed. A soft copy of the form, brochure and poster are available from our website at <https://bcyp.org/session>.

**All application forms must be received by October 25, 2022.** Selected applicants will be notified in early November. If you require more information, please contact me by e-mail as indicated above. You may also visit our website at [www.bcyp.org](http://www.bcyp.org).

Yours truly,

Ambrose Yung  
Registrar, Youth Parliament of BC Alumni Society

Sponsoring the British Columbia Youth Parliament



**From:** [MCF Info MCF:EX](#)  
**To:** [Info Ucluelet](#)  
**Date:** September 27, 2022 4:06:22 PM  
**Attachments:** [image001.png](#)

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[External]

VIA E-MAIL

Ref: 271626

District of Ucluelet  
E-mail: [info@ucluelet.ca](mailto:info@ucluelet.ca)

Dear Mayor and Council:

For 32 years, British Columbians have taken October to honour the caregivers in British Columbia that have dedicated themselves to some of this province's most vulnerable children and youth. I am pleased to announce that, once again, this October will be declared Foster Family Month in British Columbia.

This month is about celebrating and honouring caregivers and foster families that have stepped up to help children and youth who are experiencing hardship. The role foster families play in the lives of young people and the contribution they make to their communities is vital to helping children and youth reach their full potential. The impact that they have on the young people in their care will last a lifetime, from stepping up to become a mentor, advocate, and friend, to providing a nurturing and safe home, and responding to each unique situation with love and support. As Minister of Children and Family Development, I wish to express my sincere gratitude for the warmth and dedication that these caregivers and foster families have shown to the children and youth in their care.

Please join me in celebrating October as Foster Family Month to show those in your community how important the role of a foster caregiver is. I encourage you to celebrate foster families for the selfless work they do for the children, youth, and families of British Columbia.

On behalf of the Government of British Columbia, thank you for your continued support in recognizing foster caregivers.

Sincerely,

Mitzi Dean  
Minister

*Sent on behalf of the Minister by:*

Text Description automatically generated



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Sept. 21st, 2022

Hon. Rob Fleming  
Minister of Transportation and Infrastructure  
PO Box 9055 Prov Stn Govt  
Victoria, BC V8W 9E2

Via email to: [Minister.Transportation@gov.bc.ca](mailto:Minister.Transportation@gov.bc.ca)

RE: West Coast transit service

Dear Minister Fleming,

I am writing to you today on behalf of our over 300 members and volunteer board of directors. We are writing to urge you to take action to make a transit system a reality on the west coast of Vancouver Island.

Following a feasibility study completed in 2018, a service plan was finalized in May 2020 by the Alberni-Clayoquot Regional District and BC Transit (attached). Work has started on bus stops and a maintenance area for buses. The west coast transit service simply awaits your ministry's approval for implementation. We understand that the COVID-19 pandemic may have shifted the service start date but are hopeful that this plan can now be implemented without further delay.

As illustrated in the Service Plan, a transit service will particularly benefit the region's youth population, First Nations communities, and senior citizens. Despite a great demand for workers, this area experiences a few key barriers to employment. Transportation has been identified as one of these.

As you know, this region welcomes some one million visitors yearly. From a tourism perspective, we need a transit service to alleviate pressures on local parking infrastructure and to provide a more environmentally friendly form of transportation to

Box 521, Tofino British Columbia V0R 2Z0 Tel: 250.725.3153  
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Since 1929

the world when they visit us. Regionally we would also like to minimize the carbon footprint that comes from individual drivers.

We hope that the work invested in this project to date speaks for itself and makes the case for funding transit for the west coast. We would also like to add our organization's endorsement for this vital service and ask that you communicate with us as to when you expect this service to commence.

Many thanks for your attention and response.

Sincerely,

A handwritten signature in black ink that reads "Laura McDonald". The signature is written in a cursive style and is underlined with a single horizontal line.

Laura McDonald, president

cc. District of Tofino council  
Tla-o-qui-aht First Nation chief and council  
Ahousaht First Nation chief and council  
District of Ucluelet council, Toquaht First Nation chief and council  
Yuułuṛiṭṭath First Nation chief and council  
Alberni-Clayoquot Regional District board of directors  
Hesquiaht First Nation chief and council